

**GLENORCHY PLANNING AUTHORITY**  
**ATTACHMENTS**  
**TUESDAY, 11 JUNE 2024**



**TABLE OF CONTENTS:**

**PLANNING**

**5. PROPOSED USE AND DEVELOPMENT - DEMOLITION AND  
MULTIPLE DWELLINGS (24) - 60 BAROSSA ROAD GLENORCHY**

1: GPA Attachment - 60 Barossa Road, Glenorchy ..... 3












GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No. PLN-24-031  
DATE RECEIVED 19/04/2024









ORAMATIS STUDIO

14 Elizabeth Street, Hobart  
Tasmania 7000  
03 6286 8440  
adam@oramatistudio.com.au  
Oramatistudio Pty Ltd

GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL DEMOLITION AND SITEWORK CAN BE COMPLETED WITHIN THE DEMOLITION PERIOD. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND ANY OTHER RELEVANT AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND ANY OTHER RELEVANT AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND ANY OTHER RELEVANT AUTHORITIES.

REV ID

DESCRIPTION

DATE

PROJECT

BAROSSA VILLAS  
60 BAROSSA ROAD, GLENORCHY

CLIENT

DMS PTY LTD

REVISION

DATE

SCALE

PROJECT ID

2277

DATE

4/04/2024

SCALE

AS SHOWN @ A3

DESIGNED BY

AI/BL

DRAWN BY

C.LI

DATE

19/04/2024

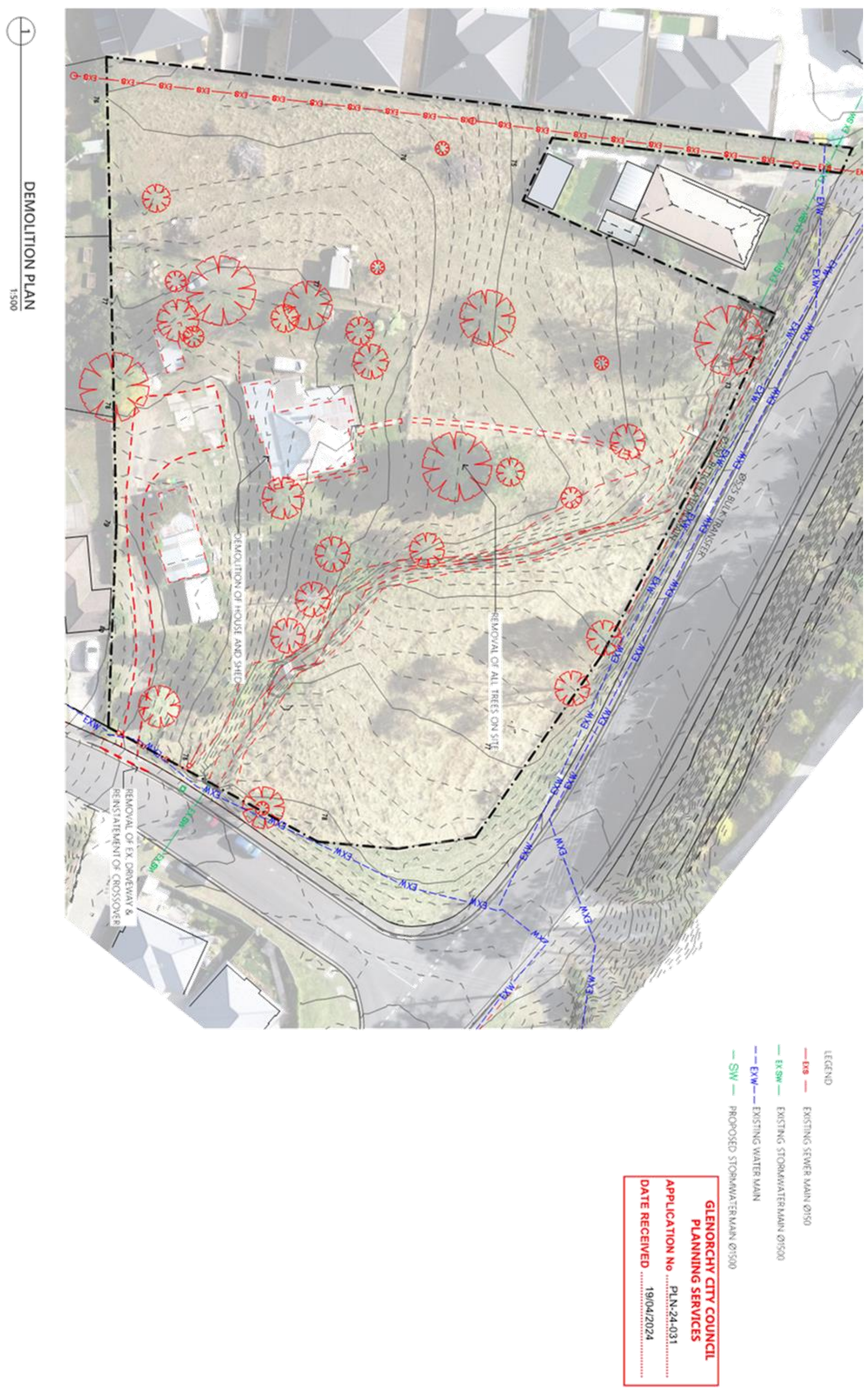
SCALE

AS SHOWN @ A3

DRAWING

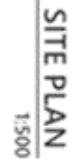
DEMOLITION PLAN

DA02



**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION No PLN-24-031  
DATE RECEIVED 19/04/2024





**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION No. **PLN-24-031**

DATE RECEIVED **19/04/2024**

**8.4.1 Residential density for multiple dwellings**  
**A1** The proposed development meets the acceptable solution of having a site area per dwelling of not less than 33.5m<sup>2</sup>, as the site area is 8046m<sup>2</sup> and there is a number of units is 24, resulting in a site area per unit of 33.5m<sup>2</sup>.

**8.4.2 Setbacks and building envelope for all dwellings**  
**A1** All buildings have more than 4.5m front setback and 15m rear and side setback.

**A2** Nearest garage setback is 6.5m for unit 22

**A3** refer to DA13 for building envelope 3d perspective.

**C2.5.1 Car parking numbers**  
 The proposed development complies with the car parking requirements in table 2, which specify a total of **S4** parking spaces, including **6** visitor parking spaces. Each dwelling has a double garage, and the visitor parking spaces are open parking spaces with interlocking and signage.

**8.4.3 Site coverage and private open space for all dwellings**  
**A1**



**8.4.6 Privacy for all dwellings**

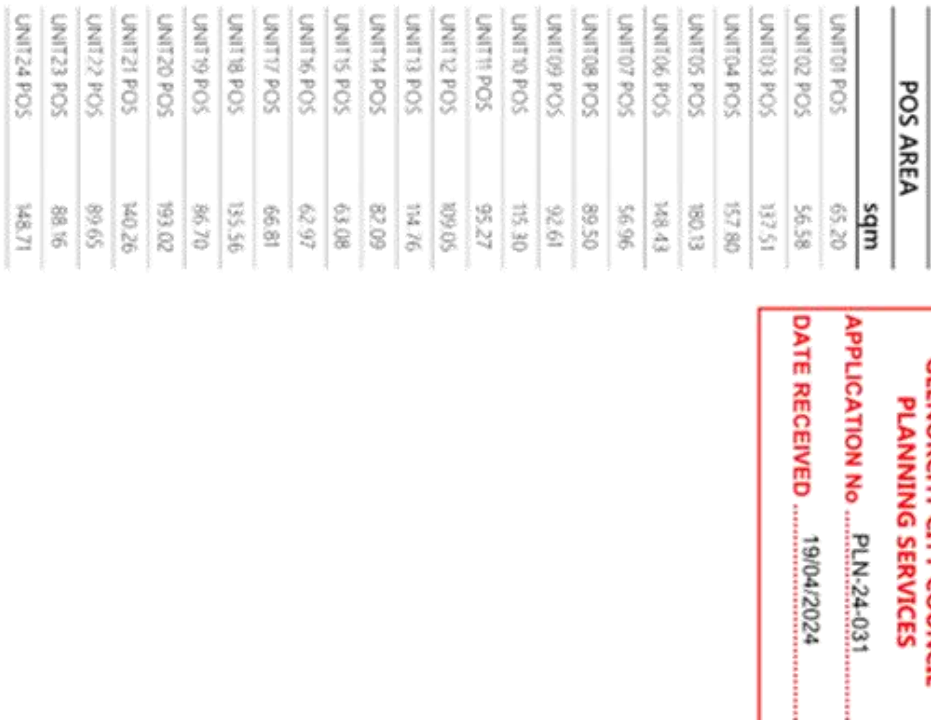
**A2** The proposed development ensures adequate privacy for all dwellings, as all first floor windows have a minimum setback of 4m from the side and rear boundaries, and 6m from the private open space and windows of other dwellings.

**A3** The proposed development minimises the impact of the driveway on the privacy of the ground floor windows, as they are fully screened by 1.7m H Timber screen. Bedroom window of unit 1 may not fully comply with A3, as it is less than 1m from driveway. However, proposed 1.8m timber fence between driveway and window makes sure minimise unreasonable impact of vehicle noise or vehicle light intrusion.









**8.4.3 P2 Site coverage and private open space for all dwellings**

Units 2 and 7's private open spaces do not fully comply with the Acceptable Solution 8.4.3 A1 (b) for private open space area. The Acceptable Solution requires each dwelling to have a private open space area of not less than 60m<sup>2</sup>. However, it is demonstrated that both Unit 2 and Unit 7 fulfil the Performance Criteria outlined in the Tasmanian State Planning Scheme 8.4.3 P1 (b) (i). The private open spaces for Unit 2 and Unit 7 are of appropriate size and dimensions for the size of the dwellings, and they can accommodate outdoor recreational activities in accordance with the projected requirements of the occupants. Furthermore, the additional ground floor campus room in Unit 2 (380m<sup>2</sup>) and Unit 7 (240m<sup>2</sup>) are seamlessly integrated as extensions of the outdoor private open space through large sliding doors and provide supplementary spaces for recreational and operational purposes. Both Unit 2 and Unit 7 allocate reasonable space for the planting of gardens and landscaping within their private open space areas. Additionally, the common area serves as a shared green space that allows all residents to enjoy communal gardens and landscaping. While the proposed private open space areas for Unit 2 (520m<sup>2</sup>) and Unit 7 (560m<sup>2</sup>) fall short of the Acceptable Solution's requirement, the development adequately meets the Performance Criteria.







GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No ..... PLN-24-031  
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1 SHADOW STUDY 21 JUNE AT 0900H  
1:1000



2 SHADOW STUDY 21 JUNE AT 1000H  
1:1000

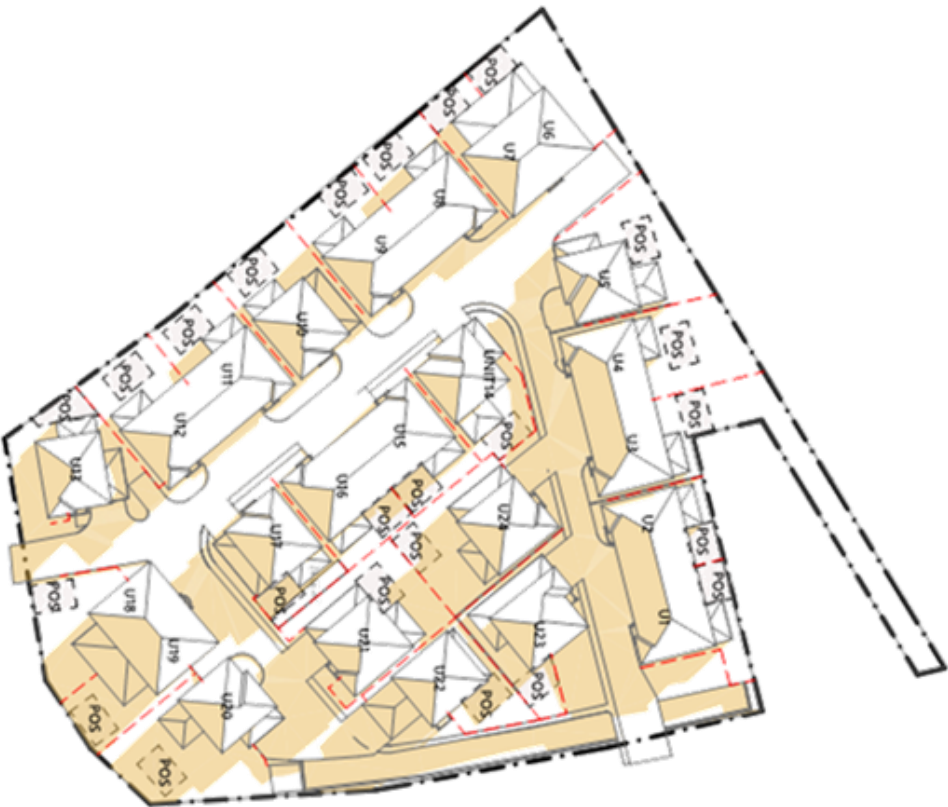


3 SHADOW STUDY 21 JUNE AT 1100H  
1:1000

 <b>ORAMATIS STUDIO</b> 14 Elizabeth Street, Hobart T: (03) 6286 8440 adam@oramatis.com.au Oramatis Studio Pty Ltd		<small>ORAMATIS NOTES: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL BUILDING CONSTRUCTION OF ANY ROOM, CORRIDOR, STAIR, CLOSET AND BATHROOM ARE CORRECT BEFORE COMMENCING ANY WORK. ORAMATIS WILL NOT BE RESPONSIBLE FOR ANY WORK. ORAMATIS CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL BUILDING CONSTRUCTION OF ANY ROOM, CORRIDOR, STAIR, CLOSET AND BATHROOM ARE CORRECT BEFORE COMMENCING ANY WORK. ORAMATIS WILL NOT BE RESPONSIBLE FOR ANY WORK. ORAMATIS CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL BUILDING CONSTRUCTION OF ANY ROOM, CORRIDOR, STAIR, CLOSET AND BATHROOM ARE CORRECT BEFORE COMMENCING ANY WORK. ORAMATIS WILL NOT BE RESPONSIBLE FOR ANY WORK. ORAMATIS</small>	
REV ID	DESCRIPTION	DATE	
PROJECT	BAROSSA VILLAS 60 BAROSSA ROAD, GLENORCHY		
CLIENT	DMS PTY LTD		
PROJECT ID	2277		
DATE	4/04/2024		
SCALE	AS SHOWN @ A3		
CHECKED BY	C. LI		
DRAWN BY	C. LI		
DATE	DA08		
DRAWING	SHADOW STUDY PLAN		
			



[illegible]



1 SHADOW STUDY 21 JUNE AT 1500H  
1:1000

8.4.3 Site coverage and private open space for all dwellings

Units 18, 19, and 20's private open spaces do not fully comply with the Acceptable Solution 8.4.3 A2(c) for private open space location. However, they meet the Performance Criteria P1 outlined in the Tasmanian State Planning Scheme 8.4.3.

The private open spaces are situated next to their respective living areas, promoting easy access via large sliding doors. The orientation of the private open spaces has been planned to take full advantage of sunlight, ensuring that each unit receives at least 3 hours of sunlight each day. (4 ticks at the table provide)

While not strictly adhering to the Acceptable Solution's recommended location, the design ensures that these private open spaces offer functional and inviting areas for relaxation, dining, socializing, and children's play.

All POS areas have a gradient no steeper than 1:10

8.4.4 Sunlight to private open space of multiple dwellings

Units 8, 10 and 17 have less than 3 hours of sunlight to 50% of their 24m<sup>2</sup> POS area. It will rely on the performance criteria 8.4.4 P1. As shown in the table, Units 8, 10 and 17 have more than 12 m<sup>2</sup> of their total POS area that receives 3 hours of sunlight on 21 June. This ensures that the residents of these units have adequate access to natural light and outdoor amenity. The proposal also does not cause unreasonable loss of sunlight to the adjoining properties, as demonstrated by the shadow diagrams.

