

GLENORCHY PLANNING AUTHORITY
ATTACHMENTS
MONDAY, 13 MAY 2024

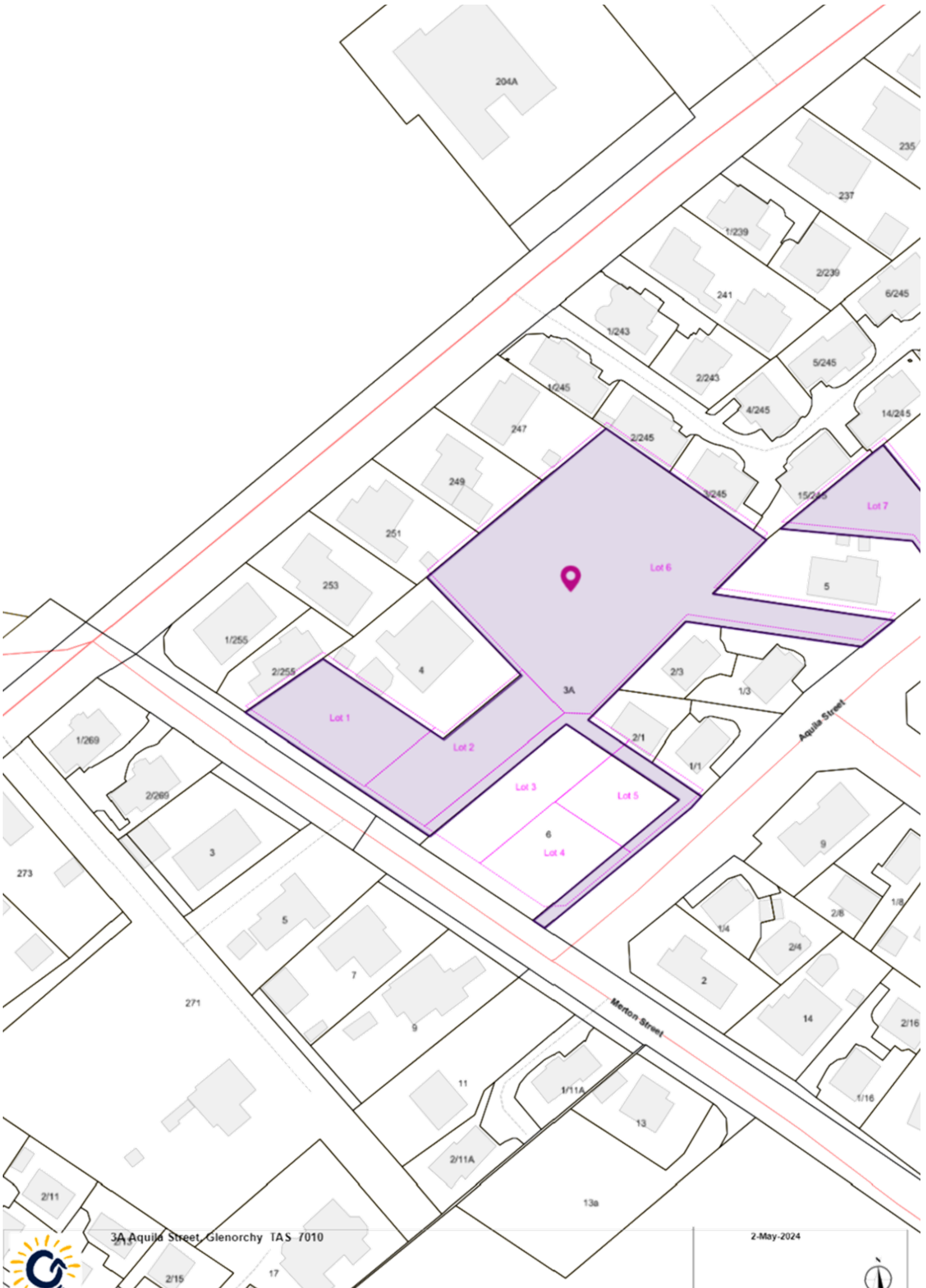


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PLANNING

**5. PROPOSED USE AND DEVELOPMENT – MULTIPLE DWELLINGS
(NINE PROPOSED) INCLUDING WORKS AND INFRASTRUCTURE -
3A AQUILA STREET GLENORCHY, 15/245 TOLOSA STREET
GLENORCHY, 6 MERTON STREET GLENORCHY**

1: GPA Attachment - 3A Aquila Street, 6 Merton Street and
15/245 Tolosa Street, Glenorchy 3



PROPOSED NEW UNIT DEVELOPMENT 3a AQUILA STREET, GLENORCHY

KOOYONG DEVELOPMENT UNIT TRUST

PD21120

BUILDING DRAWINGS

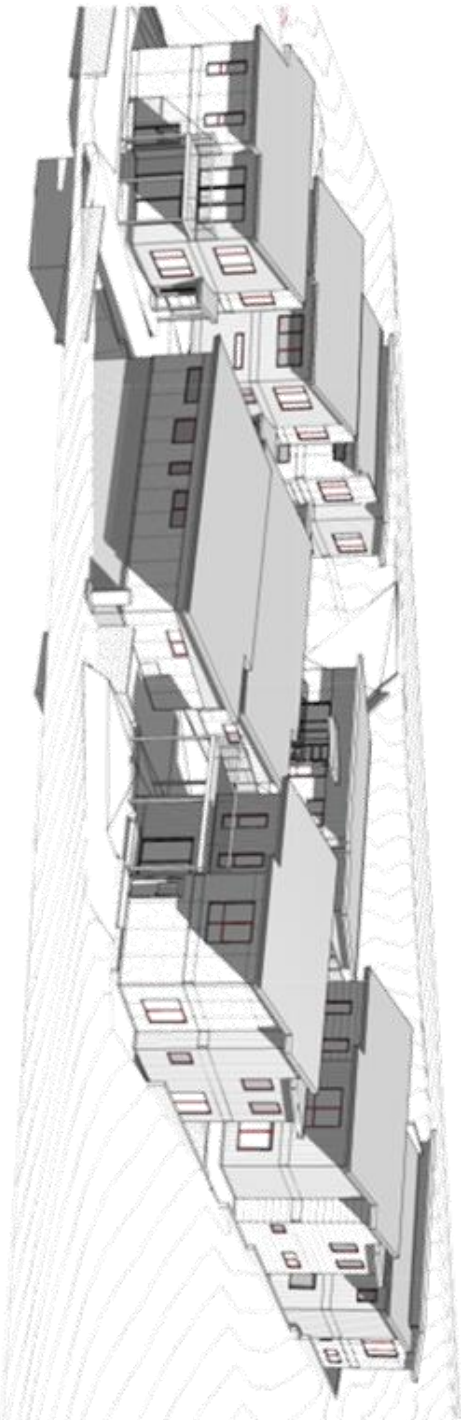
No	DRAWING
01	SITE PLAN
02	SITE LANDSCAPING PLAN
03	SITE DRAINAGE PLAN
04	SUN SHADOW DIAGRAMS
05	SITE TURNING MOVEMENTS

UNIT BUILDING DRAWINGS

No	DRAWING
UNIT 1	FLOOR PLAN
U1-01	ELEVATIONS
U1-02	ELEVATIONS
U1-03	ROOF PLAN
U1-04	PERSPECTIVES
UNIT 2	FLOOR PLAN
U2-01	ELEVATIONS
U2-02	ELEVATIONS
U2-03	ROOF PLAN
U2-04	PERSPECTIVES
UNIT 3	FLOOR PLAN
U3-01	ELEVATIONS
U3-02	ELEVATIONS
U3-03	ROOF PLAN
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UNIT 4	FLOOR PLAN
U4-01	ELEVATIONS
U4-02	ELEVATIONS
U4-03	ROOF PLAN
U4-04	PERSPECTIVES
UNIT 5	FLOOR PLAN
U5-01	ELEVATIONS
U5-02	ELEVATIONS
U5-03	ROOF PLAN
U5-04	PERSPECTIVES

UNIT BUILDING DRAWINGS

No	DRAWING
UNIT 6	FLOOR PLAN
U6-01	ELEVATIONS
U6-02	ELEVATIONS
U6-03	ROOF PLAN
U6-04	PERSPECTIVES
UNIT 7	FLOOR PLAN
U7-01	ELEVATIONS
U7-02	ELEVATIONS
U7-03	ROOF PLAN
U7-04	PERSPECTIVES
UNIT 8	FLOOR PLAN
U8-01	ELEVATIONS
U8-02	ELEVATIONS
U8-03	ROOF PLAN
U8-04	PERSPECTIVES
UNIT 9	FLOOR PLAN
U9-01	ELEVATIONS
U9-02	ELEVATIONS
U9-03	ROOF PLAN
U9-04	PERSPECTIVES



PLANNING



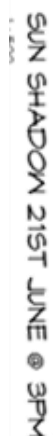
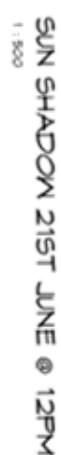
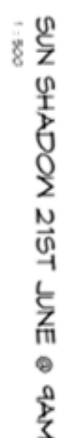
100 Galloway Close, Burnside, Adelaide 5033
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Email: info@primedesign.com.au
Website: www.primedesign.com.au

JANUARY 2024









NOTE:
DIMENSIONS DO NOT
INCLUDE CLADDING

FLOOR PLAN

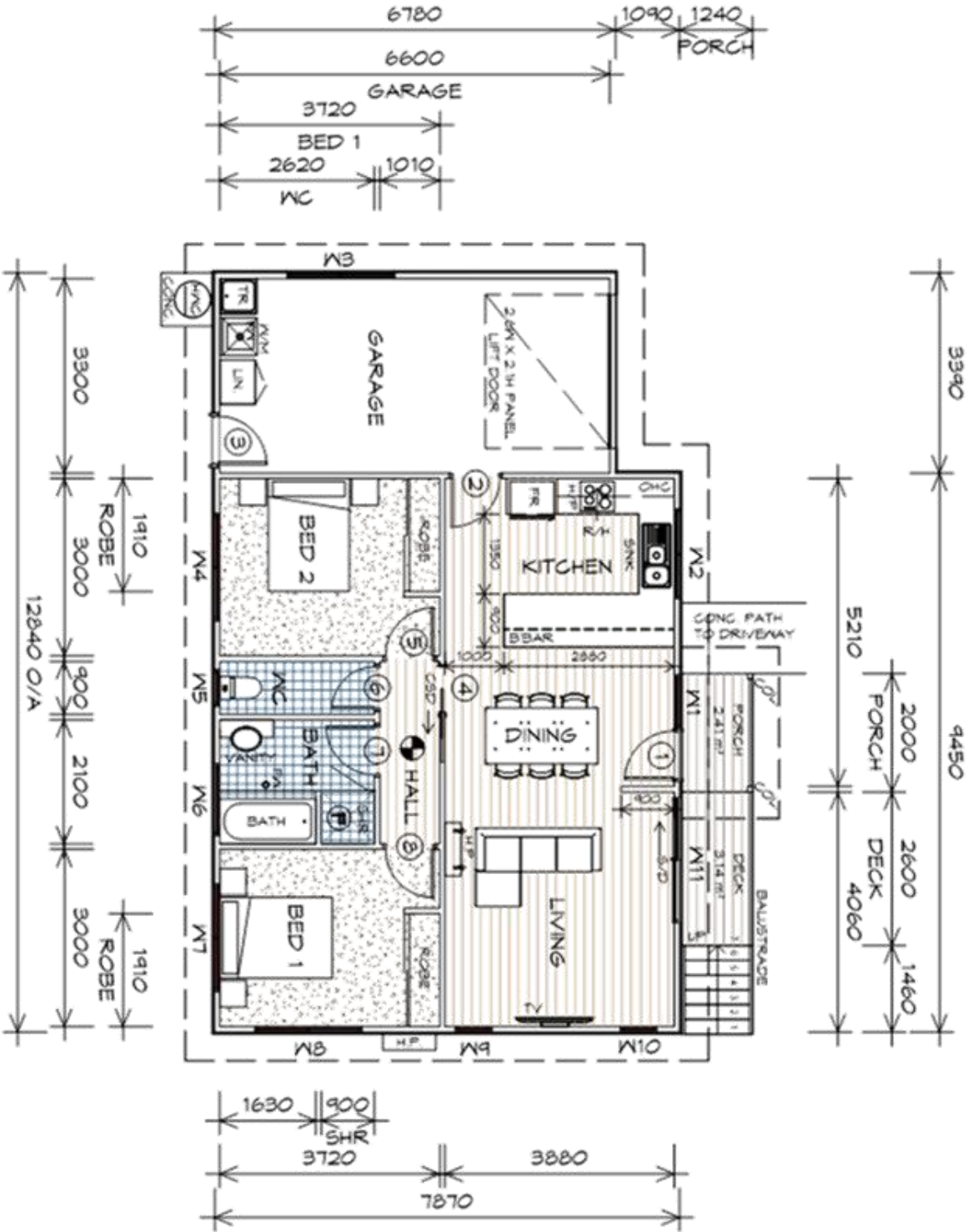
1 : 100

NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING
AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND
OUTDOOR AREAS ARE CALCULATED SEPARATELY.