8.4.4 A1 (B) SHADOW STUDY AT 21ST JUNE SUNLIGHT MORE THAN 50% OF POS										
	9AM	10AM	11AM	12PM	1PM	2PM	3PM			
UNIT1	✓	✓	✓	✓	✓	✓	✓			
UNIT2	✓	✓	✓	✓	✓	✓	✓			
UNIT3	✓	✓	✓	✓	✓	✓	✓			
UNIT4	✓	✓	✓	✓	✓	✓	✓			
UNIT5	✓	✓	✓	✓	✓	✓	✓			
UNIT6										
UNIT7				12m <sup>2</sup>	10m <sup>2</sup>	✓	✓			
UNIT8				✓	✓	✓	✓			
UNIT9				✓	27m <sup>2</sup>	✓	✓			
UNIT10			✓	✓	✓	✓	✓			
UNIT11			✓	✓	✓	✓	✓			
UNIT12			✓	✓	✓	✓	✓			
UNIT13			✓	✓	✓	✓	✓			
UNIT14	✓	✓	✓	✓	✓	✓	✓			
UNIT15	✓		✓	✓	✓	✓	✓			
UNIT16	✓	✓	✓	✓	✓	✓	✓			
UNIT17			✓	✓	✓	✓	24m <sup>2</sup>			
UNIT18			✓	✓	✓	✓	✓			
UNIT19	✓	✓	✓	✓	✓	✓	✓			
UNIT20	✓	✓	✓	✓	✓	✓	✓			
UNIT21			✓	✓	✓	✓	✓			
UNIT22	✓	✓	✓	✓	✓	✓	✓			
UNIT23	✓	✓	✓	✓	✓	✓	✓			
UNIT24	✓	✓	✓	✓	✓	✓	✓			

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Oramatis Studio Pty Ltd

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REV D

DESCRIPTION

DATE

PROJECT

BAROSSA VILLAS  
60 BAROSSA ROAD, GLENORCHY

CLIENT  
DNMS PTY LTD

REVISION

DATE

SCALE

PROJECT ID  
2277

CHECKED BY  
A.J.B.L.

DRAWN BY  
C.L.I.

DATE  
4/04/2024

SCALE  
AS SHOWN @ A3

DATE  
DA10

DRAWING  
SHADOW STUDY PLAN











**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

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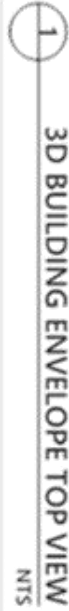


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The proposed development does not create unreasonable overshadowing on the neighbouring property, as demonstrated by the shadow diagrams. Units 6-13 that cast shadows on the neighbouring property are within the building envelope and do not reduce the sunlight received by the neighbouring property below the minimum of 3 hours (12.00pm-3.00pm) on June 21.

3

14 Elizabeth Street, 1st floor  
 (03) 6286 8440  
[admin@foramatis.com.au](mailto:admin@foramatis.com.au)  
 1 Chapman Street PTY LTD

BAROSSA VILLAS  
60 BAROSSA ROAD, GLENORCHY  
0800 77 00 77

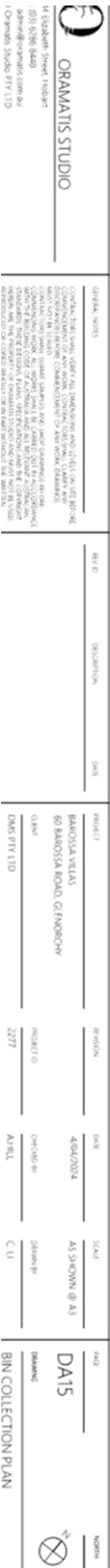
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DA14

BUILDING ENVELOPE

GLENORCHY CITY COUNCIL  
 PLANNING SERVICES  
 APPLICATION No. PLN-24-031  
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**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

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**DATE RECEIVED**      **19/04/2024**

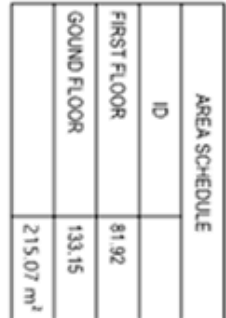
A sign will be placed in front of units 8 and 9 as a reminder not to park in front of their garages on collection day.

The driveway has been widened at the curve to ensure there is enough space for the garbage truck to turn and move forward without stopping.

Rubbish bin collected weekly or fortnightly, FOGO and recycling bins collected alternately every other week.

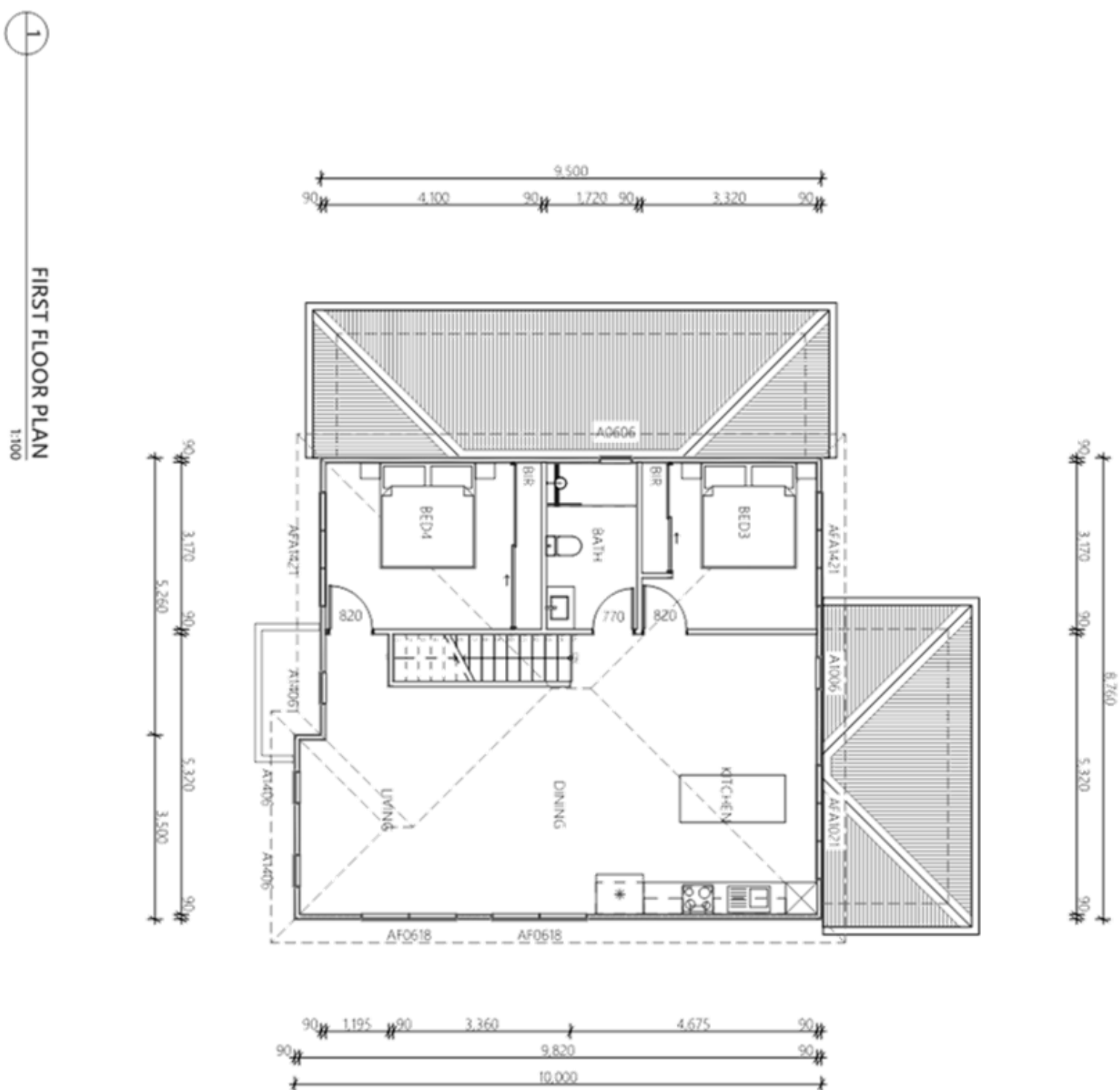
**Attachments - Glenorchy Planning Authority - 11 June 2024**



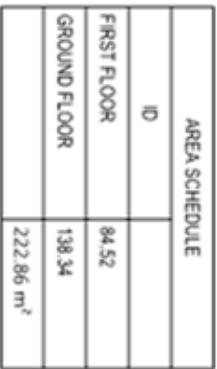


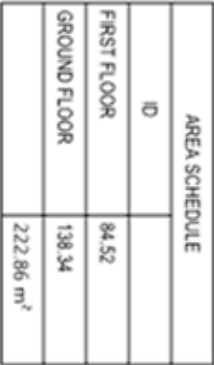


AREA SCHEDULE	
ID	
FIRST FLOOR	81.92
GROUND FLOOR	133.15
	215.07 m <sup>2</sup>







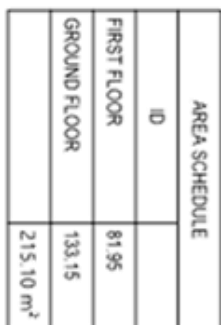


1  
FIRST FLOOR PLAN  
1:100

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REV ID	DESCRIPTION	DATE
PROJECT		
BAROSSA VILLAS 60 BAROSSA ROAD, GLENBOROUGH		
CLIENT	PROJECT ID	
DMS PTY LTD	2277	
DATE		
4/04/2024		
SCALE		
AS SHOWN @ A3		
DRAWN BY		
C LI		
CHECKED BY		
AJ BELL		
PROJECT ID		
2277		
PAGE		
DA19		
DRAWING		
TYPE 3 (UNIT23) FLOOR PLAN		





1  
GROUND FLOOR PLAN  
1:100

DRAMATIS STUDIO

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 admin@crimatis.com.au  
 Crimatis Studio Pty Ltd

GARDNER, J. W. 1983.

conducted in a large group of all children and adults on different continents. The results of the study are published in the *Journal of Clinical Investigation* (1997) 100: 1025-1032.

Figure 1

The Solution? No One

DATA

Abstract C-11

Copyright 2001

100%

SECRET

PhD

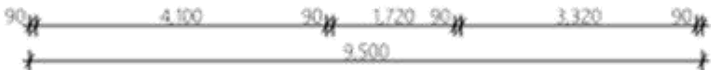
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DA20

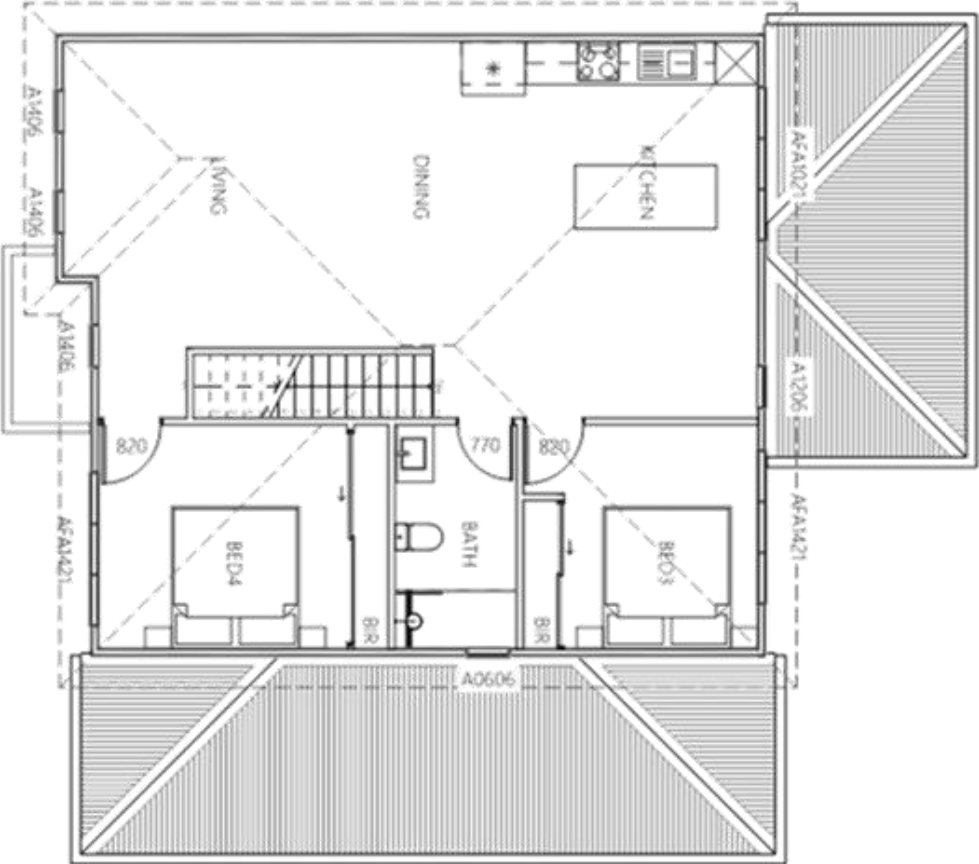
CONCLUSIONS

TYPE 4 (UNIT24) FLOOR PLAN

GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No. PLN-24-031  
DATE RECEIVED 19/04/2024