GARAGE AREA	23.77	m ²	(2.56 SQUARES)
FLOOR AREA	74.85	m ²	(8.05 SQUARES)
PORCH AREA	2.53	m ²	(0.27 SQUARES)
DECK AREA	3.24	m ²	(0.35 SQUARES)
TOTAL AREA	104.45		11.23

UNIT 1



LEGEND

- Ⓡ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- Ⓢ CAVITY SLIDING DOOR
- Ⓢ SLIDING DOOR
- Ⓢ FLOOR WASTE
- Ⓢ GLASS SCREEN
- Ⓢ RANGE HOOD, VENT TO OUTSIDE AIR
- Ⓢ HOT WATER CYLINDER
- Ⓢ COLUMN

NO RISERS	RISER HT	TREAD DEPTH
7	171	250

GOING NON SLIP TO COMPLY NCC 2019

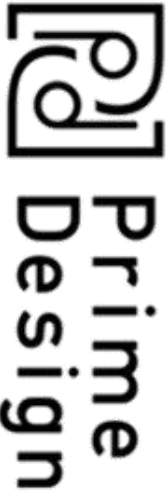
DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	EXTERNAL HALF GLASS	
4	820	CAVITY SLIDING DOOR	
5	820	INTERNAL TIMBER DOOR	
6	120	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	INTERNAL TIMBER DOOR	

WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
M1	2100	910	AWNING WINDOW	
M2	900	1510	AWNING WINDOW	
M3	600	1810	AWNING WINDOW	
M4	1800	1810	AWNING WINDOW	
M5	900	610	AWNING WINDOW	OPAQUE
M6	900	1210	AWNING WINDOW	OPAQUE
M7	600	1810	AWNING WINDOW	
M8	1800	1810	AWNING WINDOW	
M9	1800	610	AWNING WINDOW	
M10	1800	610	AWNING WINDOW	
M11	2100	2110	SLIDING DOOR	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS TO SUIT TBC BAL RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



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GLENORCHY CITY COUNCIL
PLANNING SERVICES

PLN-23-307

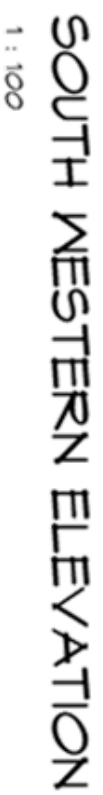
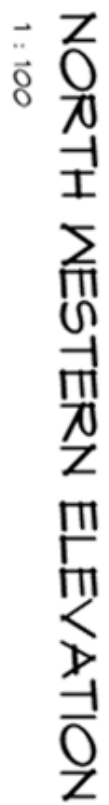
APPLICATION No

18/03/2024

DATE RECEIVED

PLANNING

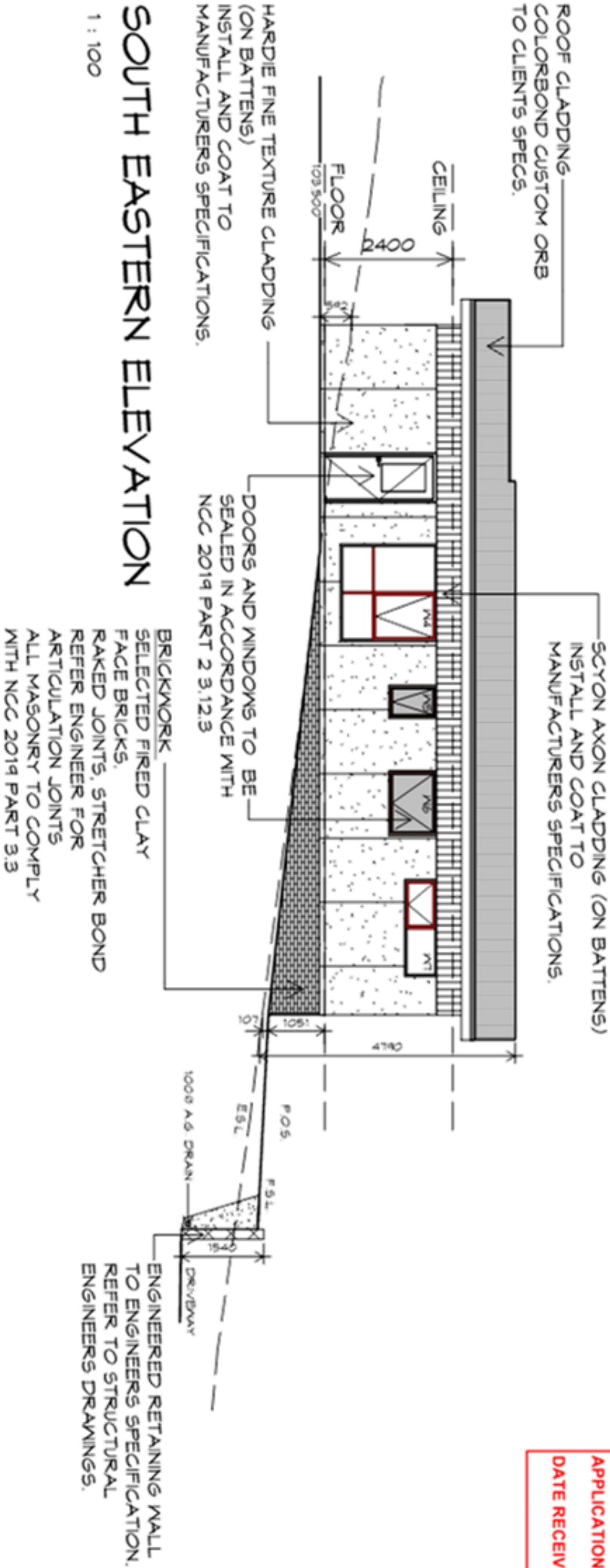
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PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

Project/Drawing no:	Revision:
PD21120-U1-02	02



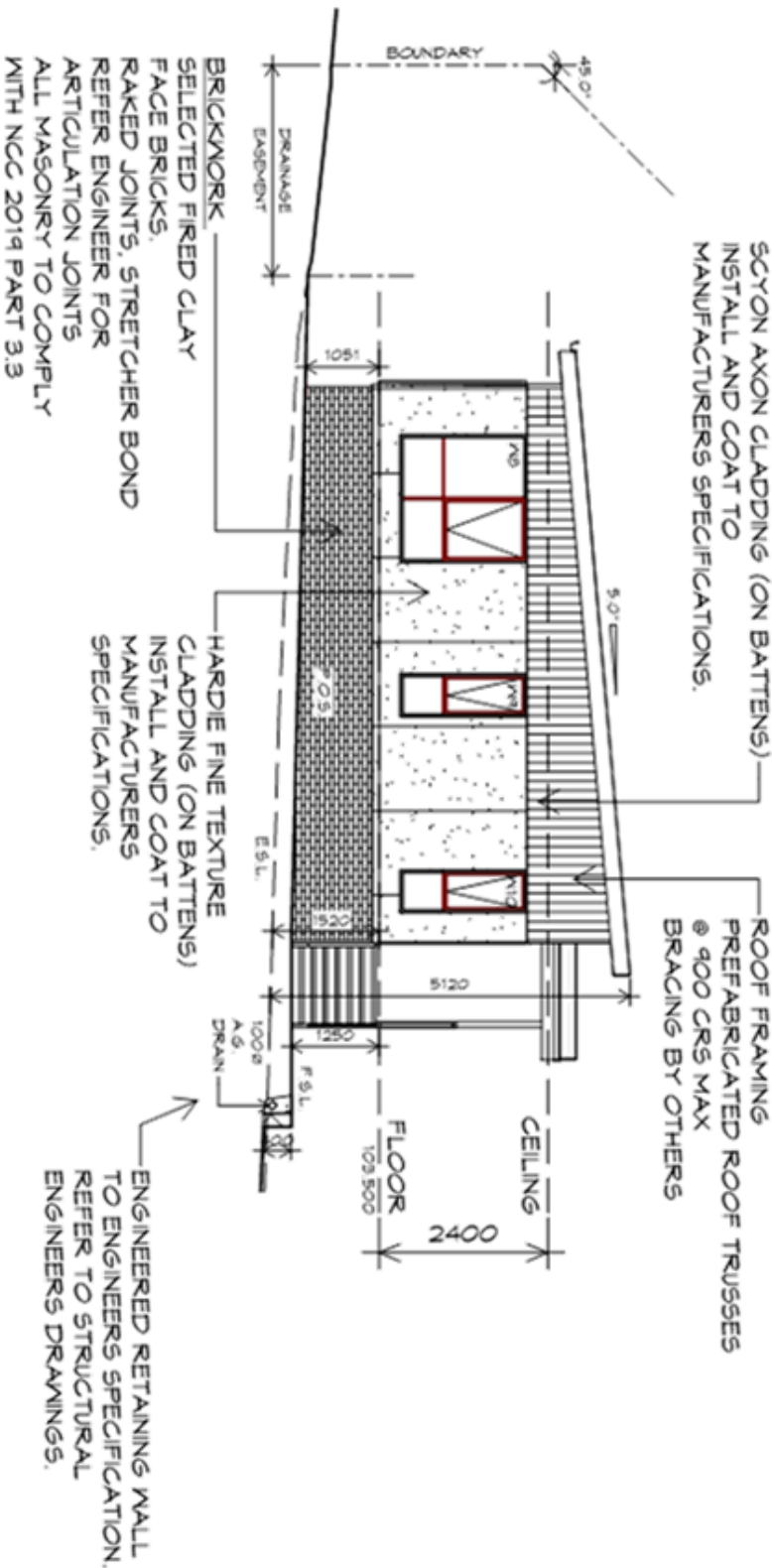
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

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NORTH EASTERN ELEVATION

1 : 100



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Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

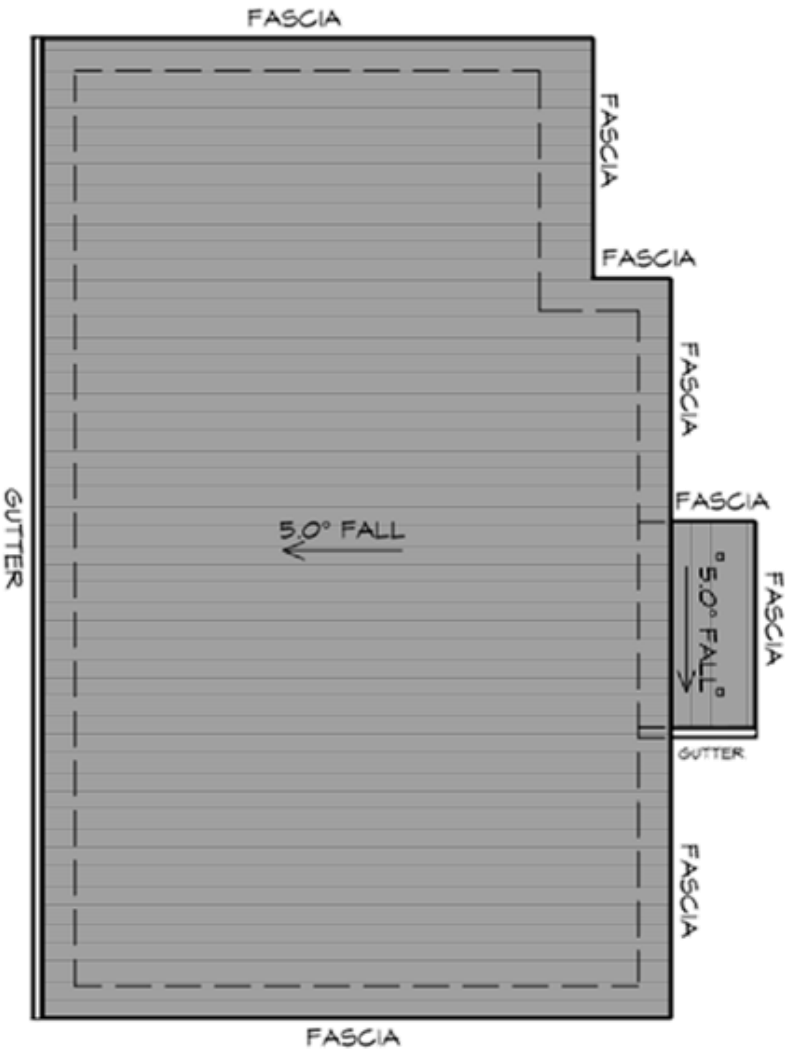
Drawing:
ELEVATIONS

Drafted by:
A.G.C.
Approved by:
Approver

Date:
12/09/2023
Scale:
1 : 100

Project/Drawing no:
PD21120 -U1-03
Revision:
02

bdc
BUILDING DESIGNERS



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

UNIT 1

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
NCC 2019 PART 3.5.2.4.
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPipe POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.S
REQUIRED ARE TO BE IN ACCORDANCE
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & WITHIN 1.2m FROM A
VALLEY GUTTER.

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING.
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF
CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS.
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER
FREQUENCY FOR TRANSVERSE FLASHINGS AND
CAPPIINGS, ANT CAPILLARY BREAKS, FLASHING
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF PENETRATION FLASHING DETAILS.
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER
NCC 2019 PART 3.5.1.8

PLANNING

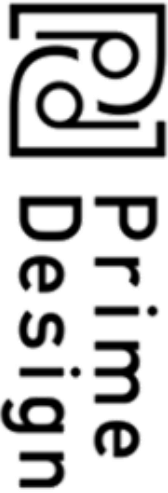
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GLENORCHY CITY COUNCIL
PLANNING SERVICES

PLN-23-307

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Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
ROOF PLAN

Date: 12/09/2023 Scale: 1 : 100

Drafted by:
A.G.C.

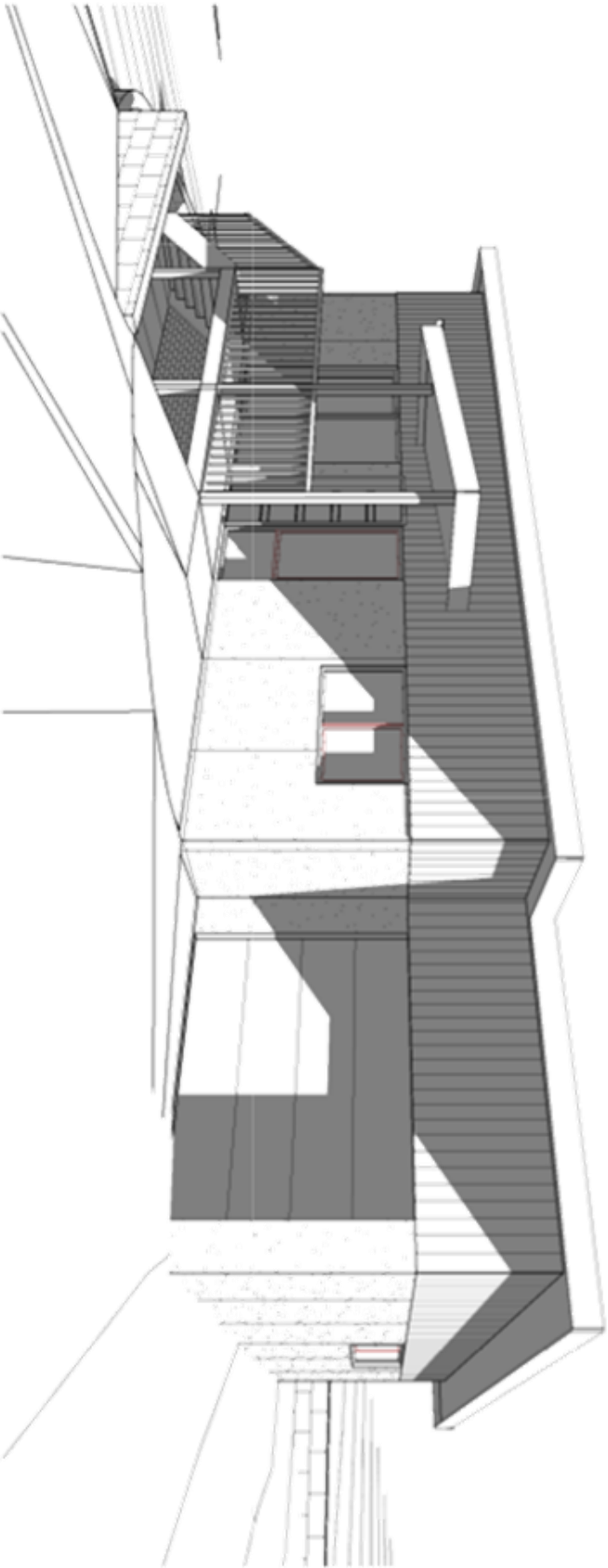
Approved by:
Approver



Project/Drawing no:
PD21120 -U1-04

Revision:
02

UNIT 1



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APPLICATION No PLN-23-307
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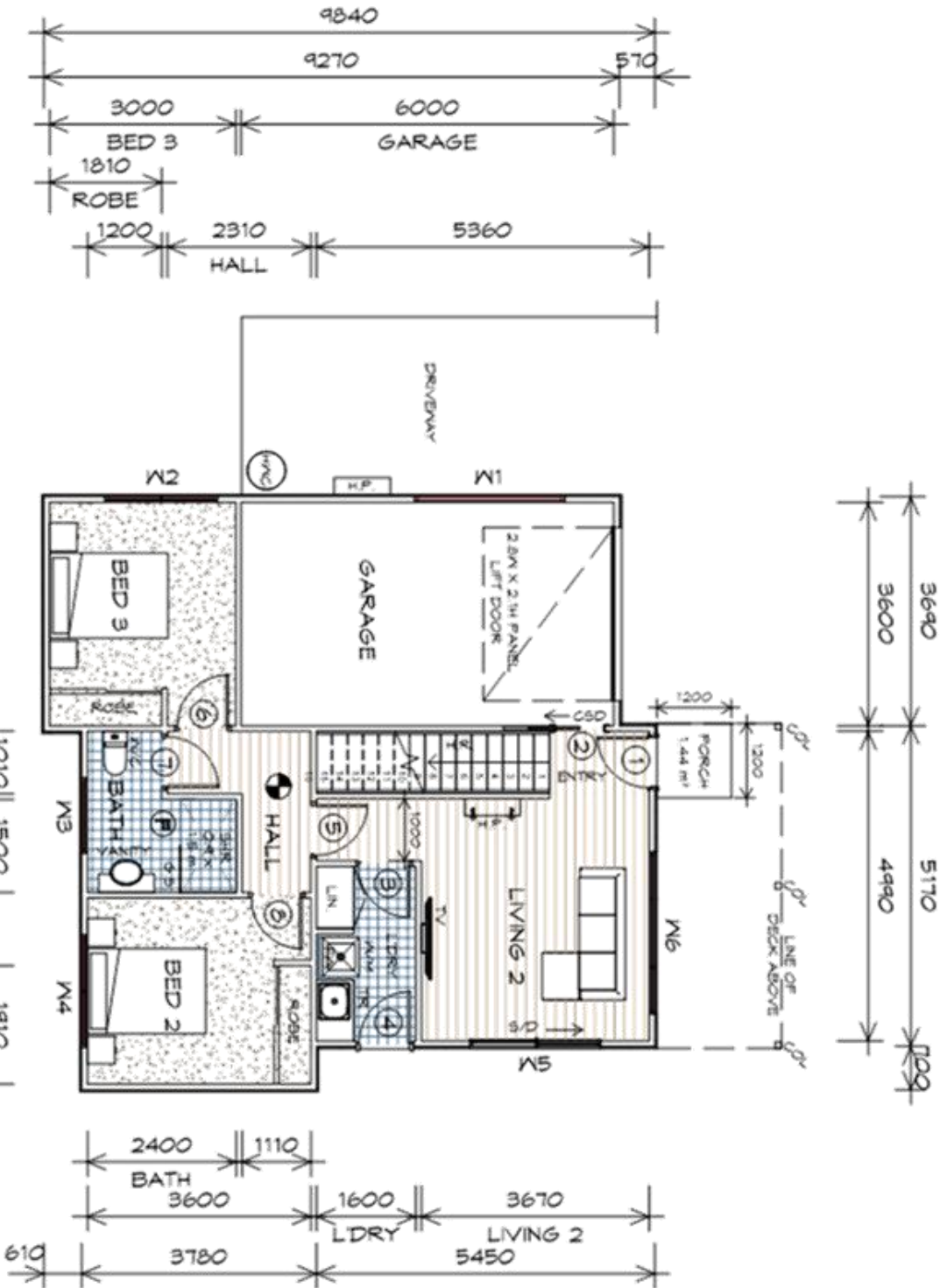
Drawing:
PERSPECTIVES

Drafted by: **A.G.C.** **Approved by:** **Approver**

Date: **12/09/2023** **Scale:**

Project/Drawing no: **PD21120 -U1-05** **Revision:** **02**

bdoo
BUILDING DESIGNERS



NOTE:
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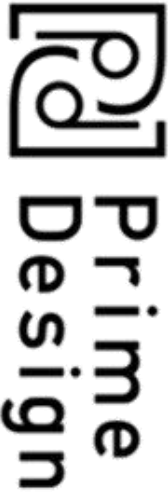
GROUND FLOOR PLAN

1 : 100

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING
AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND
OUTDOOR AREAS ARE CALCULATED SEPARATELY.