AREA SCHEDULE	
ID	
FIRST FLOOR	81.95
GROUND FLOOR	133.15
	215.10 m²



FIRST FLOOR PLAN  
1:100

**ORAMATIS STUDIO**

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Oramatis Studio Pty Ltd

GENERAL NOTES

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DATE

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60 BAROSSA ROAD, GLENORCHY

CLIENT

DMS PTY LTD

REVISION

DATE

SCALE

PROJECT ID

2277

4/04/2024

AS SHOWN @ A3

CHECKED BY

DRAWN BY

DATE

AI.BLL

C.LI

DA21

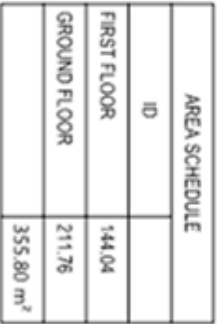
DRAWING

TYPE 4 (UNIT 24) FLOOR PLAN





AREA SCHEDULE	
ID	
FIRST FLOOR	144.04
GROUND FLOOR	211.76
	355.80 m <sup>2</sup>







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60 BAROSSA ROAD, GLENORCHY

CLIENT

DMS PTY LTD

REVISION

2277

DATE

4/04/2024

SCALE

AS SHOWN @ A3

DATE

DA24

DRAWN BY

C LI

DRIVING

TYPE 6 (UNIT 1-4, 8, 9, 11, 12, 15 & 16) FLOOR

GROUND FLOOR PLAN  
1:100

AREA SCHEDULE	
ID	
FIRST FLOOR	208.86
GROUND FLOOR	254.52
	463.38 m <sup>2</sup>

GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
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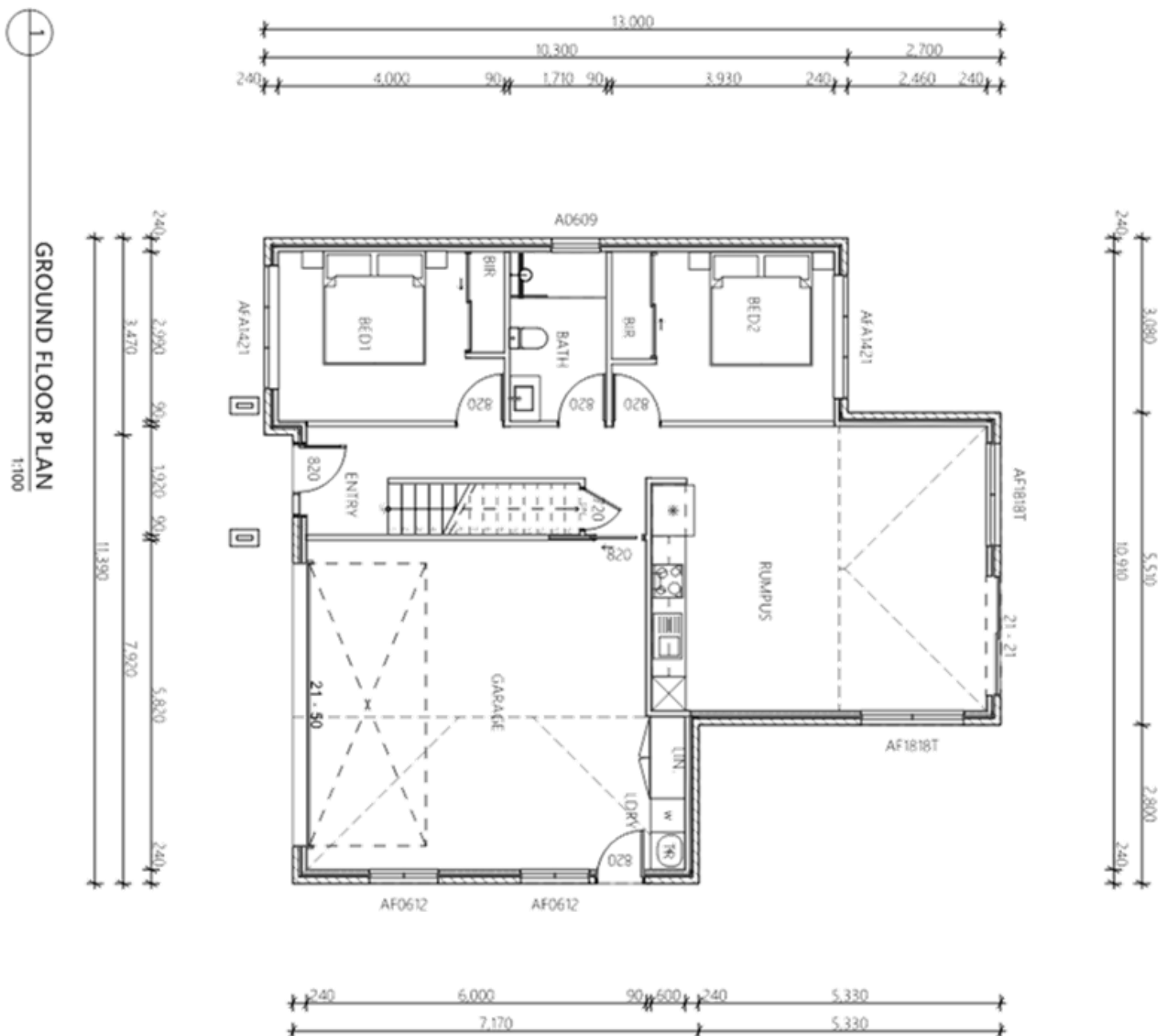
Attachments - Glenorchy Planning Authority - 11 June 2024



AREA SCHEDULE	
ID	
FIRST FLOOR	208.86
GROUND FLOOR	254.52
	463.38 m <sup>2</sup>



AREA SCHEDULE	
ID	
FIRST FLOOR	77.47
GROUND FLOOR	120.87
	198.34 m <sup>2</sup>



GROUND FLOOR PLAN  
1:100

1:100

GARDNER, J. A., AND J. H. HARRIS.

Figure 1

the Southern Indians

QUALITY

Abstract

1999

100%

562

1992

No other...



ORAMATIS STUDIO

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: (03) 6286 8440  
: [admin@crannios.com.au](mailto:admin@crannios.com.au)  
: Crannios Studio Pty Ltd

CONTRACTS TO SUELY VIOLATE ANTI-TRUSTS ON LINE. BECAUSE OF THE PROLIFERATION OF ONLINE BUSINESS, THE FEDERAL GOVERNMENT HAS CONSIDERED THE NEED FOR AN ANTI-TRUST ACT FOR THE INTERNET. THE PROPOSED ACT WOULD PROHIBIT ANY ATTEMPT TO MONOPOLIZE OR RESTRICT COMPETITION ON THE INTERNET. THE ACT WOULD ALSO PROHIBIT ANY ATTEMPT TO FIX PRICES OR DIVIDE MARKETS. THE ACT WOULD ALSO PROHIBIT ANY ATTEMPT TO TIE SALES OF ONE PRODUCT TO THE SALE OF ANOTHER PRODUCT. THE ACT WOULD ALSO PROHIBIT ANY ATTEMPT TO DISCRIMINATE BETWEEN CUSTOMERS ON THE INTERNET. THE ACT WOULD ALSO PROHIBIT ANY ATTEMPT TO ENGAGE IN UNFAIR TRADE PRACTICES ON THE INTERNET. THE ACT WOULD ALSO PROHIBIT ANY ATTEMPT TO VIOLATE ANTI-TRUSTS ON LINE.

53

D

60 BAROSSA ROAD, GLENDRIDGE  
VIC 3545  
AUSTRALIA

422 FORD

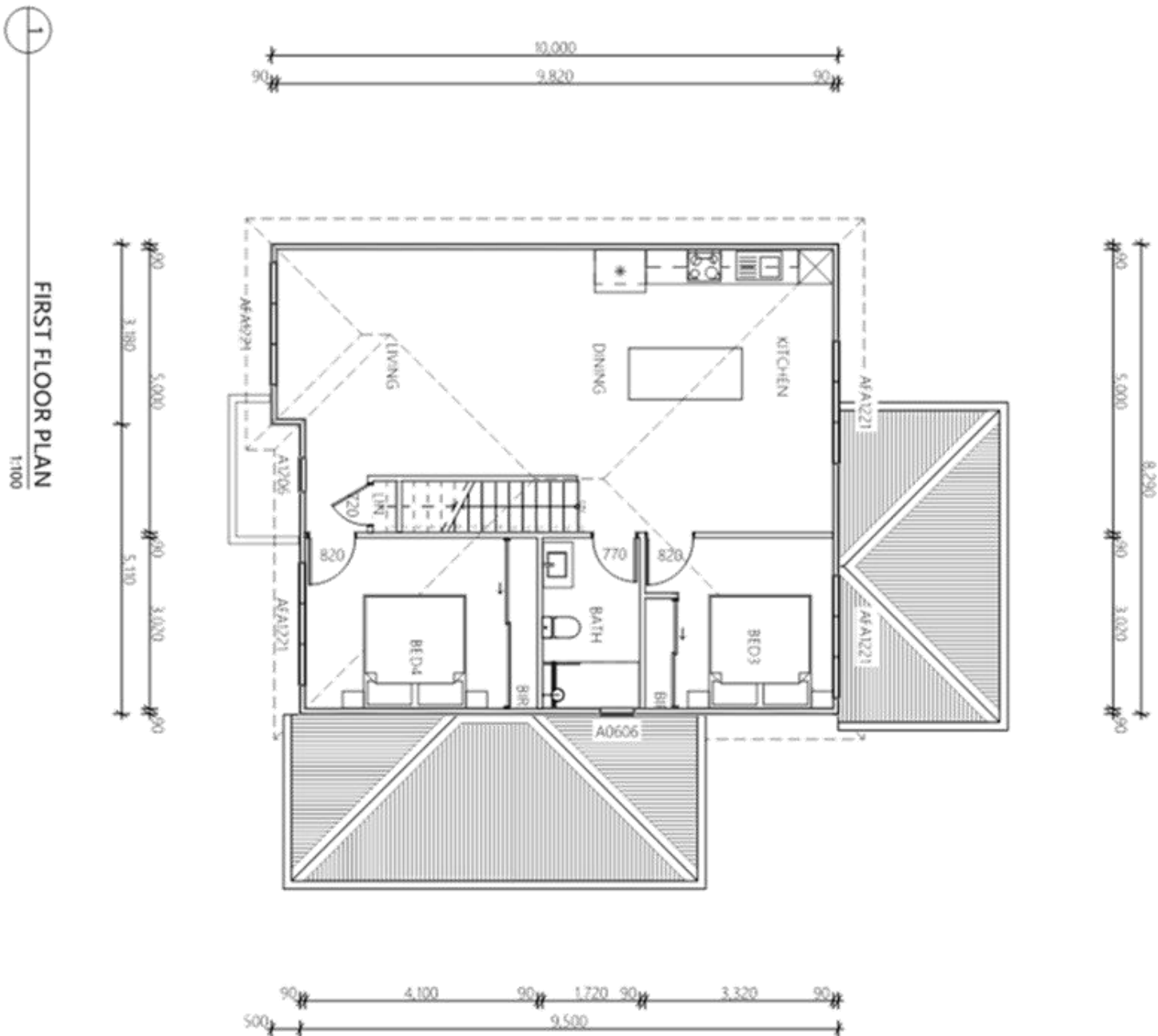
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AREA SCHEDULE	
ID	
FIRST FLOOR	77.47
GROUND FLOOR	120.87
	198.34 m <sup>2</sup>



**FIRST FLOOR PLAN**  
1:100

1:100

Editorial Board, *Journal of*

謝天恩

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15 October 2004

bioRxiv preprint doi: <https://doi.org/10.1101/000000>; this version posted January 1, 2016. The copyright holder for this preprint (which was not certified by peer review) is the author/funder, who has granted bioRxiv a license to display the preprint in perpetuity. It is made available under aCC-BY-NC-ND 4.0 International license.

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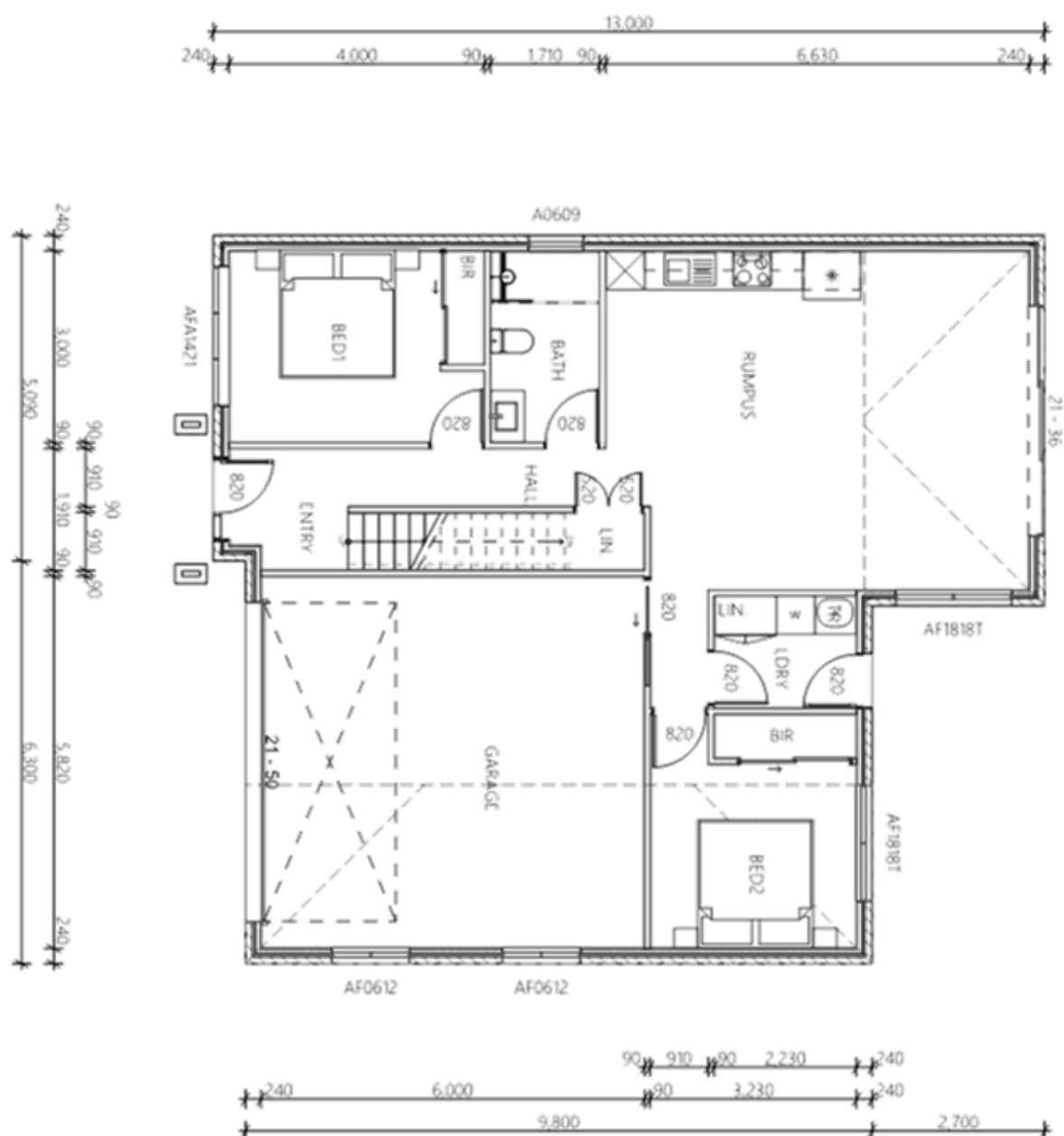
1

No Conflict in



[illegible]

1  
GROUND FLOOR PLAN  
1:100



AREA SCHEDULE	
ID	
FIRST FLOOR	79.68
GROUND FLOOR	129.80
	209.48 m <sup>2</sup>

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DATE

4/04/2024

CHECKED BY

AJ BIL

DRAWN BY

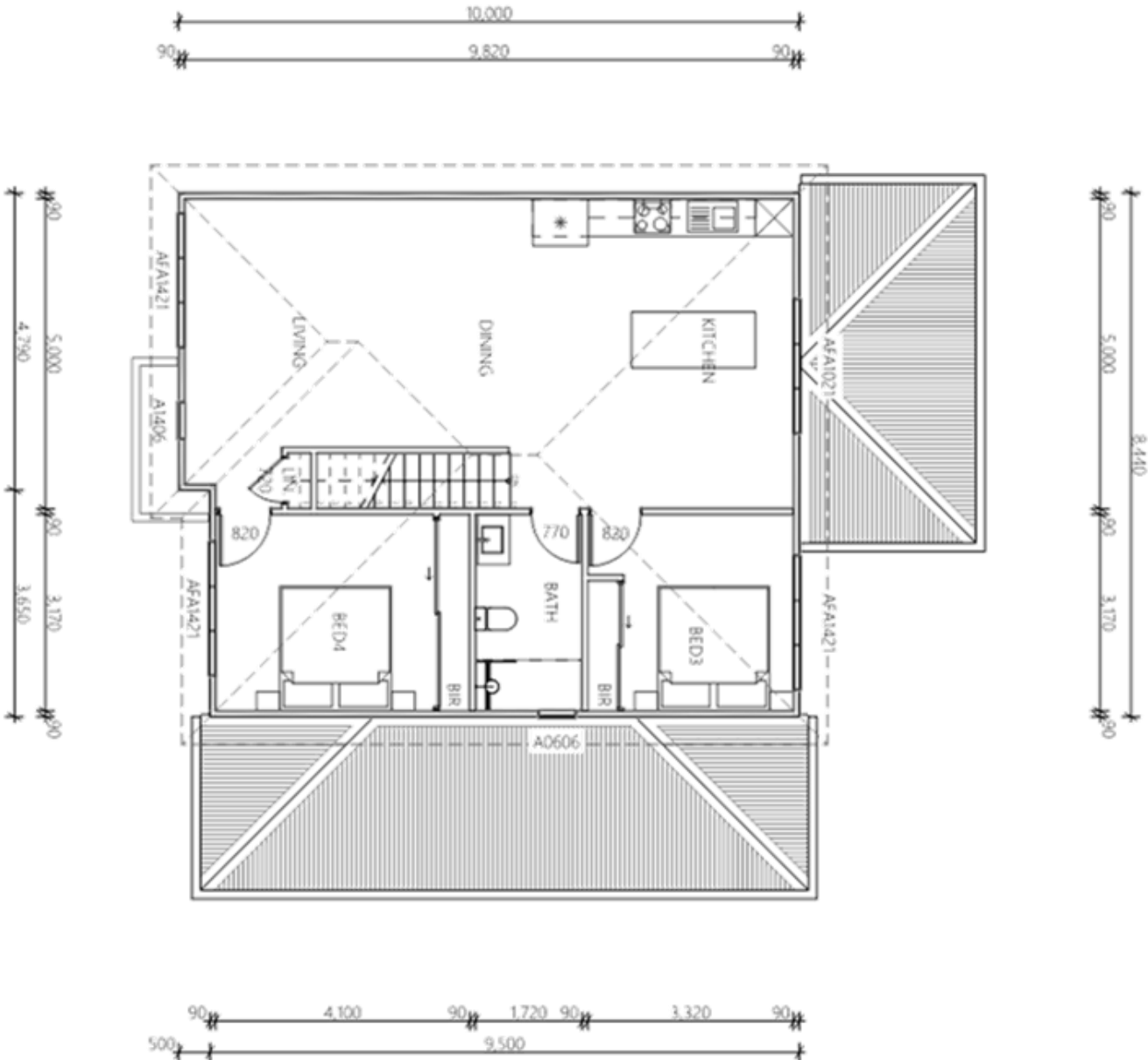
C LI

DRWG

DA29

TYPE 8 (UNIT10&17) FLOOR PLAN

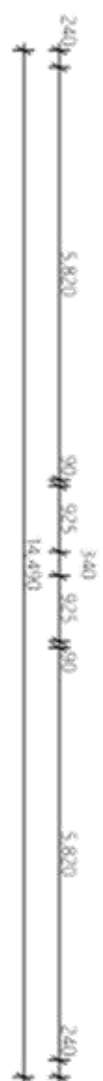
1 FIRST FLOOR PLAN  
1:100



AREA SCHEDULE	
ID	
FIRST FLOOR	79.68
GROUND FLOOR	129.80
	209.48 m <sup>2</sup>

GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No ..... PLN-24-031  
DATE RECEIVED ..... 19/04/2024





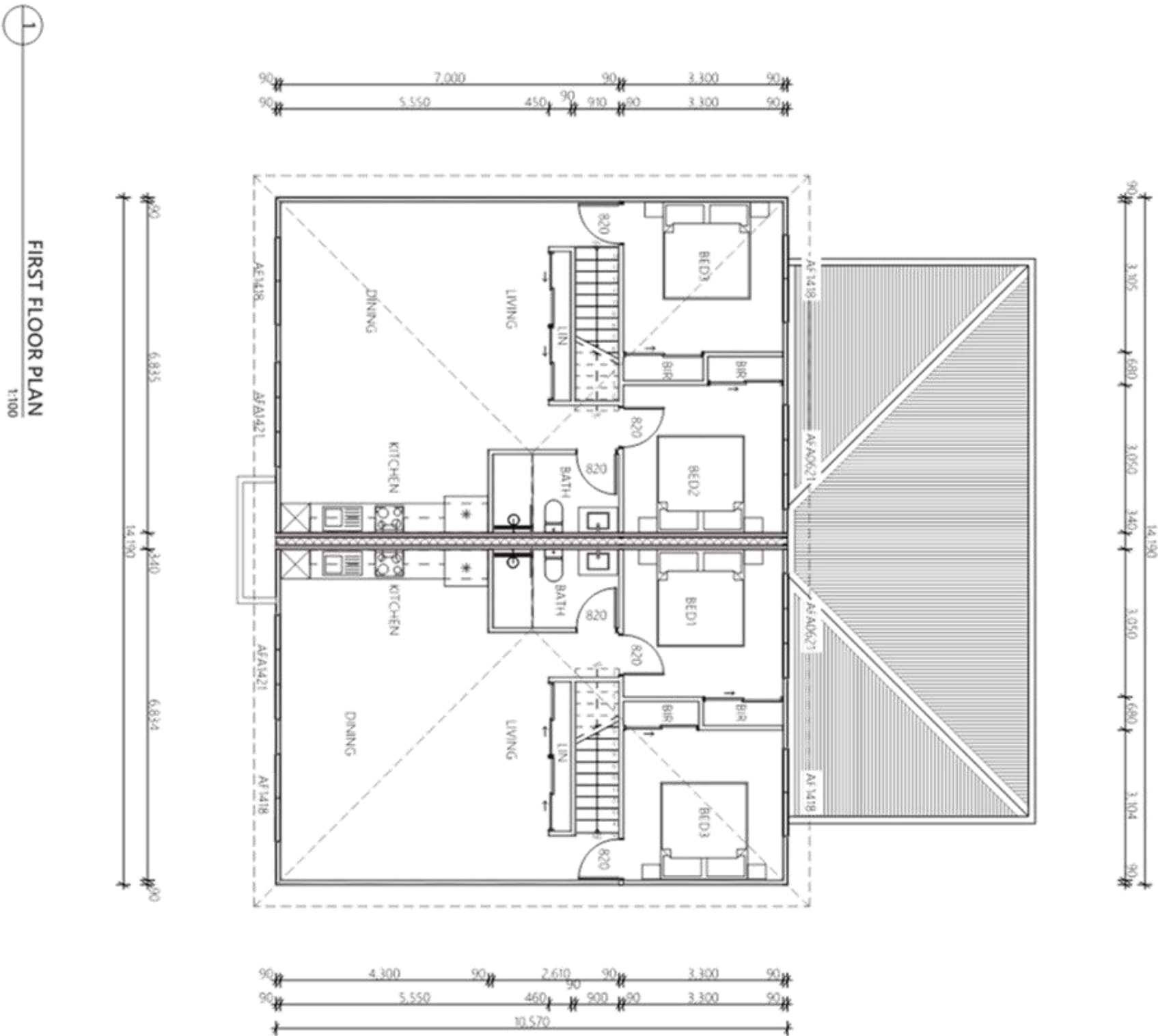
AREA SCHEDULE	
ID	
DECK	7.34
FIRST FLOOR	144.04
GROUND FLOOR	212.02
	363.40 m <sup>2</sup>

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION No      PLN-24-031

DATE RECEIVED      19/04/2024

AREA SCHEDULE	
ID	
DECK	7.34
FIRST FLOOR	144.04
GROUND FLOOR	212.02
	363.40 m <sup>2</sup>



### FIRST FLOOR PLAN

1:100

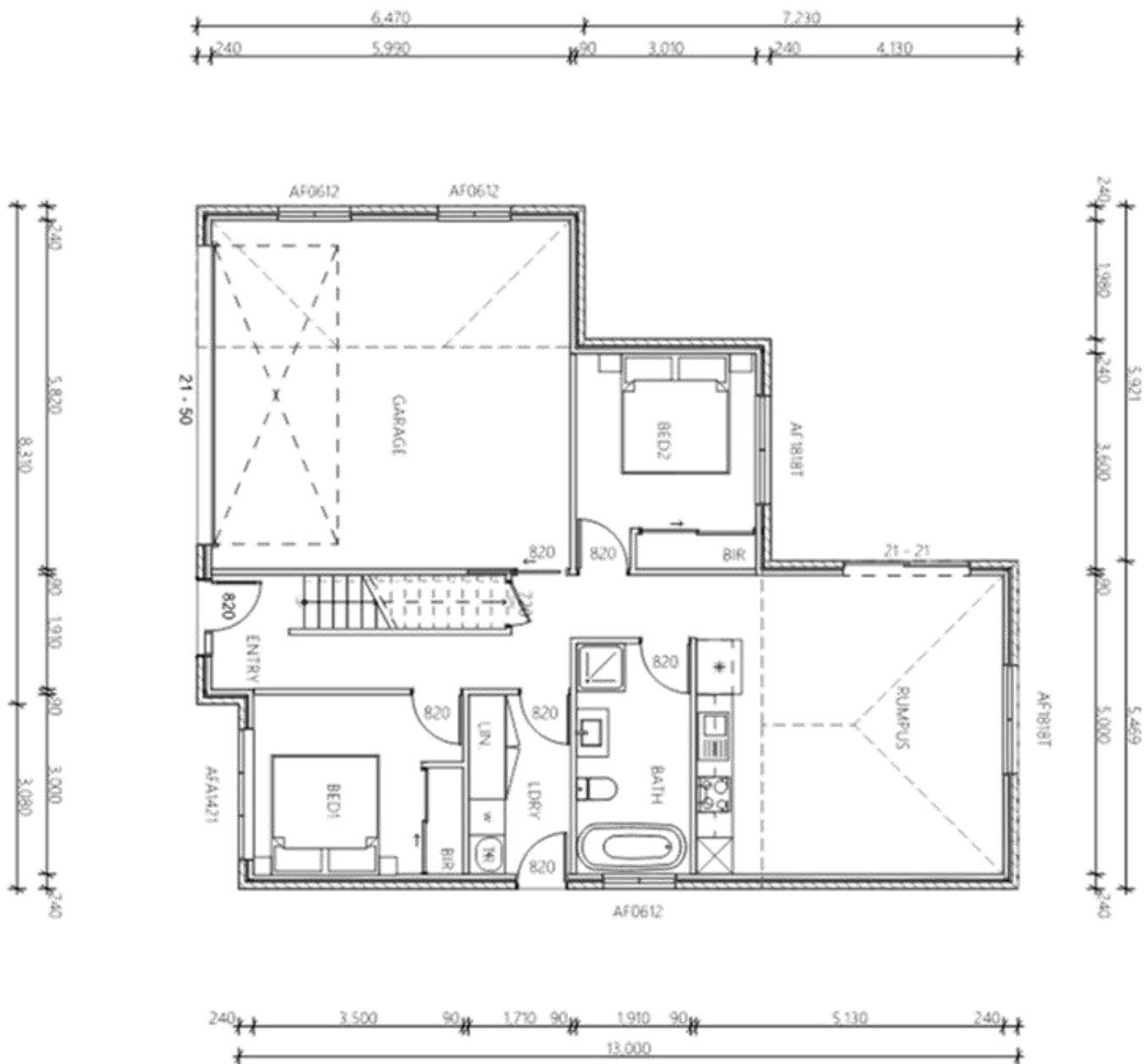
ORAMATIS STUDIO

14 Fitzhugh Street, Hobart  
Tasmania 7000  
Australia  
Tel: (03) 6296 8440  
Email: [admin@crismatis.com.au](mailto:admin@crismatis.com.au)  
Crismatis Studio Pty Ltd

DA31

TYPE 9 (UNIT 6 & 7) FLOOR PLAN





AREA SCHEDULE	
ID	
FIRST FLOOR	77.02
GROUND FLOOR	122.55
	199.57 m <sup>2</sup>

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

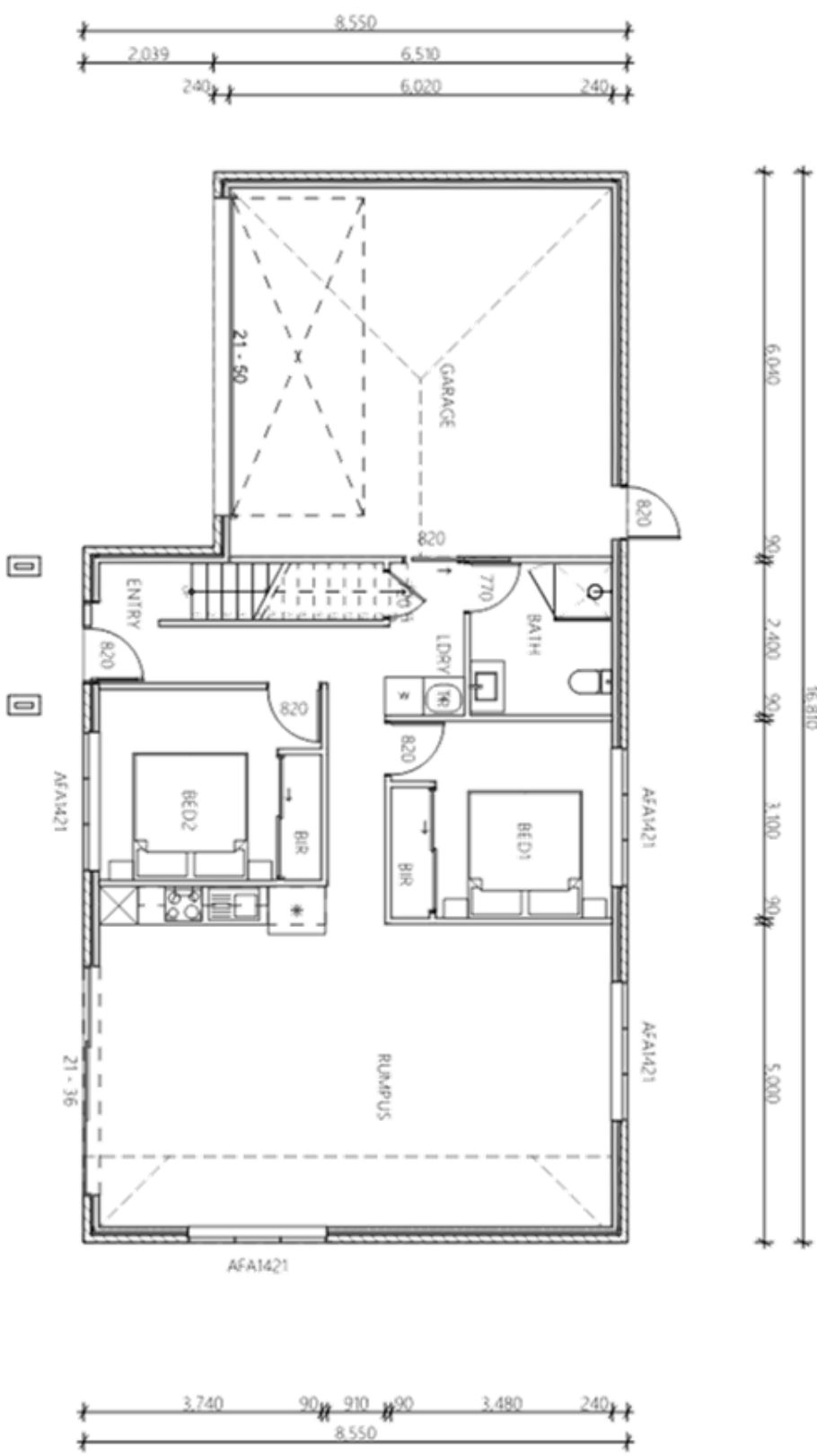
APPLICATION No. **PLN-24-031**

DATE RECEIVED **19/04/2024**





GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No. .... PLN-24-031  
DATE RECEIVED ..... 19/04/2024



1 GROUND FLOOR PLAN  
1:100

**ORAMATIS STUDIO**

14 Elizabeth Street, Hobart  
Tasmania 7000  
03 6286 8440  
adam@oramatis.com.au  
oramatis.studio Pty Ltd

GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL CLARIFY ANY DISCREPANCIES WITH THE ARCHITECT BEFORE COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.

REV	DESCRIPTION	DATE
1	ISSUED FOR TENDERS	19/04/2024

PROJECT: BAROSSA VILLAS  
60 BAROSSA ROAD, GLENORCHY  
CLIENT: DMS PTY LTD  
PROJECT ID: 2277  
CHECKED BY: AJR/LL  
DRAWN BY: C.LI

SCALE: AS SHOWN @ A3

DRAWING: DA34  
TYPE 11 (UNIT 22) FLOOR PLAN

NORTH



ORAMATIS STUDIO

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03 6286 8440  
adam@oramatis.com.au  
Oramatis Studio Pty Ltd

GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CHECKS ON SITE BEFORE COMMENCEMENT OF ANY WORK. CONTRACTORS SHALL CLARIFY ANY DIMENSIONS WITH THE ARCHITECT BEFORE COMMENCING ANY WORK. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL.