FIRST FLOOR AREA	85.61 m ²	(4.21 SQUARES)
DECK AREA	10.80 m ²	(1.16 SQUARES)
GROUND FLOOR AREA	62.64 m ²	(6.74 SQUARES)
PORCH AREA	23.23 m ²	(2.50 SQUARES)
TOTAL AREA	183.74 m ²	(19.76 SQUARES)

UNIT 2



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LEGEND

- Ⓜ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓜ 240V SMOKE ALARM
- Ⓜ CAVITY SLIDING DOOR
- Ⓜ SLIDING DOOR
- Ⓜ FLOOR WASTE
- Ⓜ SQUARE STOP
- Ⓜ HAND RAIL
- Ⓜ COLUMN
- Ⓜ GLASS SCREEN
- Ⓜ RANGE HOOD, VENT TO OUTSIDE AIR
- Ⓜ HOT WATER CYLINDER

STAIRS

NO RISERS	RISER HT	TREAD DEPTH
16	179	250

GOING NON SLIP TO COMPLY NCC 2019

GROUND FLOOR DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	CAVITY SLIDING DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	EXTERNAL HALF GLASS	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	INTERNAL TIMBER DOOR	

GROUND FLOOR WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	600	2410	FIXED WINDOW	OPAQUE
W2	1200	1810	AWNING WINDOW	OPAQUE
W3	600	1210	AWNING WINDOW	OPAQUE
W4	600	1810	AWNING WINDOW	OPAQUE
W5	2100	2110	SLIDING DOOR	
W6	1500	2610	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS TO SUIT TBC BAL RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
GROUND FLOOR PLAN

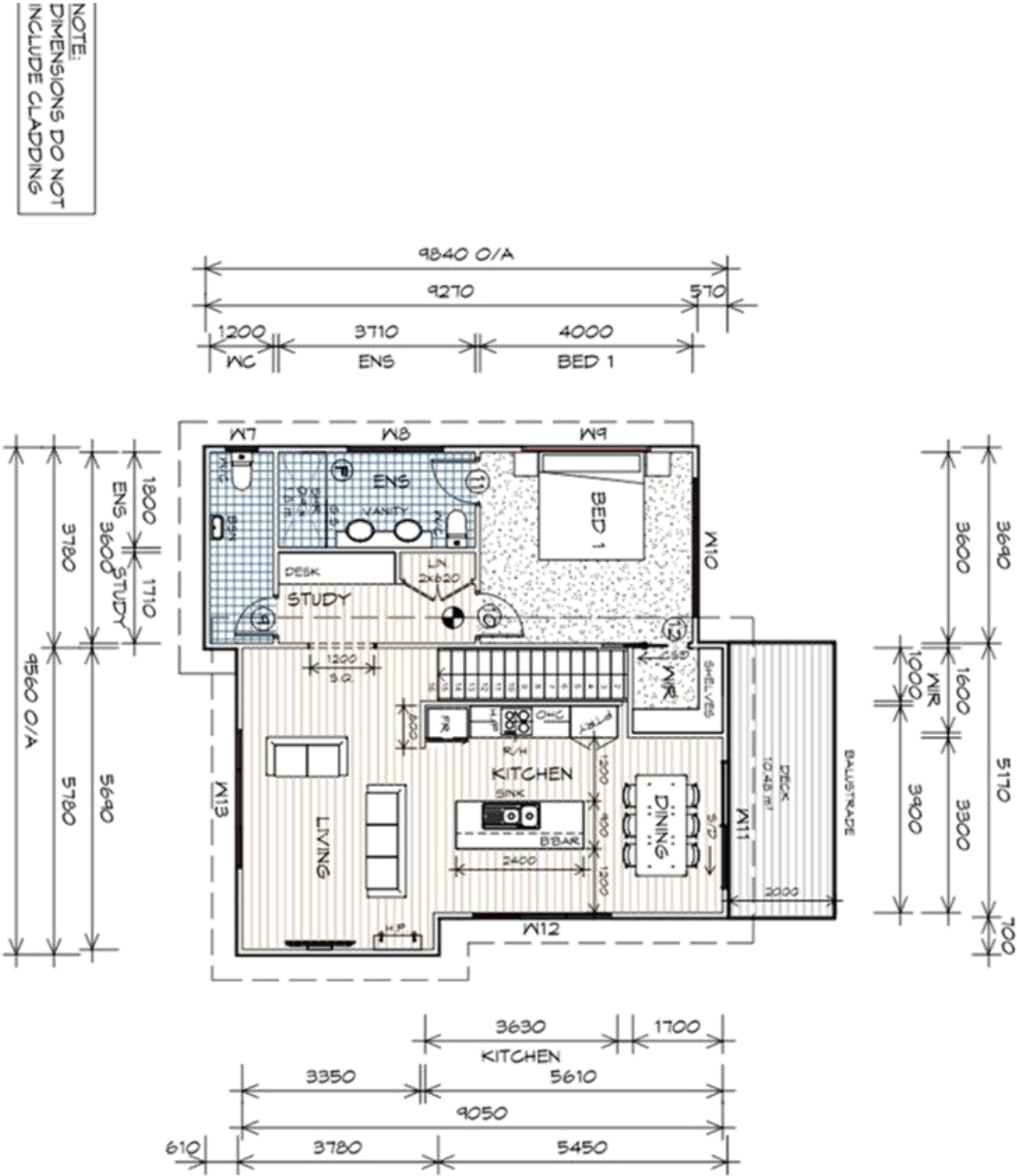
Date: 12/09/2023 Scale: 1 : 100

Drafted by: A.G.C.
Approved by: Approver

Project/Drawing no: PD21120 -U2-01
Revision: 03

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



FIRST FLOOR PLAN

1 : 100

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

NOTE:
DIMENSIONS DO NOT INCLUDE CLADDING

UNIT 2

LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- Ⓢ CAVITY SLIDING DOOR
- Ⓢ SLIDING DOOR
- Ⓢ FLOOR WASTE
- Ⓢ SQUARE STOP
- Ⓢ HAND RAIL
- Ⓢ COL. COLUMN
- Ⓢ GLASS SCREEN
- Ⓢ RANGE HOOD, VENT TO OUTSIDE AIR
- Ⓢ HOT WATER CYLINDER

STAIRS

NO RISERS	RISER HT	TREAD DEPTH
16	179	250

GOING NON SLIP TO COMPLY NCC 2019

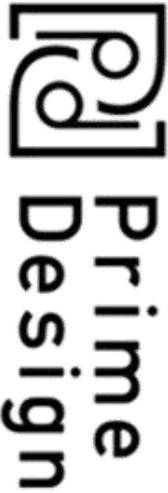
FIRST FLOOR DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
9	120	INTERNAL TIMBER DOOR	
10	820	INTERNAL TIMBER DOOR	
11	820	INTERNAL TIMBER DOOR	
12	820	CAVITY SLIDING DOOR	

FIRST FLOOR WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	900	610	AWNING WINDOW	OPAQUE
W2	900	1810	AWNING WINDOW	OPAQUE
W3	600	2410	FIXED WINDOW	OPAQUE
W4	1500	2610	AWNING WINDOW	
W5	2100	2410	SLIDING DOOR	
W6	1200	2610	AWNING WINDOW	
W7	1500	2610	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT TBC BAL RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING



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Project:
PROPOSED NEW UNIT
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3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
FIRST FLOOR PLAN

Date: 12/09/2023 Scale: 1 : 100

Drafted by:
A.G.C.