REV

DESCRIPTION

DATE

PROJECT

BAROSSA VILLAS  
60 BAROSSA ROAD, GLENORCHY

CLIENT

DMS PTY LTD

REVISION

DATE

SCALE

PROJECT ID

2277

CHECKED BY

AJ BIL

DRAWN BY

C LI

DATE

4/04/2024

SCALE

AS SHOWN @ A3

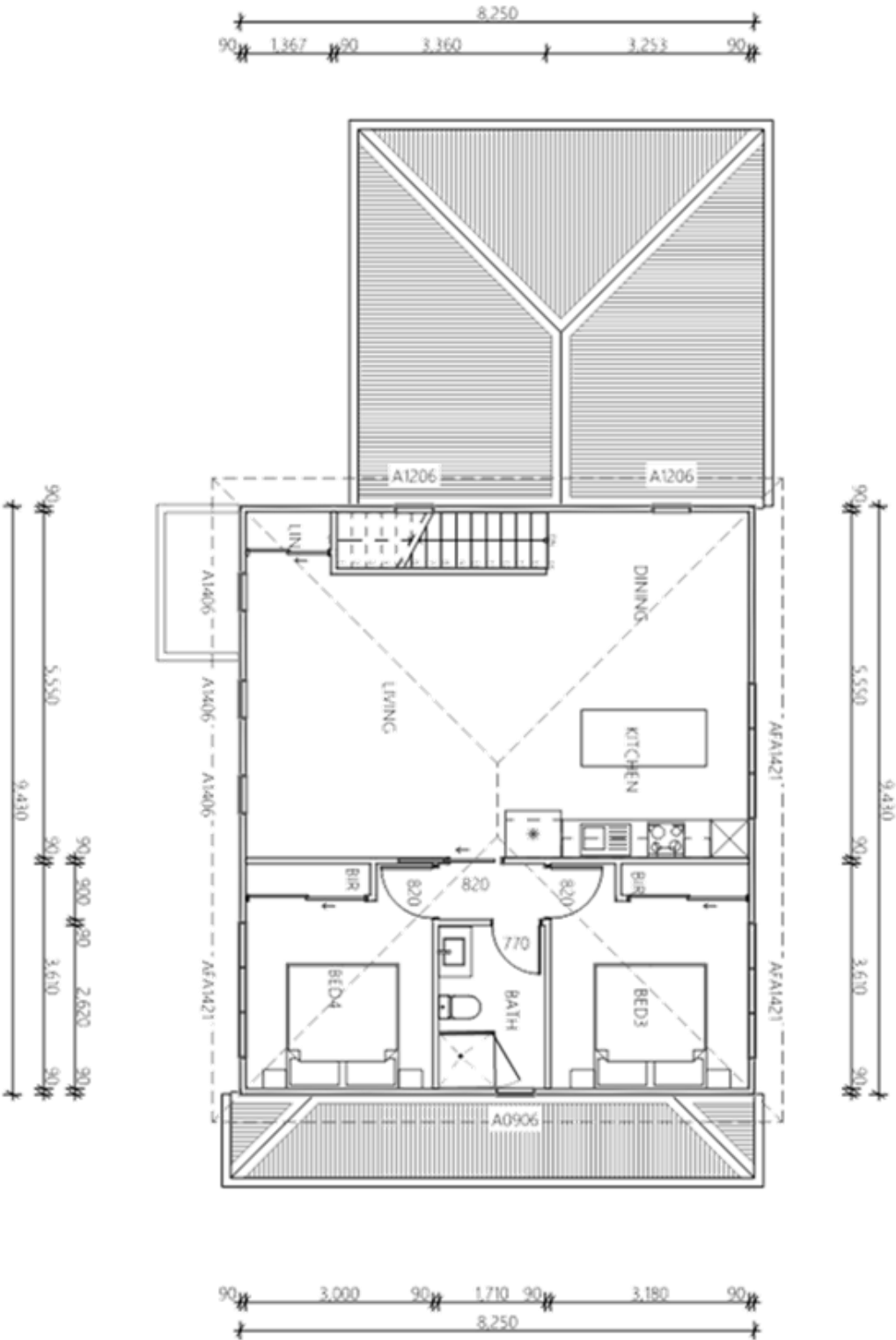
DRAWING

DA35

TYPE 11 (UNIT 22) FLOOR PLAN

NORTH

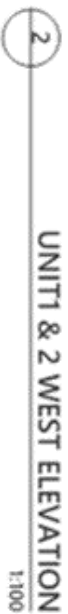
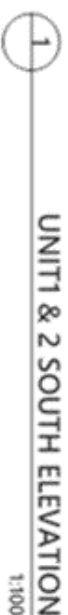
1 FIRST FLOOR PLAN  
1:100



AREA SCHEDULE	
ID	
FIRST FLOOR	74.74
GROUND FLOOR	131.65
	206.39 m <sup>2</sup>

GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No. PLN-24-031  
DATE RECEIVED 19/04/2024



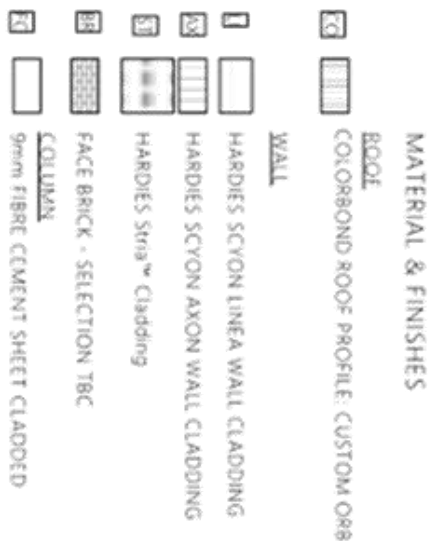


MATERIAL & FINISHES	
	ROOF COLORBOND ROOF PROFILE: CUSTOM ORB
	WALL
	HARDIES SCYON LINEA WALL CLADDING
	HARDIES SCYON AXON WALL CLADDING
	HARDIES Stria™ Cladding
	FACE BRICK - SELECTION TBC
	COLUMN
	green FIBRE CEMENT SHEET CLADED

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION No. PLN-24-031

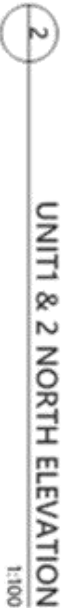
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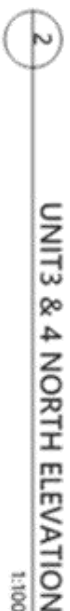
**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

**APPLICATION No** ..... **PLN-24-031**

**DATE RECEIVED** ..... **19/04/2024**







**MATERIAL & FINISHES**

**ROOF**  
 COLORBOND ROOF PROFILE: CUSTOM ORB

**WALL**

HARDIES SCYON LINEA WALL CLADDING

HARDIES SCYON AXON WALL CLADDING

HARDIES STRIA™ Cladding

FACE BRICK - SELECTION TBC

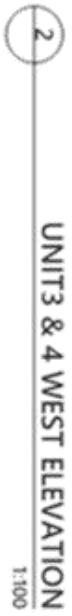
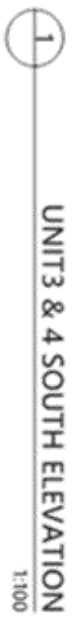
COLORBAN

9mm FIBRE CEMENT SHEET CLADED

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION No ..... PLN-24-031

DATE RECEIVED ..... 19/04/2024



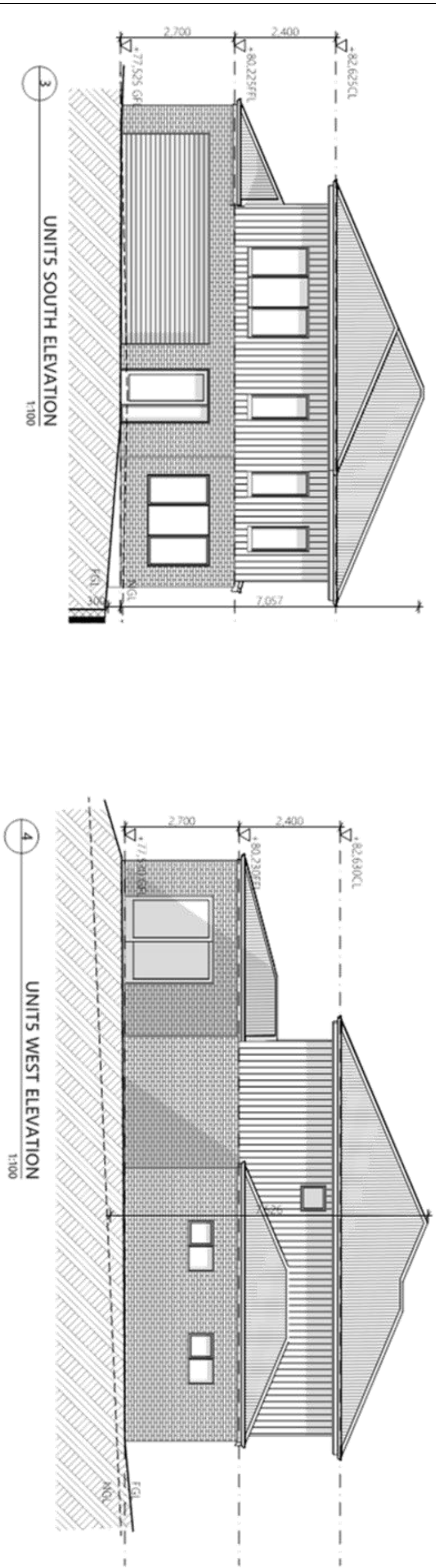
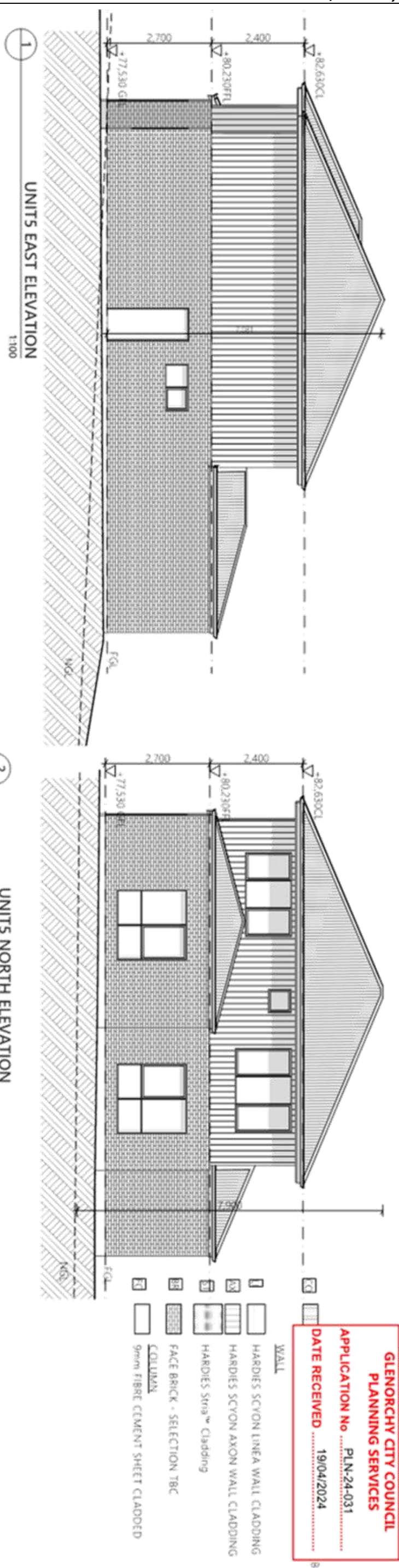
**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**


**APPLICATION No**      **PLN-24-031**

**DATE RECEIVED**      **19/04/2024**

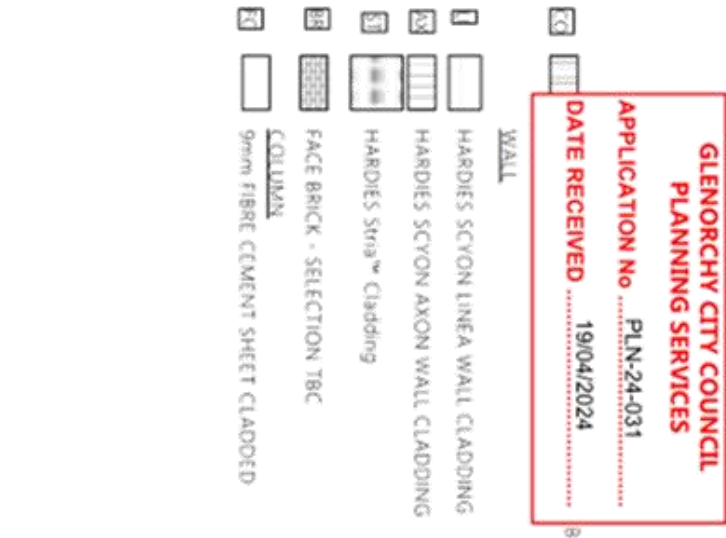
**Attachments - Glenorchy Planning Authority - 11 June 2024**





 <b>DRAMATIS STUDIO</b> 14 Elizabeth Street, Level 1, Melbourne VIC 3000 Phone: +61 (0)3 6298 8440 admin@dramatistudio.com.au Dramatis Studio Pty Ltd	<b>DRAMA, NORTH</b> © 2016 The Board of Directors of Dramatis Studio Pty Ltd. All rights reserved. This document is the property of Dramatis Studio Pty Ltd. It is to be used for the purpose of the project only and is not to be distributed, copied, or otherwise used without the written consent of Dramatis Studio Pty Ltd. The information contained herein is confidential and may be subject to change without notice. The information contained herein is not to be used for any other purpose. The information contained herein is not to be used for any other purpose. The information contained herein is not to be used for any other purpose.	<b>UNIT 1</b> 14 Elizabeth Street, Level 1, Melbourne VIC 3000 Phone: +61 (0)3 6298 8440 admin@dramatistudio.com.au Dramatis Studio Pty Ltd	<b>DRAMA, NORTH</b> © 2016 The Board of Directors of Dramatis Studio Pty Ltd. All rights reserved. This document is the property of Dramatis Studio Pty Ltd. It is to be used for the purpose of the project only and is not to be distributed, copied, or otherwise used without the written consent of Dramatis Studio Pty Ltd. The information contained herein is confidential and may be subject to change without notice. The information contained herein is not to be used for any other purpose. The information contained herein is not to be used for any other purpose.
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## Attachments - Glenorchy Planning Authority - 11 June 2024





DA42

UNIT 6&7 ELEVATION



ORAMATIS STUDIO

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Tasmania 7000  
03 6286 8440  
adam@oramatistudio.com.au  
Oramatistudio Pty Ltd

GENERAL NOTES

1. CONSULT THE LOCAL COUNCIL FOR ALL REQUIREMENTS AND CHECK FOR ANY LOCAL BY-LAWS.  
2. CONSULT THE LOCAL COUNCIL FOR ANY REQUIREMENTS AND CHECK FOR ANY LOCAL BY-LAWS.  
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9. CONSULT THE LOCAL COUNCIL FOR ANY REQUIREMENTS AND CHECK FOR ANY LOCAL BY-LAWS.  
10. CONSULT THE LOCAL COUNCIL FOR ANY REQUIREMENTS AND CHECK FOR ANY LOCAL BY-LAWS.

REV ID

DESCRIPTION

DATE

PROJECT

BAROSSA VILLAS  
60 BAROSSA ROAD, GLENORCHY

REVISION

B

DATE

4/04/2024

SCALE

A5 SHOWN @ A3

DATE

DA43

DRAWING

UNIT8&9 ELEVATION

CLIENT

DMS PTY LTD

PROJECT ID

2277

CHECKED BY

AJ BL

DRAWN BY

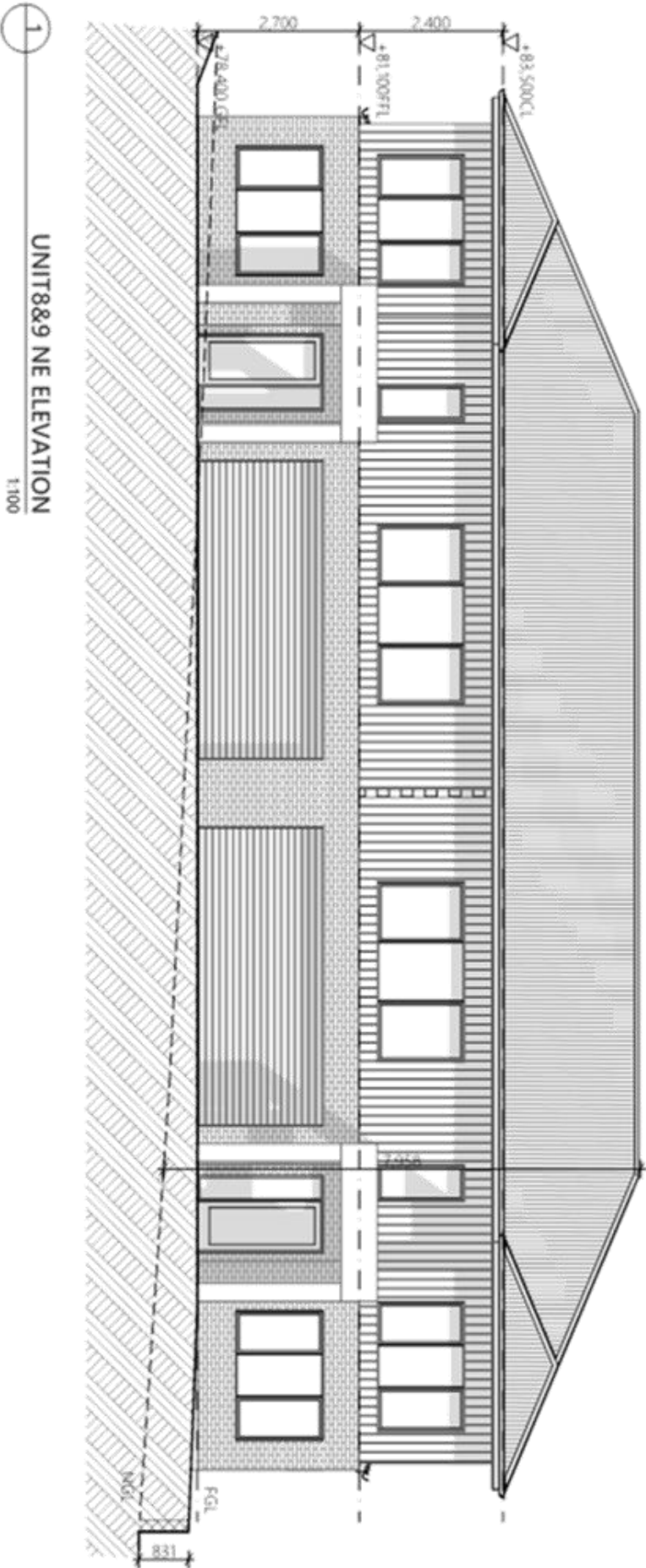
C LI

DATE

DA43

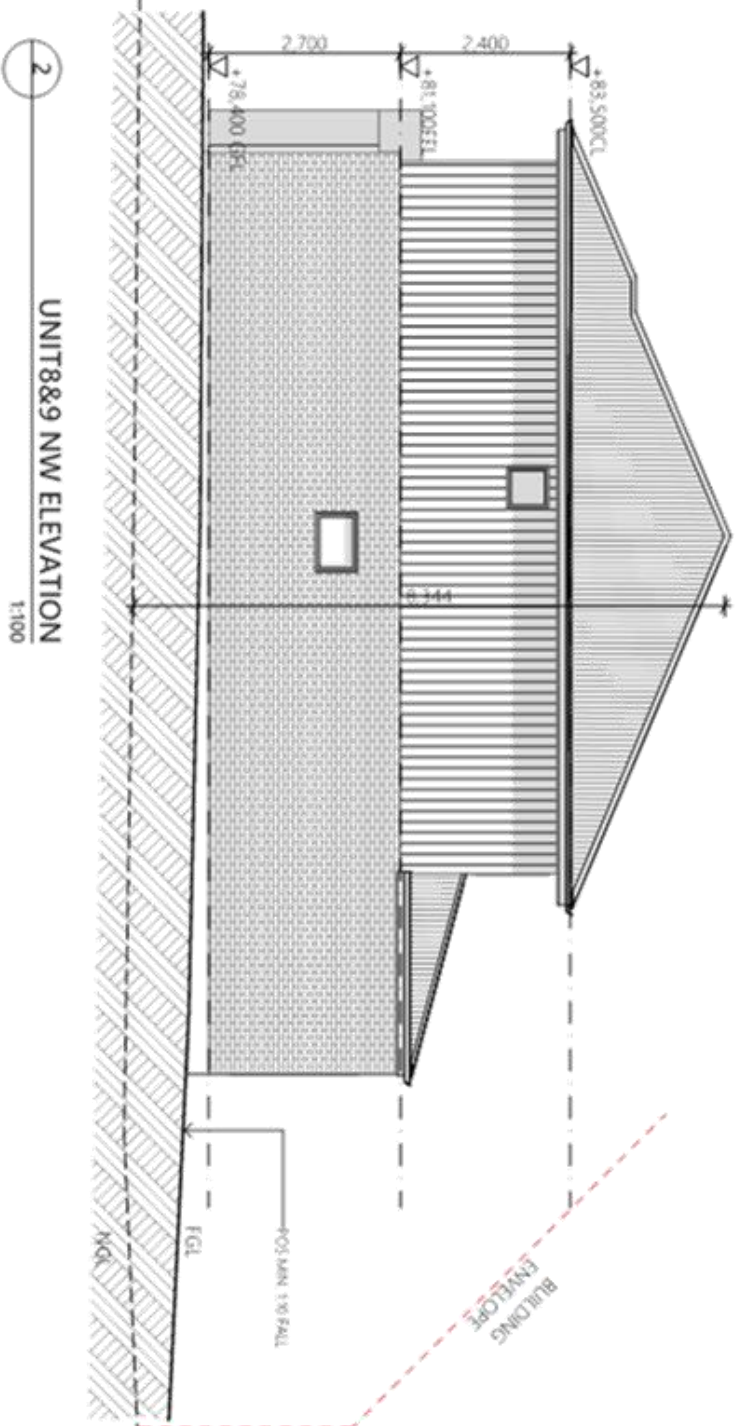
DRAWING

UNIT8&9 ELEVATION



**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**  
APPLICATION NO. PLN-24-031  
DATE RECEIVED 19/04/2024

- MATERIAL & FINISHES**
- ROOF  
COLORBOND ROOF PROFILE: CUSTOM ORB
  - WALL  
HARDIES SCYON LINEA WALL CLADDING  
HARDIES SCYON AXON WALL CLADDING  
HARDIES STRIA™ Cladding  
FACE BRICK - SELECTION TBC  
COLUMN  
9mm FIBRE CEMENT SHEET CLADDED







**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION No. **PLN-24-031**

DATE RECEIVED **19/04/2024**

**Attachments - Glenorchy Planning Authority - 11 June 2024**





ORAMATIS STUDIO

14 Elizabeth Street Hobart  
Tasmania 7000  
03 6286 8440  
adam@oramatis.com.au  
Oramatis Studio Pty Ltd

GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CHECK FOR SET BACKS  
CONSTRUCTION OF ANY WORK, CONSTRUCTION SHALL COMPLY WITH  
LOCAL AND STATE REQUIREMENTS  
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CHECK FOR SET BACKS  
CONSTRUCTION OF ANY WORK, CONSTRUCTION SHALL COMPLY WITH  
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CONSTRUCTION OF ANY WORK, CONSTRUCTION SHALL COMPLY WITH  
LOCAL AND STATE REQUIREMENTS

REV ID

DESCRIPTION

DATE

PROJECT

BAROSSA VILLAS  
60 BAROSSA ROAD, GLENORCHY

REVISION

DATE

SCALE

CLIENT

PROJECT ID

CHECKED BY

DRAWN BY

DATE

DRAWING

NORTH

UNIT 10 NW ELEVATION

1:100

UNIT 10 NE ELEVATION

1:100

UNIT 10 SE ELEVATION

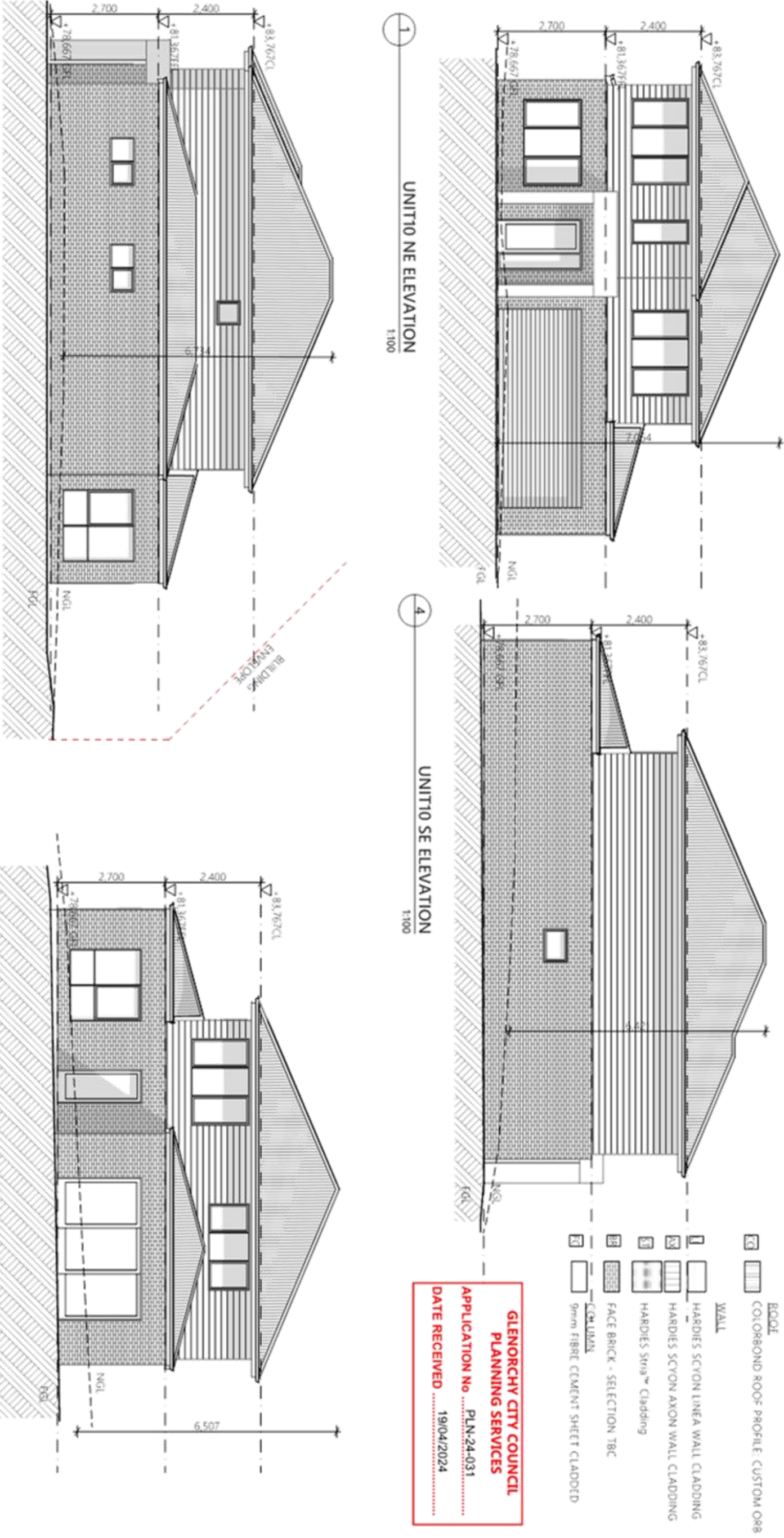
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UNIT 10 SW ELEVATION

1:100

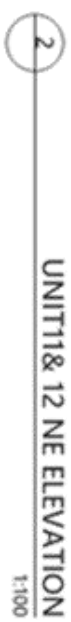
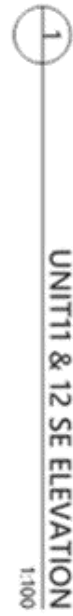
UNIT 10 ELEVATION

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GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION NO. PLN-24-031  
DATE RECEIVED 19/04/2024



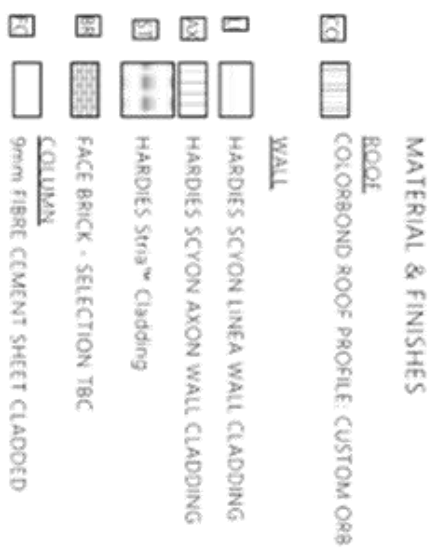


**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION NO. PLN-24-031

DATE RECEIVED 19/04/2024

**Attachments - Glenorchy Planning Authority - 11 June 2024**

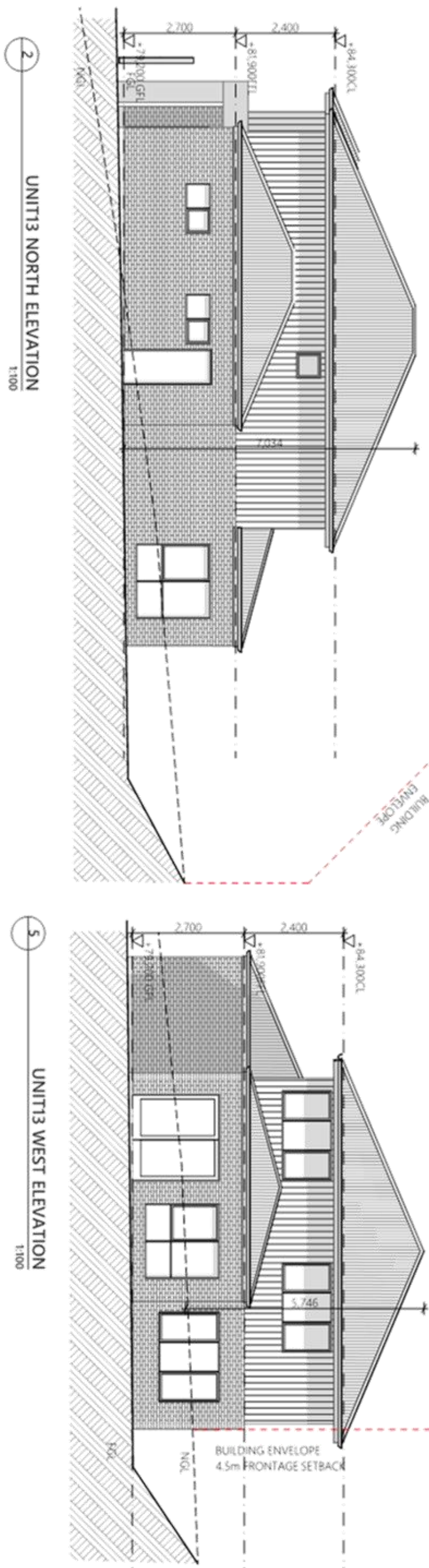


UNIT 1 & 12 NW ELEVATION  
1:100



**Attachments - Glenorchy Planning Authority - 11 June 2024**









ORAMATIS STUDIO

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03 6286 6440  
adam@oramatis.com.au  
oramatis.studio.com.au

GENERAL NOTES

1. CONSULT THE LOCAL COUNCIL FOR ALL REGULATIONS AND STANDARDS THAT MAY APPLY TO THE PROPOSED DEVELOPMENT.  
2. CONSULT THE LOCAL COUNCIL FOR ALL REGULATIONS AND STANDARDS THAT MAY APPLY TO THE PROPOSED DEVELOPMENT.  
3. CONSULT THE LOCAL COUNCIL FOR ALL REGULATIONS AND STANDARDS THAT MAY APPLY TO THE PROPOSED DEVELOPMENT.  
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9. CONSULT THE LOCAL COUNCIL FOR ALL REGULATIONS AND STANDARDS THAT MAY APPLY TO THE PROPOSED DEVELOPMENT.  
10. CONSULT THE LOCAL COUNCIL FOR ALL REGULATIONS AND STANDARDS THAT MAY APPLY TO THE PROPOSED DEVELOPMENT.