Approved by:
Approver

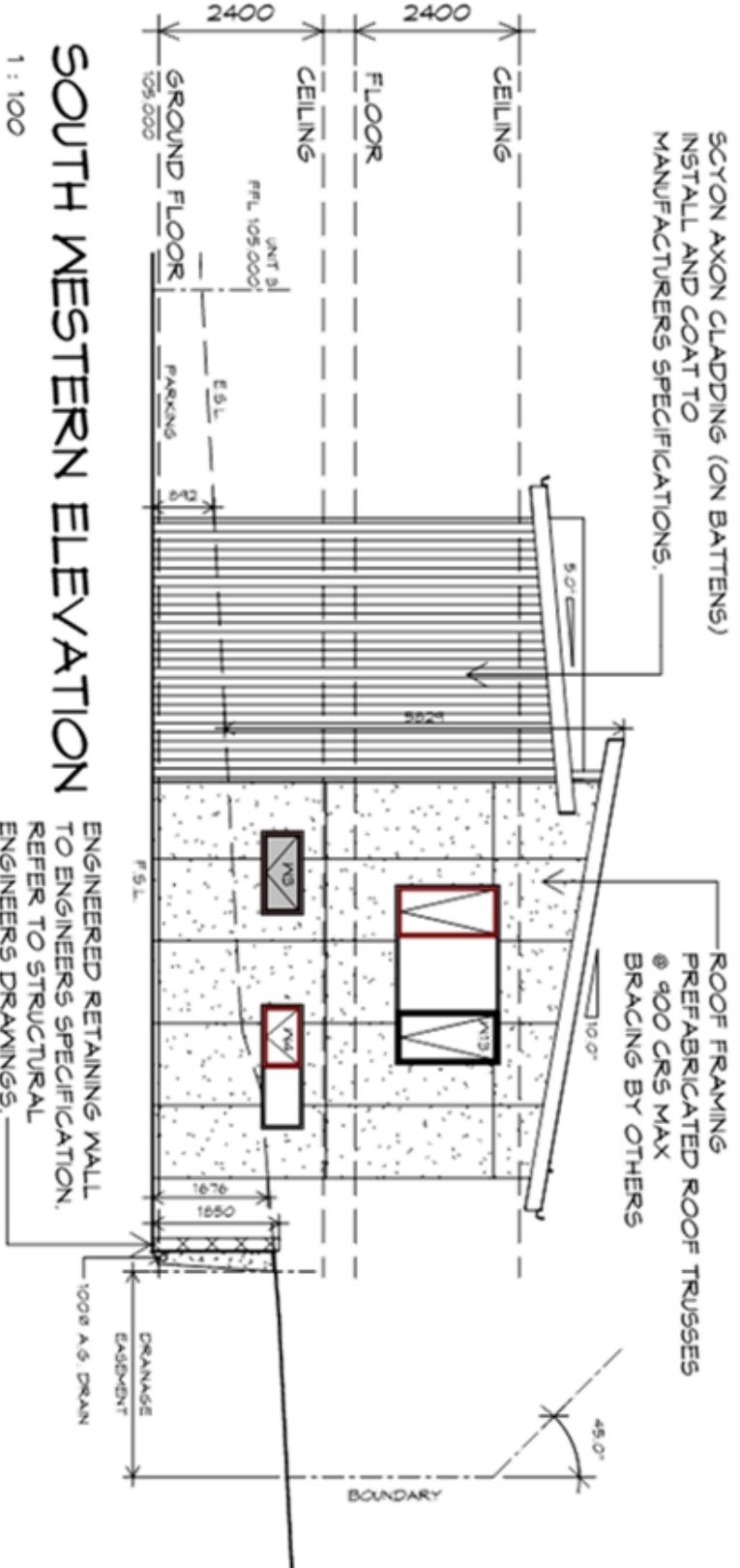
Project/Drawing no:
PD21120 -U2-02

Revision:
03

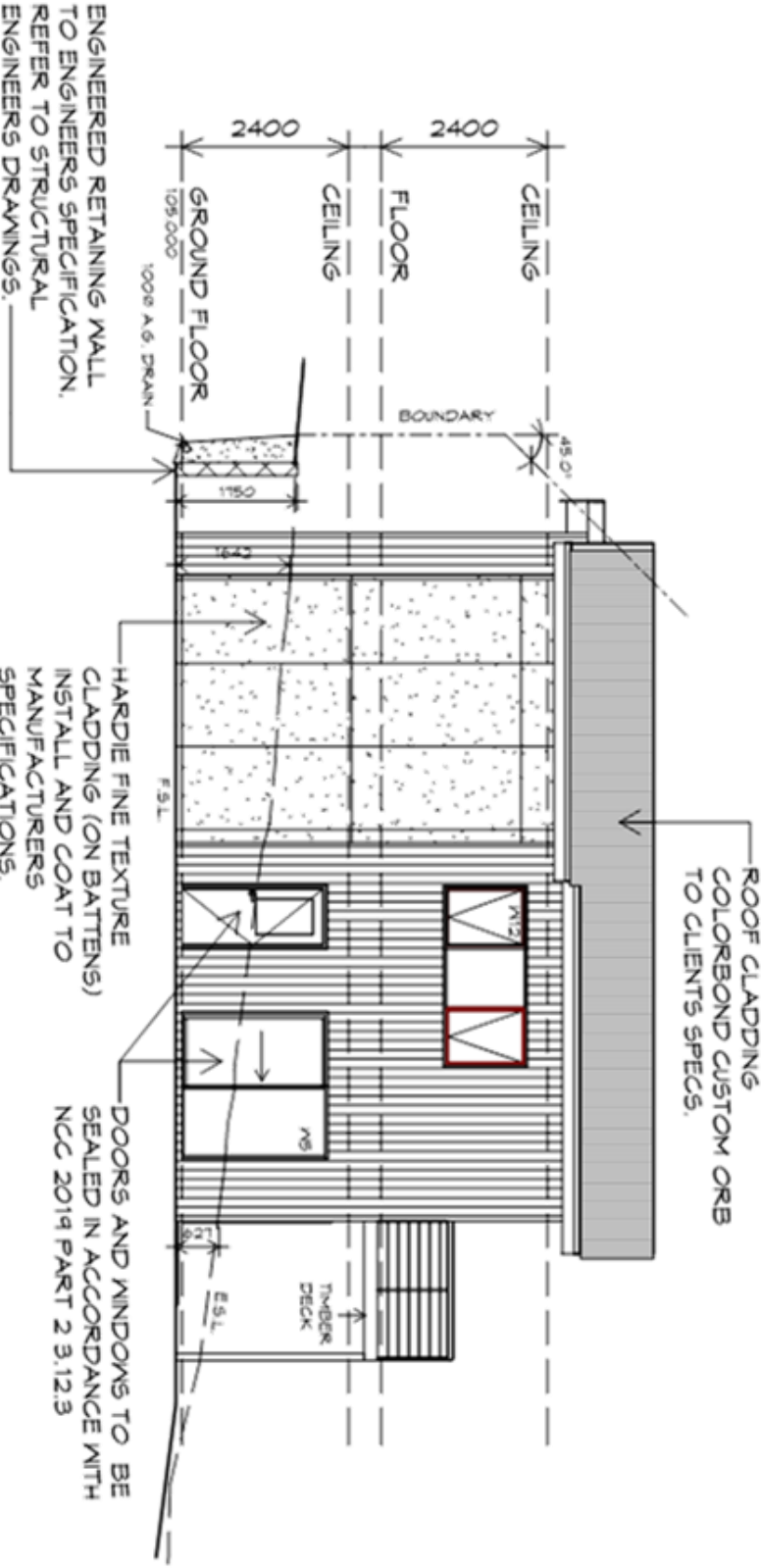
PLANNING

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UNIT 2



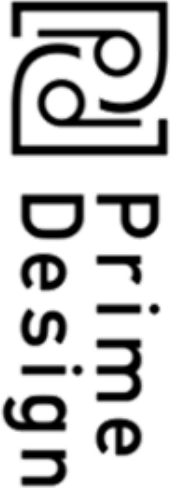
SOUTH WESTERN ELEVATION
1 : 100



SOUTH EASTERN ELEVATION
1 : 100

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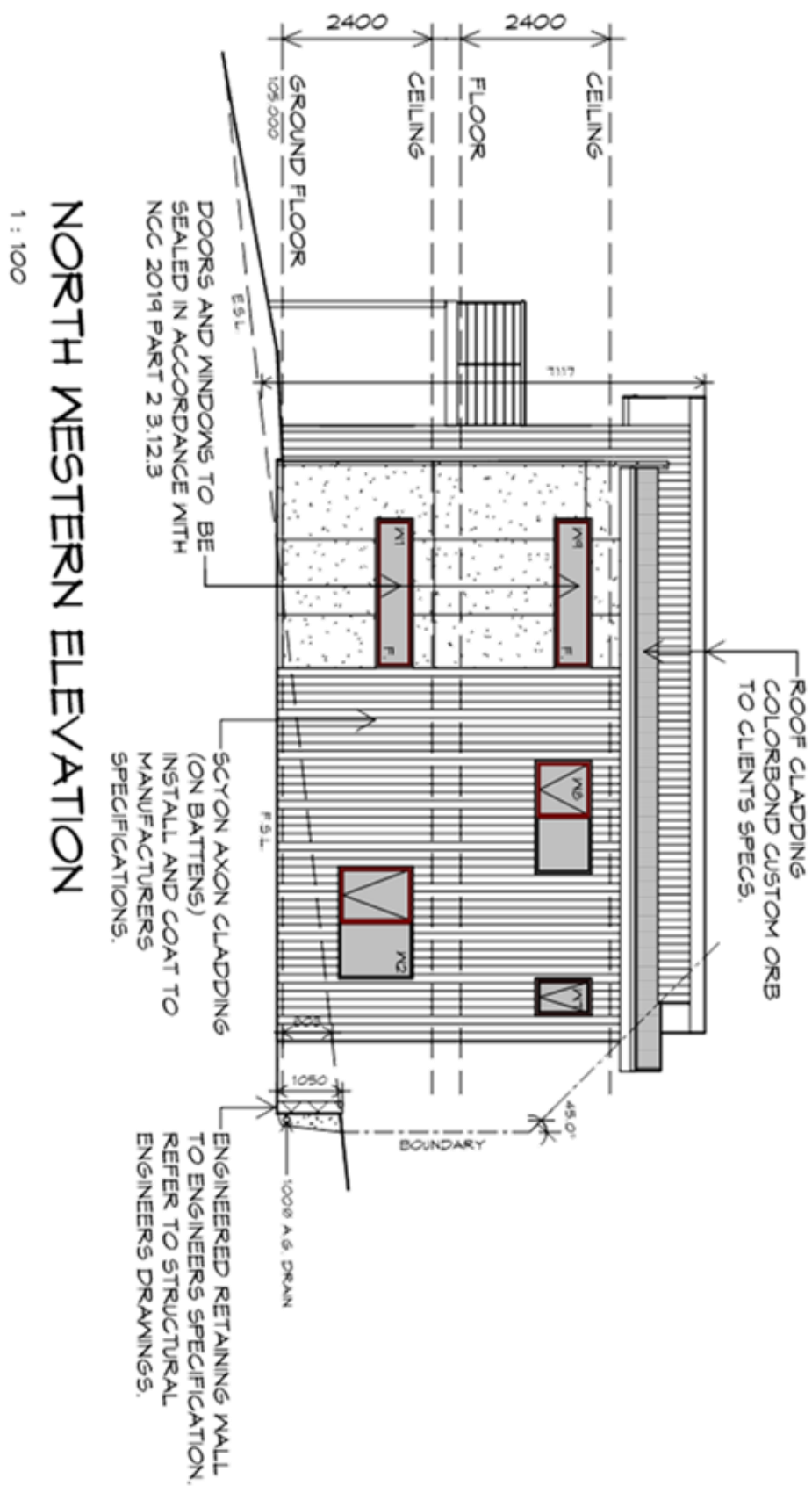
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Project:
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3A AQUILA STREET,
GLENORCHY
Client name:
KOORYONG DEVELOPMENT UNIT TRUST

Drawing:
ELEVATIONS

Drafted by:	A.G.C.	Approved by:	Approver
Date:	12/09/2023	Scale:	1 : 100
Project/Drawing no:	PD21120 -U2-03	Revision:	03





**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

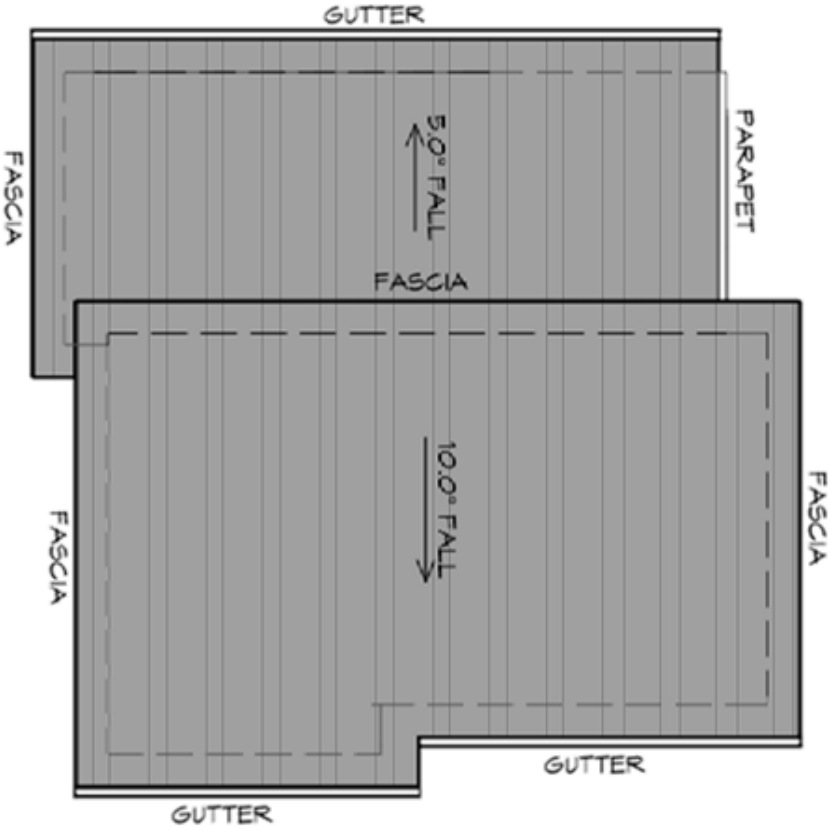
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DATE RECEIVED 18/03/2024

Project/Drawing no: PD21120 -U2-04

Revision 03

UNIT 2



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR.
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
NCC 2019 PART 3.5.2.4.
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNSPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.
SPACING BETWEEN DOWNSPIPES MUST NOT
BE MORE THAN 12m & WITHIN 1.2m FROM A
VALLEY GUTTER.

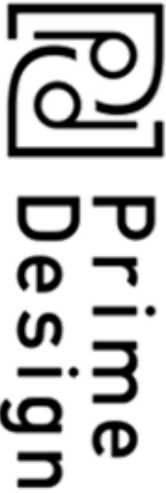
METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING.
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF
CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS.
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER
FREQUENCY FOR TRANSVERSE FLASHINGS AND
CAPPING, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF PENETRATION FLASHING DETAILS.
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER
NCC 2019 PART 3.5.1.8

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NOTE: DO NOT SCALE OFF DRAWINGS

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info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
ROOF PLAN

Date: 12/09/2023

Scale: 1 : 100



Drafted by:
A.G.C.