REV ID

DESCRIPTION

DATE

1

PROJECT

BAROSSA VILLAS

60 BAROSSA ROAD, GLENORCHY

CLIENT

DMS PTY LTD

PROJECT ID

2277

DESIGNER

ALB

SCALE

AS SHOWN @ A3

DATE

4/04/2024

DRAWN BY

C LI

DATE

DA49

DRAWING

UNIT14 ELEVATION

NORTH

☒

WALL

☒

HARDIES SCYON LINEA WALL CLADDING

☒

HARDIES SCYON AXON WALL CLADDING

☒

HARDIES STRIA™ Cladding

☒

FACE BRICK - SELECTION T8C

☒

COLUMNS

☒

9mm FIBRE CEMENT SHEET CLADDED

GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No PLN-24-031  
DATE RECEIVED 19/04/2024

UNIT14 NE ELEVATION  
1:100

UNIT14 NW ELEVATION  
1:100

UNIT14 SE ELEVATION  
1:100

UNIT14 SW ELEVATION  
1:100





MATERIAL & FINISHES	
<div> <div></div> <div>ROOF</div> </div> <div> <div></div> <div>COLORBOND ROOF PROFILE: CUSTOM ORA</div> </div>	<div> <div></div> <div>WALL</div> </div> <div> <div></div> <div>HARDIES SCYON LINEA WALL CLADDING</div> </div> <div> <div></div> <div>HARDIES SCYON AXON WALL CLADDING</div> </div> <div> <div></div> <div>HARDIES Strip™ Cladding</div> </div> <div> <div></div> <div>FACE BRICK - SELECTION TBC</div> </div> <div> <div></div> <div>COLUMN</div> </div> <div> <div></div> <div>green FIBRE CEMENT SHEET CLADED</div> </div>

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

APPLICATION No. PLN-24-031

DATE RECEIVED 19/04/2024



ORAMATIS STUDIO

14 Elizabeth Street Hobart  
Tasmania 7000  
03 6286 6440  
adam@oramatistudio.com.au  
Oramatis Studio Pty Ltd

GENERAL NOTES

1. CONSULT THE LOCAL COUNCIL FOR ALL REGULATIONS AND STANDARDS THAT APPLY TO THE PROJECT.  
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3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
4. THE DRAWING IS THE PROPERTY OF ORAMATIS STUDIO AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ORAMATIS STUDIO.  
5. ORAMATIS STUDIO ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE, INCLUDING BUT NOT LIMITED TO, LOSS OF PROFITS, BUSINESS, OR REPUTATION, ARISING FROM THE USE OF THIS DRAWING.

REV	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/04/2024

PROJECT	REVISION	DATE	SCALE
BAROSSA VILLAS 60 BAROSSA ROAD, GLENORCHY	B	4/04/2024	AS SHOWN @ A3

CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
DMS PTY LTD	2277	AJ BIL	C LI

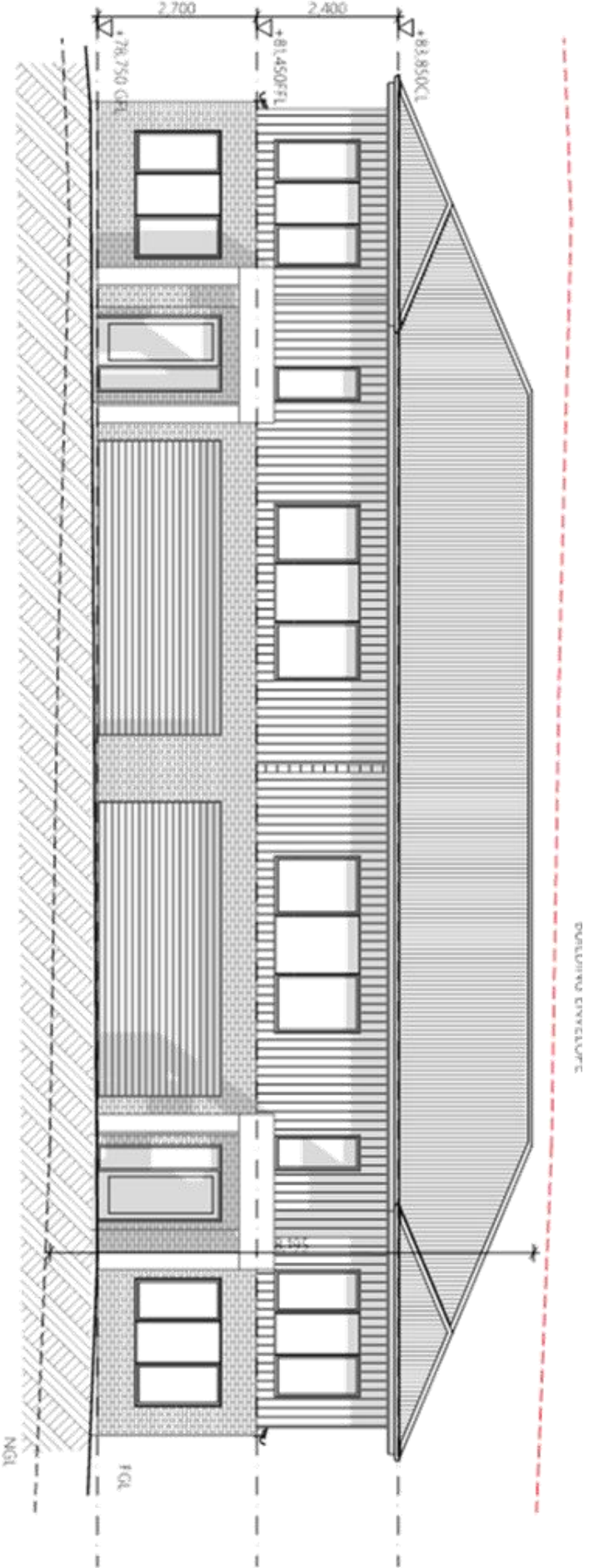
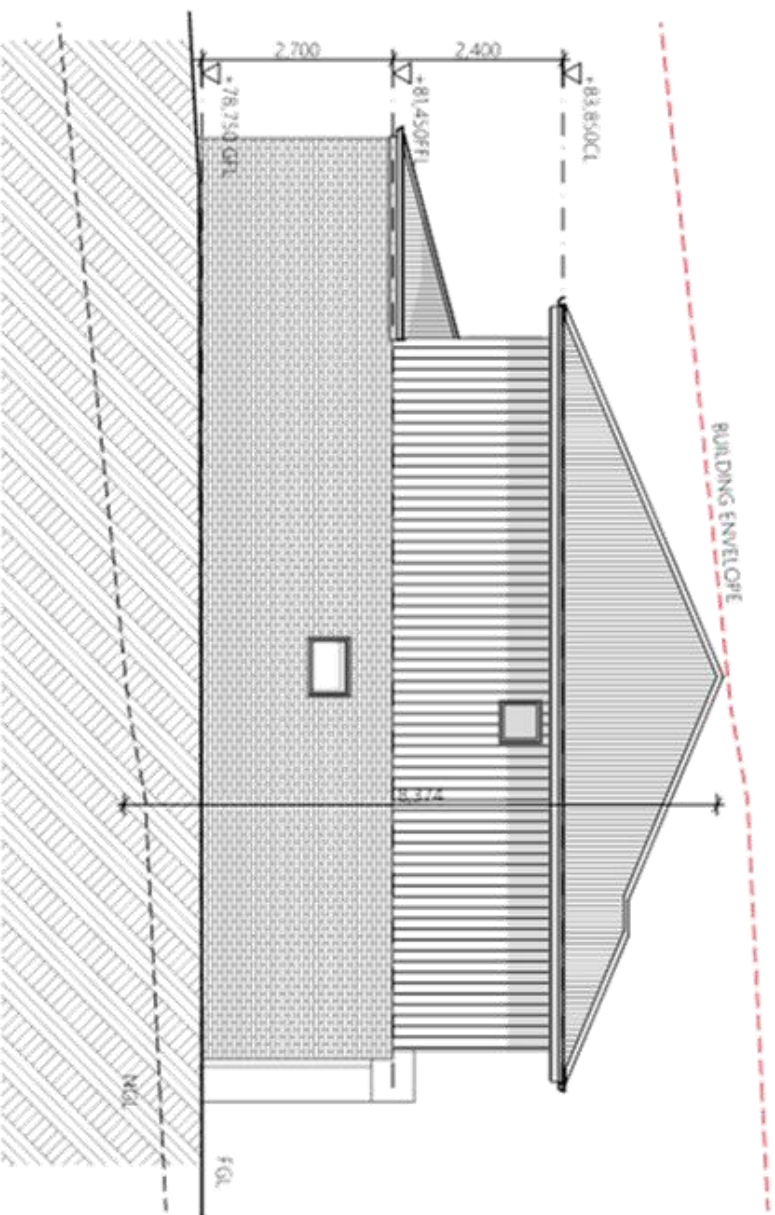
DATE

DA51

DRAWING

UNIT15&16 ELEVATION

NORTH




- MATERIAL & FINISHES
-  COLORBOND ROOF PROFILE: CUSTOM ORB

 HARDIES SCYON LINEA WALL CLADDING

 HARDIES SCYON AXON WALL CLADDING

 HARDIES Stria™ Cladding

 FACE BRICK - SELECTION TBC

 COLUMN

 9mm FIBRE CEMENT SHEET CLADED


GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION NO. PLN-24-031  
DATE RECEIVED 19/04/2024







**MATERIAL & FINISHES**


**ROOF**


 COLORBOND ROOF PROFILE: CUSTOM ORB

**WALL**


 HARDIES SCYON LINEA WALL CLADDING

 HARDIES SCYON AXON WALL CLADDING

 HARDIES Stria™ Cladding

 FACE BRICK - SELECTION TBC

**COLUMN**

 9mm FIBRE CEMENT SHEET CLADED

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

**APPLICATION No** PLN-24-031

**DATE RECEIVED** 19/04/2024







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Tasmania 7000  
03 6286 8440  
adam@oramatistudio.com.au  
Oramatis Studio Pty Ltd

GENERAL NOTES

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REV ID

DESCRIPTION

DATE

PROJECT

BAROSSA VILLAS  
60 BAROSSA ROAD, GLENORCHY

CLIENT

DMS PTY LTD

REVISION

B

DATE

4/04/2024

SCALE

AS SHOWN @ A3

DATE

4/04/2024

DRAWN BY

C. LI

DRAWING

UNIT18&19 ELEVATION

1  
UNIT18&19 NE ELEVATION  
1:100

2  
UNIT18&19 NW ELEVATION  
1:100

MATERIAL & FINISHES

ROOF

COLORBOND ROOF PROFILE: CUSTOM ORB

WALL

HARDIES SCYON LINEA WALL CLADDING

HARDIES SCYON AXON WALL CLADDING

HARDIES STRIA™ Cladding

FACE BRICK - SELECTION T8C

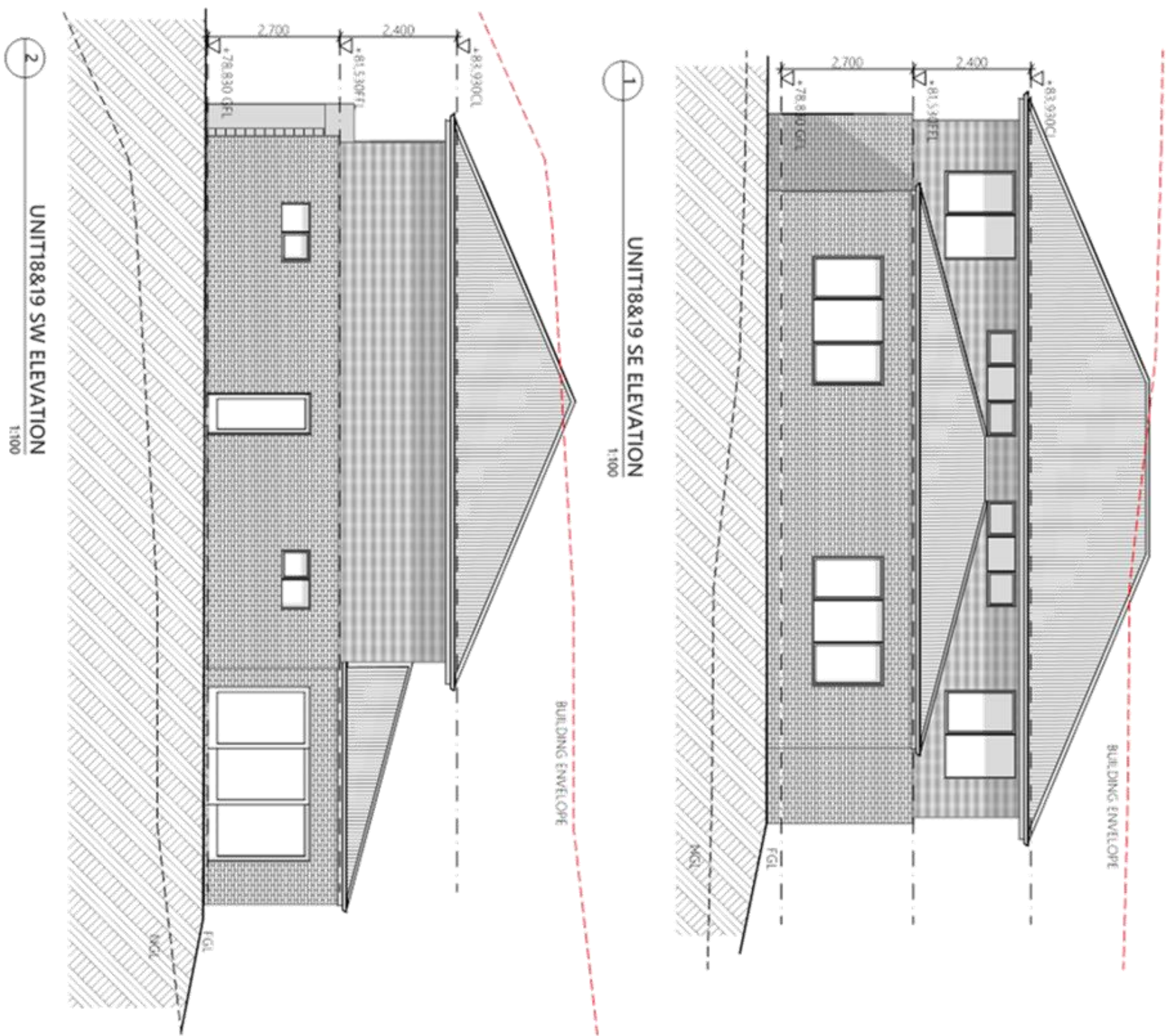
COLUMN







9mm FIBRE CEMENT SHEET CLADDED

GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION NO. PLN-24-031  
DATE RECEIVED 19/04/2024

Attachments - Glenorchy Planning Authority - 11 June 2024





MATERIAL & FINISHES	
<u>ROOF</u>	
	COLORBOND ROOF PROFILE, CUSTOM ORANGE
<u>WALL</u>	
	HARDIES SCYON LINEA WALL CLADDING
	HARDIES SCYON AXON WALL CLADDING
	HARDIES Stria™ Cladding
	FACE BRICK - SELECTION TBC
<u>COLUMN</u>	
	9mm FIBRE CEMENT SHEET CLADDED