Approved by:
Approver

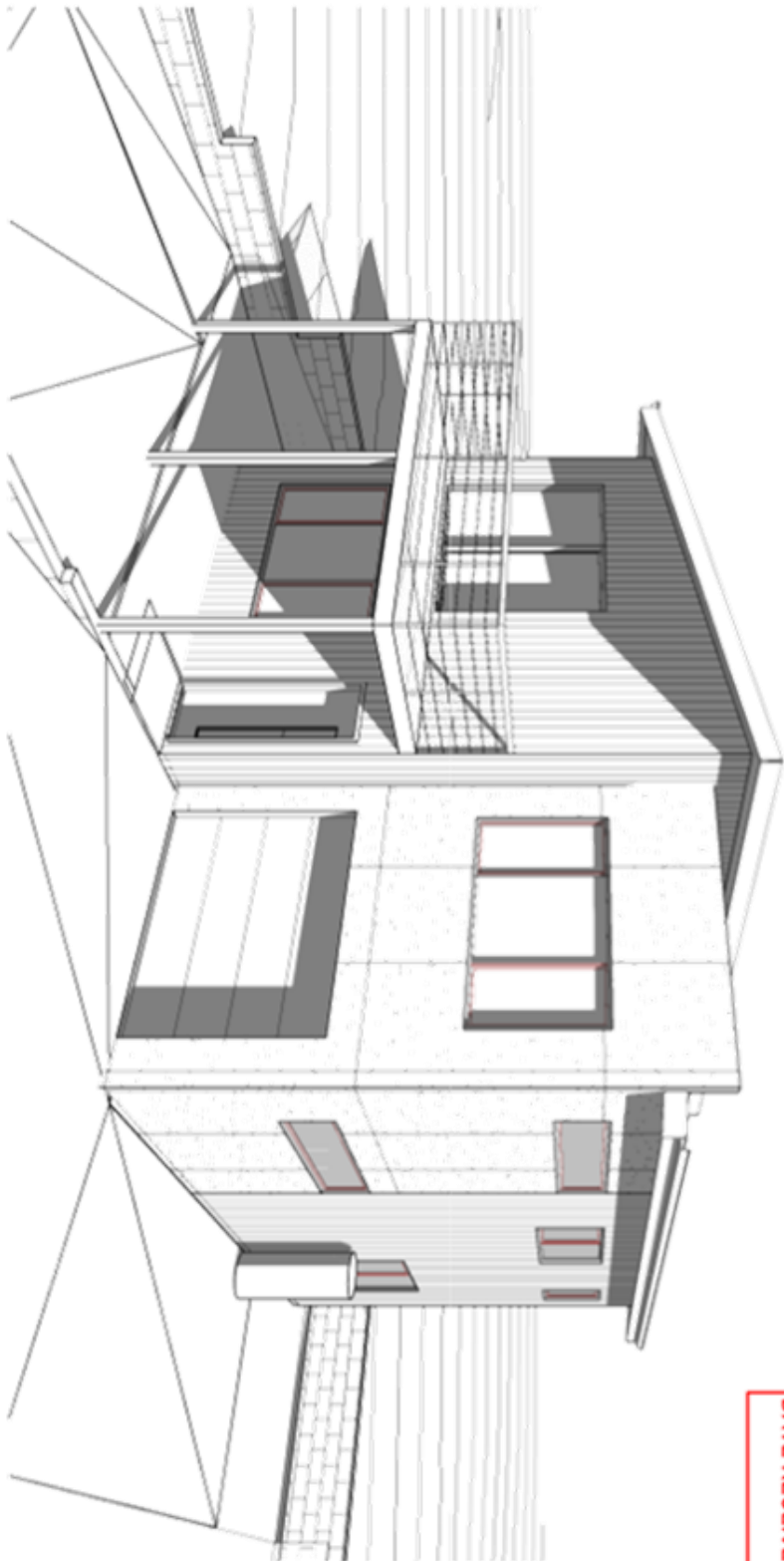
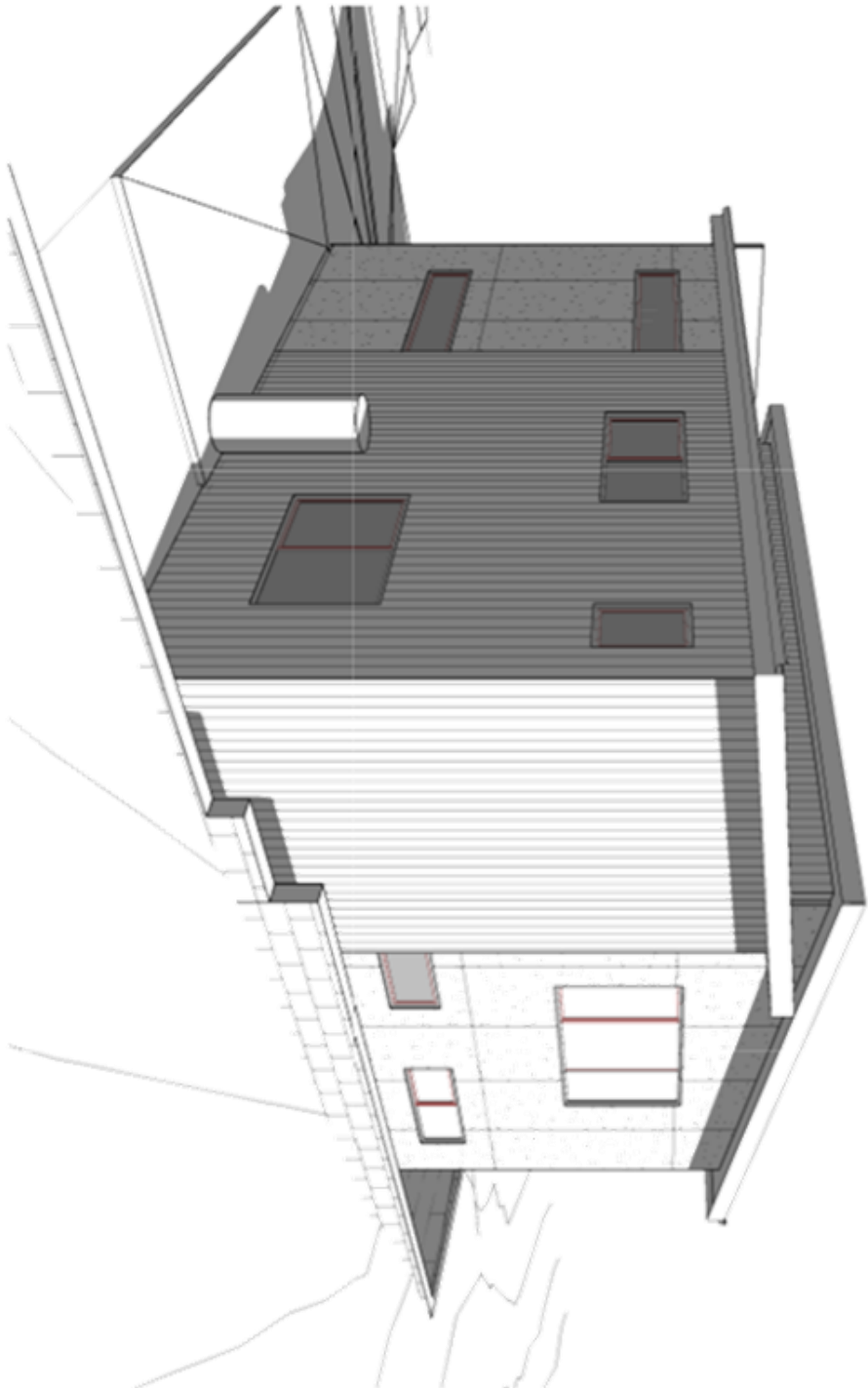


BUILDING DESIGNERS

Project/Drawing no:
PD21120 -U2-05

Revision:
03

UNIT 2



PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

PLANNING SERVICES
APPLICATION No PLN-23-307
DATE RECEIVED 18/03/2024

Prime
Design

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Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOORYONG DEVELOPMENT UNIT
TRUST

Drawing:
PERSPECTIVES

Drafted by:
A.G.C.
Approved by:
Approver

Date:
12/09/2023
Scale:

Project/Drawing no:
PD21120 -U2-06
Revision:
03

bdoo
BUILDING DESIGNERS

NOTE:
DIMENSIONS DO NOT
INCLUDE CLADDING

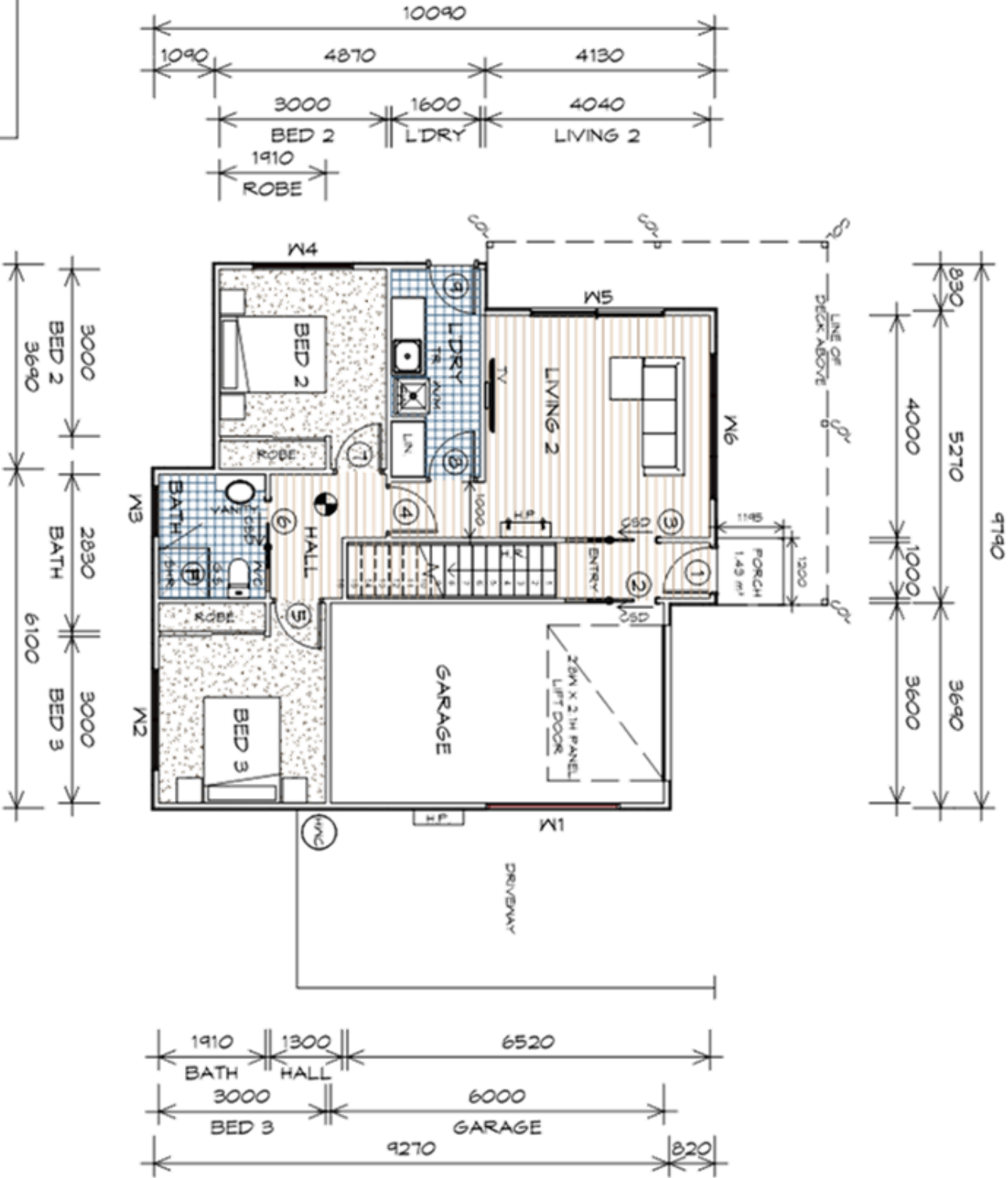
GROUND FLOOR PLAN

1 : 100

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING
AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND
OUTDOOR AREAS ARE CALCULATED SEPARATELY.

GROUND FLOOR AREA	66.31	m2	(7.13	SQUARES)
GARAGE AREA	23.12	m2	(2.49	SQUARES)
PORCH AREA	1.44	m2	(0.16	SQUARES)
FIRST FLOOR AREA	84.70	m2	(9.65	SQUARES)
DECK AREA	18.03	m2	(1.94	SQUARES)
TOTAL AREA	198.61		21.36	

UNIT 3



LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- Ⓢ CAVITY SLIDING DOOR
- Ⓢ SLIDING DOOR
- Ⓢ FLOOR WASTE
- Ⓢ SQUARE STOP
- Ⓢ HAND RAIL
- Ⓢ COLUMN
- Ⓢ GLASS SCREEN
- Ⓢ RANGE HOOD, VENT TO OUTSIDE AIR
- Ⓢ HOT WATER CYLINDER

STAIRS

NO RISERS	RISER HT	TREAD DEPTH
16	179	250

GOING NON SLIP TO COMPLY NCC 2019

GROUND FLOOR DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	CAVITY SLIDING DOOR	
3	820	CAVITY SLIDING DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	CAVITY SLIDING DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	INTERNAL TIMBER DOOR	
9	820	EXTERNAL HALF GLASS	

GROUND FLOOR WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	600	2410	FIXED WINDOW	OPAQUE
W2	600	1810	AWNING WINDOW	
W3	600	910	AWNING WINDOW	OPAQUE
W4	1500	1810	AWNING WINDOW	
W5	2100	2410	SLIDING DOOR	
W6	1500	2610	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS TO SUIT **TBC BAL** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
GROUND FLOOR PLAN

Date: 12/09/2023 Scale: 1 : 100



Drafted by:
A.G.C.