**GLENORCHY CITY COUNCIL  
PLANNING SERVICES**

**APPLICATION No** PLN-24-031

**DATE RECEIVED** 19/04/2024





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Oramatis Studio Pty Ltd

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REV ID

DESCRIPTION

DATE

1

PROJECT

BAROSSA VILLAS

60 BAROSSA ROAD, GLENORCHY

CLIENT

DMS PTY LTD

PROJECT ID

2277

CHECKED BY

ALB

DRAWN BY

C LI

SCALE

AS SHOWN @ A3

DATE

4/04/2024

NO

DA55

DRAWING

UNIT20 ELEVATION

UNIT20 SE ELEVATION  
1:100

UNIT20 SW ELEVATION  
1:100

UNIT20 NE ELEVATION  
1:100

UNIT20 NW ELEVATION  
1:100

MATERIAL & FINISHES

☒

ROOF

☒

COLORBOND ROOF PROFILE: CUSTOM ORB

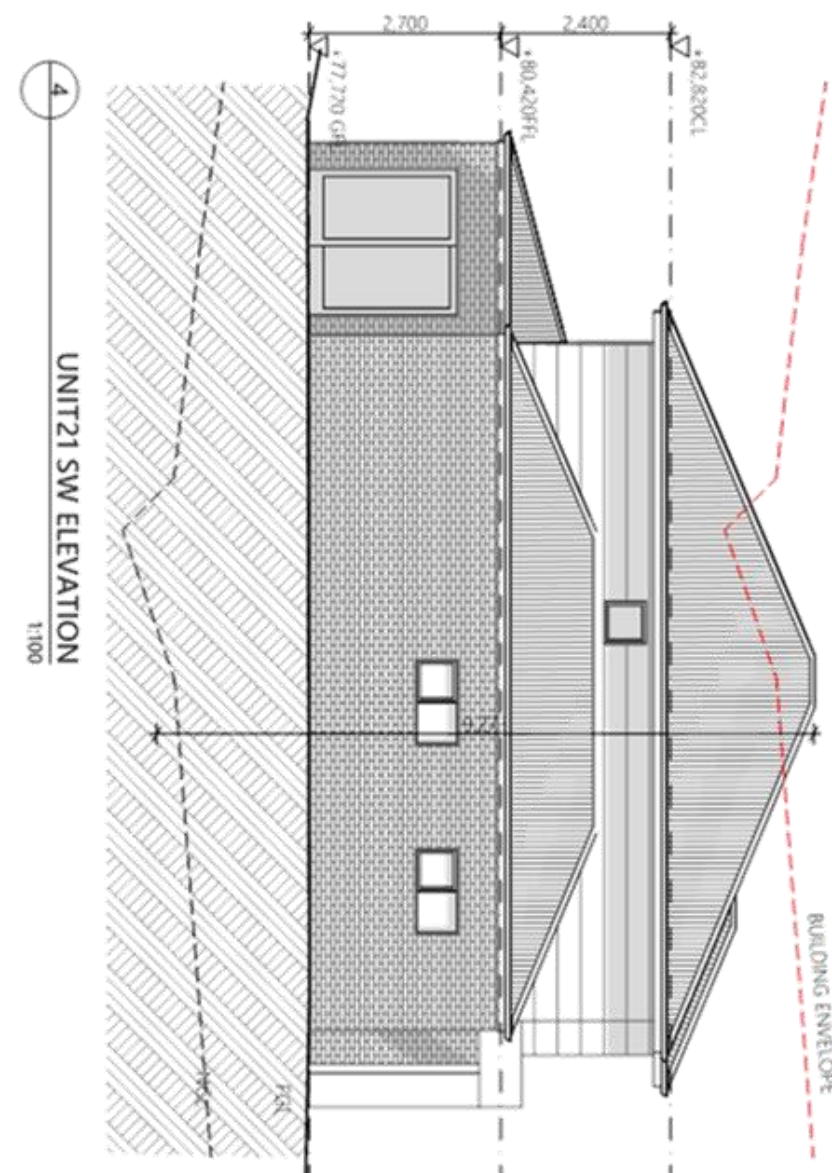
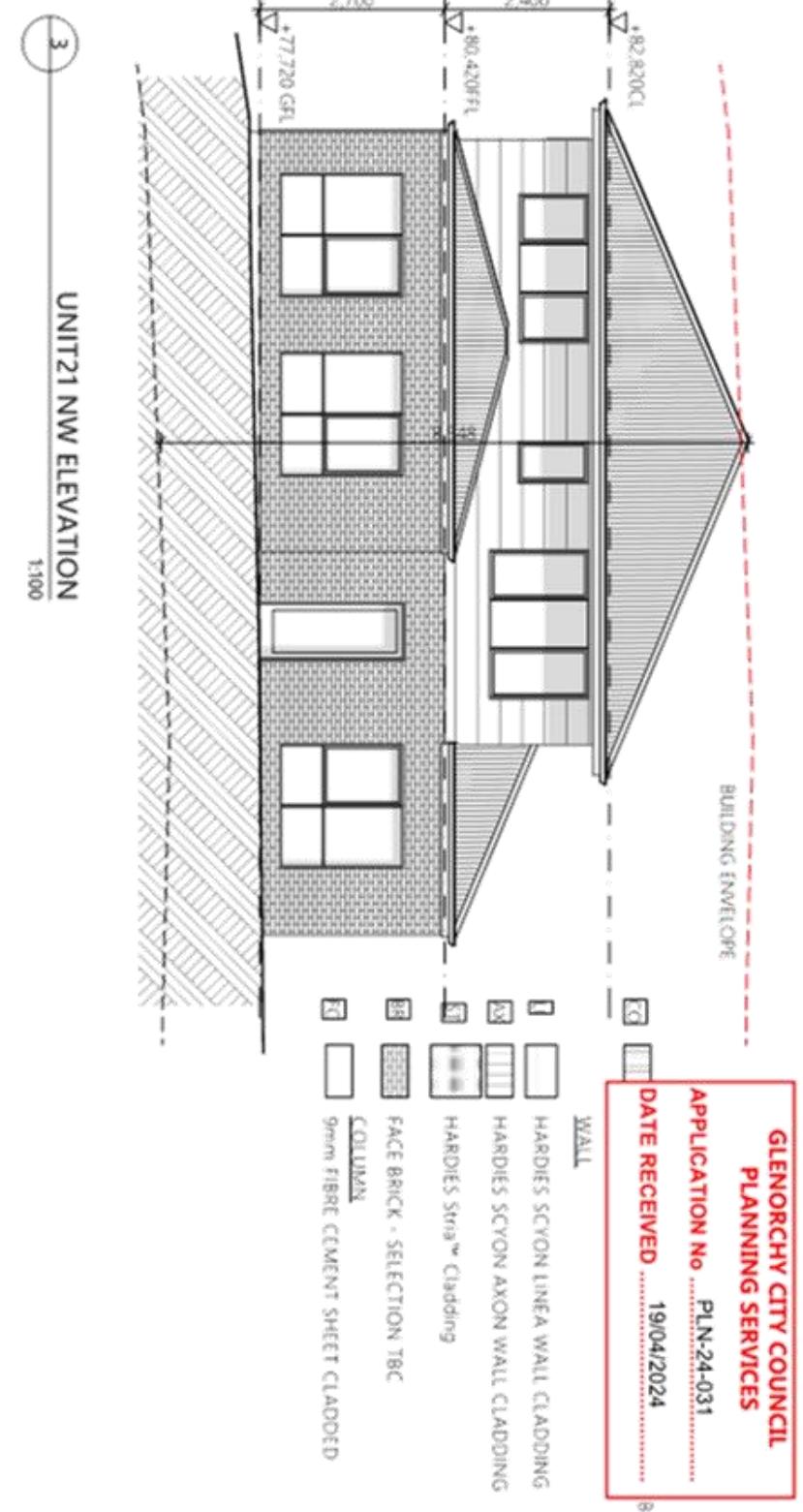
WALL

☒

HARDIES SCYON LINEA WALL CLADDING☒☒☒☒☒

GLENORCHY CITY COUNCIL  
PLANNING SERVICES  
APPLICATION No ..... PLN-24-031  
DATE RECEIVED ..... 19/04/2024





**Attachments - Glenorchy Planning Authority - 11 June 2024**









ORAMATIS STUDIO

14 Elizabeth Street Hobart  
Tasmania 7000  
03 6286 8440  
admin@oramatis.com.au  
oramatis.studio Pty Ltd

GENERAL NOTES

1. CONSULT THE LOCAL COUNCIL FOR ALL REGULATIONS AND STANDARDS THAT APPLY TO THE PROJECT.  
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ORAMATIS STUDIO

PROJECT ID

2277

CHECKED BY

ALB

DRAWN BY

C. LI

SCALE

AS SHOWN @ A3

DATE

DA58

DRAWING

UNIT23 ELEVATION

NORTH

1

UNIT23 NW ELEVATION

1:100

3

UNIT23 NW ELEVATION

1:100

2

UNIT23 SE ELEVATION

1:100

4

UNIT23 SW ELEVATION

1:100

MATERIAL & FINISHES

ROOF

COLORBOND ROOF PROFILE: CUSTOM ORB

WALL

HARDIES SCYON LINEA WALL CLADDING

HARDIES SCYON AXON WALL CLADDING

HARDIES STRIA™ Cladding

FACE BRICK - SELECTION TBC

COLUMN

9mm FIBRE CEMENT SHEET CLADDED

GLENORCHY CITY COUNCIL

PLANNING SERVICES

APPLICATION No

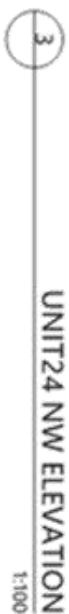
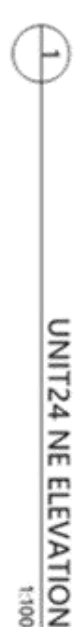
PLN-24-031

DATE RECEIVED

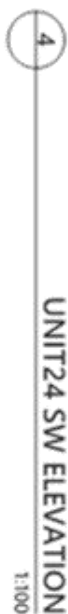
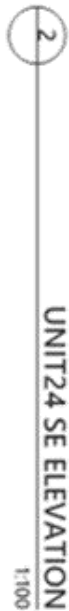
19/04/2024

Attachments - Glenorchy Planning Authority - 11 June 2024





- GLENORCHY CITY COUNCIL  
PLANNING SERVICES**
- APPLICATION No ..... **PLN-24-031**
- DATE RECEIVED ..... **19/04/2024**









## Submission to Planning Authority Notice

<b>Council Planning Permit No.</b>	PLN-24-031	<b>Council notice date</b>	25/03/2024
<b>TasWater details</b>			
<b>TasWater Reference No.</b>	TWDA 2024/00334-GCC	<b>Date of response</b>	30/04/2024
<b>TasWater Contact</b>	Huong Pham	<b>Phone No.</b>	0427 471 748
<b>Response issued to</b>			
<b>Council name</b>	GLENORCHY CITY COUNCIL		
<b>Contact details</b>	gccmail@gcc.tas.gov.au		
<b>Development details</b>			
<b>Address</b>	60 BAROSSA RD, GLENORCHY	<b>Property ID (PID)</b>	7274565
<b>Description of development</b>	Multiple Dwellings x 24 & Demolish Ex Dwelling and Shed		
<b>Schedule of drawings/documents</b>			
<b>Prepared by</b>	<b>Drawing/document No.</b>	<b>Revision No.</b>	<b>Date of Issue</b>
Flussig Engineers	FE-23093 sheets C-000 & H-210	P1	11/04/2024
	FE-23093 sheets C-201, H-200 & H-300	P2	11/04/2024
<b>Conditions</b>			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p><b>CONNECTIONS, METERING &amp; BACKFLOW</b></p> <ol style="list-style-type: none"> <li>A suitably sized water supply with metered connections and sewerage system and connections to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. <i>Advice: A DN100 sewer property connection can service up to 10 units, refer to MRWA-S-104A.</i></li> <li>Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost.</li> <li>Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.</li> </ol> <p><b>ASSET CREATION &amp; INFRASTRUCTURE WORKS</b></p> <ol style="list-style-type: none"> <li>Prior to applying for Engineering Design Approval, the developer must physically locate all existing infrastructure to provide sufficient information for accurate design and physical works to be undertaken.</li> <li>Plans submitted with the application for Engineering Design Approval must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains. <ol style="list-style-type: none"> <li>Sewer main asset A551861 must be re-graded to suit the new sewer servicing for the development, not as shown on Sheet H-200. The sewer alignment must be amended to indicate proposed maintenance hole MH-S-01-01 to be constructed over the top of TasWater's existing sewer. The existing sewer main must be re-garded to connect MH-S-01-01 to the existing MH asset A548192.</li> </ol> </li> </ol>			





6. Prior to applying for a Permit to construct new infrastructure the developer must obtain from TasWater Engineering Design Approval for new TasWater infrastructure. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water and sewerage to TasWater's satisfaction.
7. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater's satisfaction.
8. Prior to undertaking any works related to water and sewerage, physical markers must be in place that clearly identify where water and/or sewer connections are to be made in accordance with any approved plan to TasWater's satisfaction.
9. In addition to any other conditions in this permit, all works must be constructed under the supervision of a suitably qualified person in accordance with TasWater's requirements.
10. Prior to the issue of a Certificate of Water and sewerage Compliance (Building and/or Plumbing) all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure required to service the development, are to be completed generally as shown on, and in accordance with, the plans listed in the schedule of drawings, and are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.
11. After testing/disinfection, to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.
12. At practical completion of the water and sewerage works and prior to applying to TasWater for a Certificate of Water and Sewerage Compliance (Building and/or Plumbing), the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:
  - a. Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved.
  - b. A request for a joint on-site inspection with TasWater's authorised representative must be made.
  - c. Work As Constructed drawings and documentation must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater.

Upon TasWater issuing a Certificate of Practical Completion, the newly constructed infrastructure is deemed to have transferred to TasWater.
13. After the Certificate of Practical Completion has been issued, a 12-month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12-month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". TasWater will release any security held for the defect's liability period.
14. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.
15. Ground levels over the TasWater assets and/or easements must not be altered without the written approval of TasWater.



16. A construction management plan must be submitted with the application for TasWater Engineering Design Approval. The construction management plan must detail how the new TasWater infrastructure will be constructed while maintaining current levels of services provided by TasWater to the community. The construction plan must also include a risk assessment and contingency plans covering major risks to TasWater during any works. The construction plan must be to the satisfaction of TasWater prior to TasWater's Engineering Design Approval being issued.

#### **56W CONSENT**

17. Prior to the issue of the Certificate for Certifiable Work (Building) and/or (Plumbing) by TasWater the applicant or landowner as the case may be must make application to TasWater pursuant to section 56W of the Water and Sewerage Industry Act 2008 for its consent in respect of that part of the development which is built within a TasWater easement or over or within two metres of TasWater infrastructure.

#### **DEVELOPER CHARGES**

18. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$31,977.40 to TasWater for water infrastructure for 18.20 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
19. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$40,411.00 to TasWater for sewerage infrastructure for 23.00 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
20. In the event Council approves a staging plan, prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing) for each stage, the developer must pay the developer charges commensurate with the number of Equivalent Tenements in each stage, as approved by Council.

#### **DEVELOPMENT ASSESSMENT FEES**

21. The applicant or landowner as the case may be, must pay a development assessment fee of 749.17 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

#### **Advice**

##### **General**

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

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##### **Water Submetering**

As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering





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- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure.

Further information can be obtained from TasWater.

- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.

- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

**NOTE:** In accordance with the WATER AND SEWERAGE INDUSTRY ACT 2008 - SECT 562B A regulated entity may charge a person for the reasonable cost of –

- (a) a meter; and  
(b) installing a meter.

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The plans submitted with the application for the Certificate for Certifiable Work (Building) and/or (Plumbing) will need to show footings of proposed buildings located over or within 2.0m from TasWater pipes and will need to be designed by a suitably qualified person to adequately protect the integrity of TasWater's infrastructure, and to TasWater's satisfaction, be in accordance with AS3500 Part 2.2 Section 3.8 to ensure that no loads are transferred to TasWater's pipes. These plans will need to also include a cross sectional view through the footings which clearly shows;

- (a) Existing pipe depth and proposed finished surface levels over the pipe;  
(b) The line of influence from the base of the footing must pass below the invert of the pipe and be clear of the pipe trench and;  
(c) A note on the plan indicating how the pipe location and depth were ascertained.  
(d) The location of the property service connection and sewer inspection opening (IO).

#### Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

#### TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	<a href="http://www.taswater.com.au">www.taswater.com.au</a>



## Submission to Planning Authority Notice

Council Planning Permit No.	PLN-24-031	Council notice date	25/03/2024
<b>TasWater details</b>			
TasWater Reference No.	TWDA 2024/00334-GCC	Date of response	30/04/2024
TasWater Contact	Huong Pham	Phone No.	0427 471 748
<b>Response issued to</b>			
Council name	GLENORCHY CITY COUNCIL		
Contact details	gccmail@gcc.tas.gov.au		
<b>Development details</b>			
Address	60 BAROSSA RD, GLENORCHY	Property ID (PID)	7274565
Description of development	Multiple Dwellings x 24 & Demolish Ex Dwelling and Shed		
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Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au