Approved by:
Approver

Project/Drawing no:
PD21120 -U3-01

Revision:
03

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

NOTE:
DIMENSIONS DO NOT
INCLUDE CLADDING

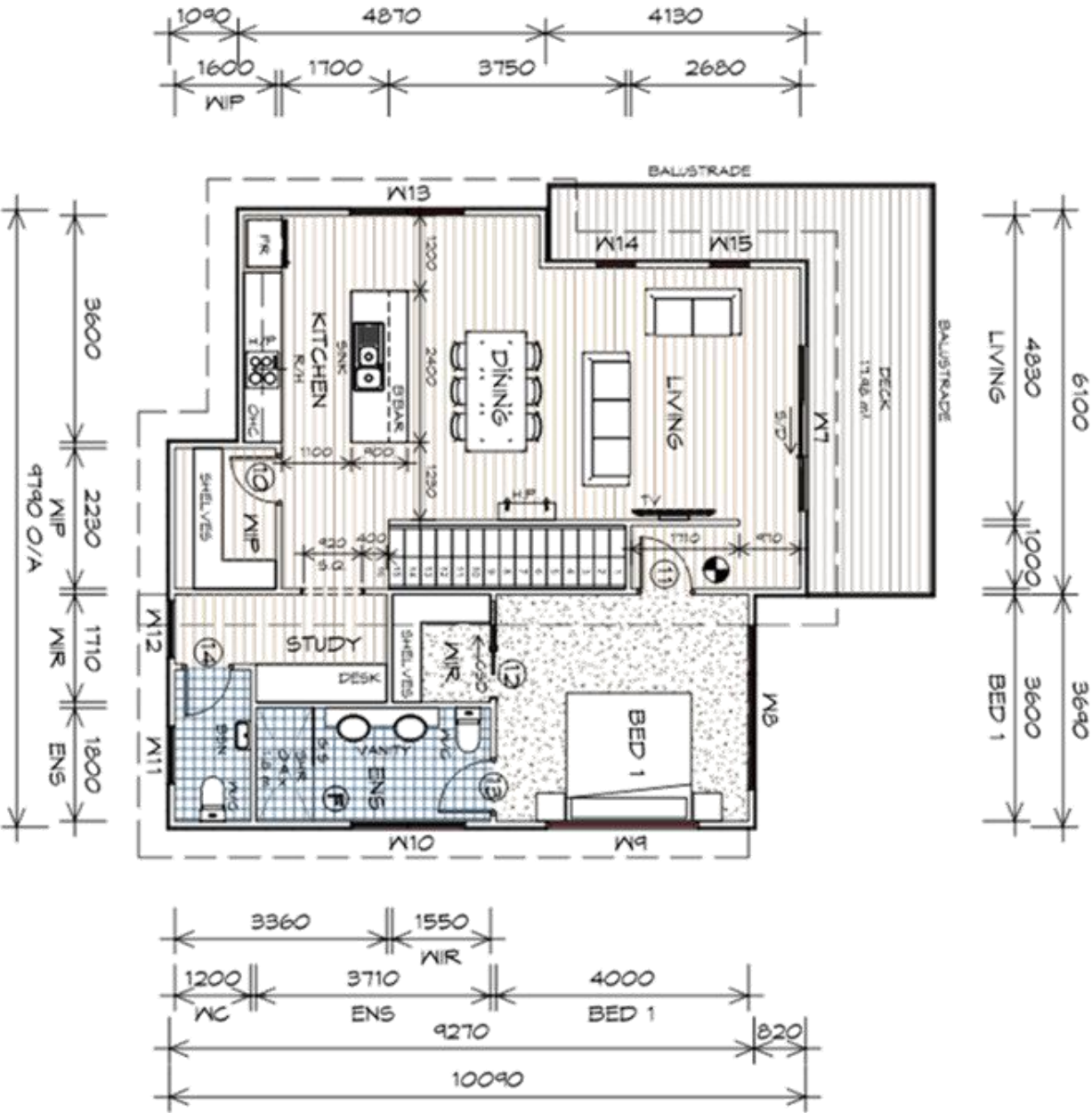
FIRST FLOOR PLAN

1 : 100

NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING
AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND
OUTDOOR AREAS ARE CALCULATED SEPARATELY.

GROUND FLOOR AREA	66.31	m ²	(7.13	SQUARES)
GARAGE AREA	23.12	m ²	(2.49	SQUARES)
PORCH AREA	1.44	m ²	(0.16	SQUARES)
FIRST FLOOR AREA	84.70	m ²	(4.65	SQUARES)
DECK AREA	18.03	m ²	(1.94	SQUARES)
TOTAL AREA	198.61		21.36	



LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- Ⓢ CAVITY SLIDING DOOR
- Ⓢ SLIDING DOOR
- Ⓢ FLOOR WASTE
- Ⓢ SQUARE STOP
- Ⓢ HAND RAIL
- Ⓢ COLUMN
- Ⓢ GLASS SCREEN
- Ⓢ RANGE HOOD, VENT TO OUTSIDE AIR
- Ⓢ HOT WATER CYLINDER

STAIRS

NO RISERS	RISER HT	TREAD DEPTH
16	179	250

GOING NON SLIP TO COMPLY NCC 2019

FIRST FLOOR DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
10	1200	INTERNAL TIMBER DOOR	
11	820	INTERNAL TIMBER DOOR	
12	710	CAVITY SLIDING DOOR	
13	820	INTERNAL TIMBER DOOR	
14	1200	INTERNAL TIMBER DOOR	

FIRST FLOOR WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	2100	2610	SLIDING DOOR	
W2	1500	2610	AWNING WINDOW	
W3	600	2410	FIXED WINDOW	OPAQUE
W4	900	1810	AWNING WINDOW	OPAQUE
W5	1200	910	AWNING WINDOW	OPAQUE
W6	1200	910	AWNING WINDOW	
W7	1800	1810	AWNING WINDOW	
W8	1800	610	AWNING WINDOW	
W9	1800	610	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS TO SUIT **TBC BAL** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
FIRST FLOOR PLAN

Date: 12/09/2023 Scale: 1 : 100



Drafted by: A.G.C.
Approved by: Approver

bdag BUILDING DESIGNERS

Project/Drawing no: PD21120 -U3-02

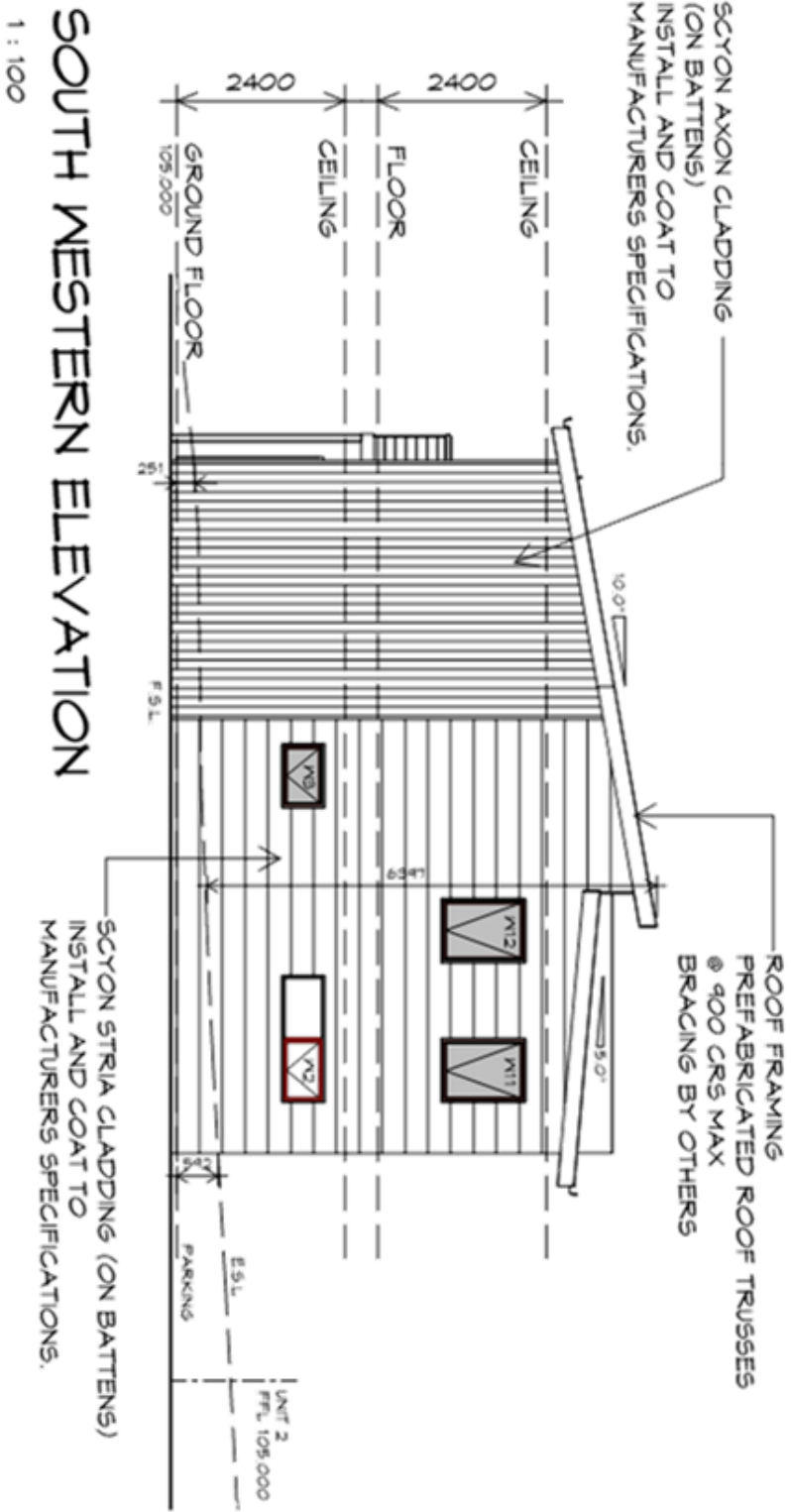
Revision: 03

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

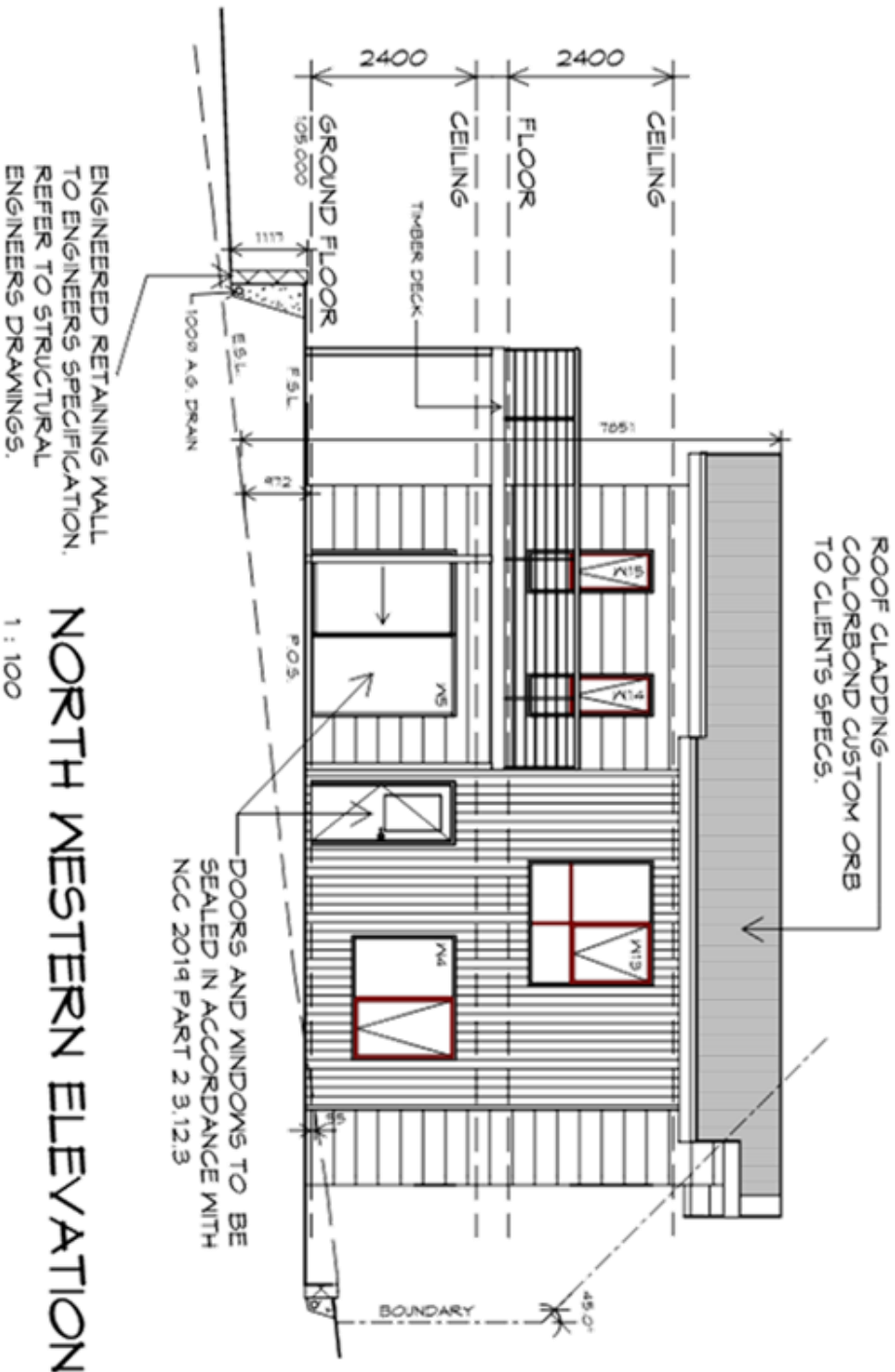
PLN-23-307
APPLICATION No
18/03/2024
DATE RECEIVED

UNIT 3



PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



APPLICATION No PLN-23-307

DATE RECEIVED 18/03/2024

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Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
ELEVATIONS

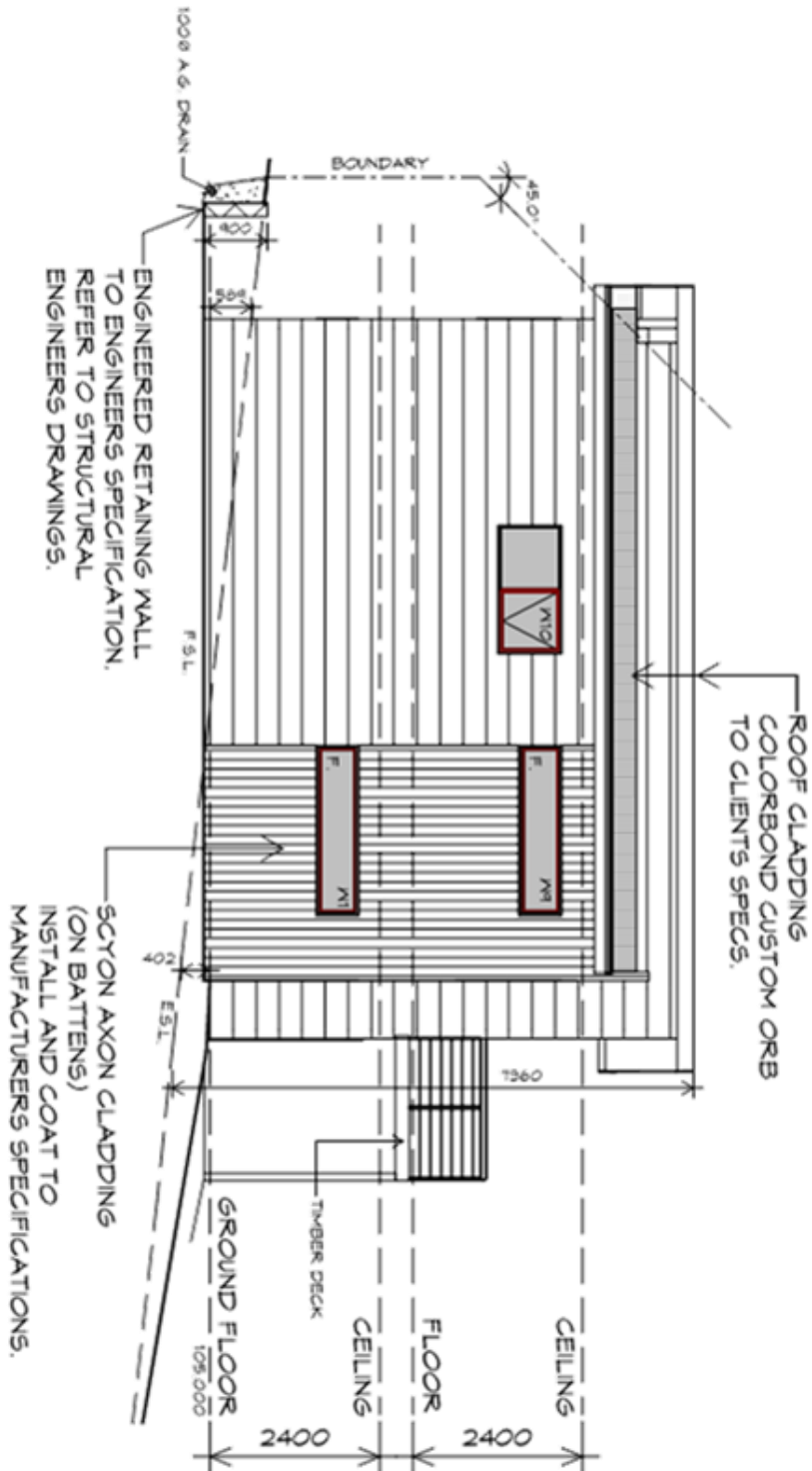
Drafted by:	A.G.C.	Approved by:	Approver
Date:	12/09/2023	Scale:	1 : 100
Project/Drawing no:	PD21120 -U3-03	Revision:	03

bdoo BUILDING DESIGNERS

UNIT 3

SOUTH EASTERN ELEVATION

1 : 100



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BUILDING DESIGNERS

Drafted by:	A.G.C.	Approved by:	Approver
Date:	12/09/2023	Scale:	1 : 100
Project/Drawing no:	PD21120 -U3-04	Revision:	03

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOORYONG DEVELOPMENT UNIT
TRUST

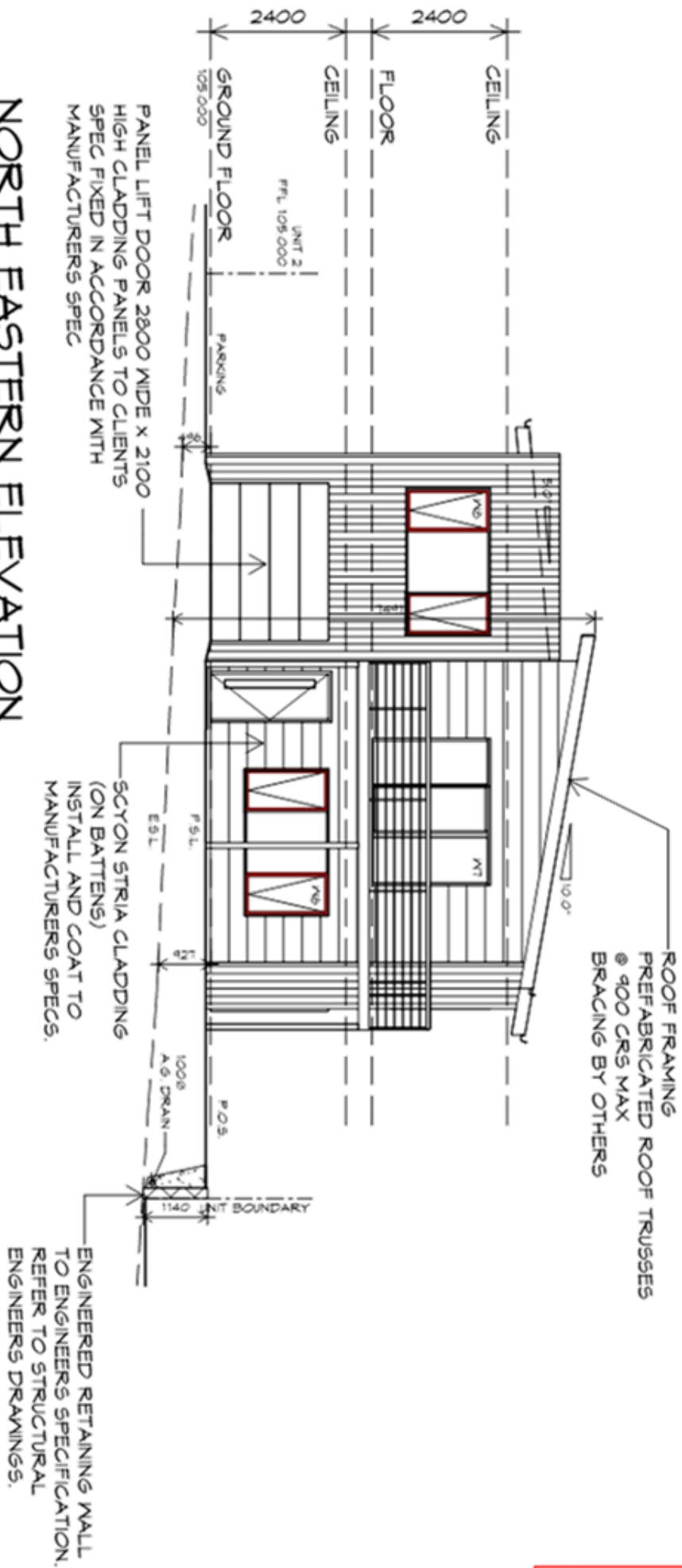
Drawing:
ELEVATIONS

Prime
Design

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info@primedesigntas.com.au primedesigntas.com.au

NORTH EASTERN ELEVATION

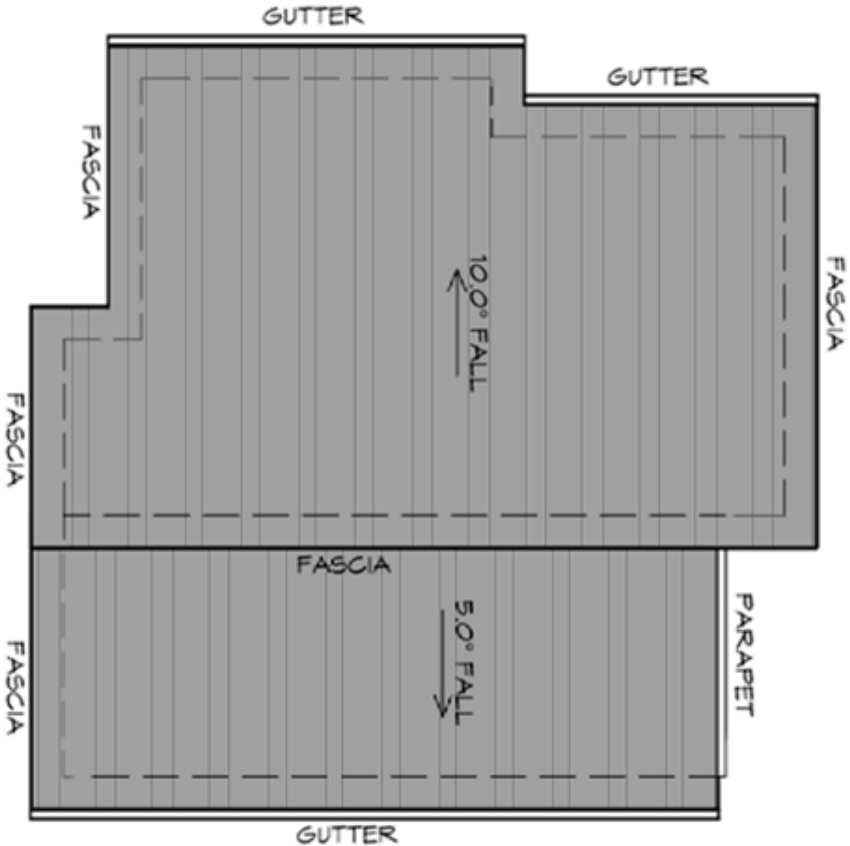
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ENGINEERED RETAINING WALL
TO ENGINEERS SPECIFICATION.
REFER TO STRUCTURAL
ENGINEERS DRAWINGS.

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-23-307
DATE RECEIVED 18/03/2024



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR.
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



Prime
Design

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ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
NCC 2019 PART 3.5.2.4.
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
Ø 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.S
REQUIRED ARE TO BE IN ACCORDANCE
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.
SPACING BETWEEN DOWPIPES MUST NOT
BE MORE THAN 12m & WITHIN 1.2m FROM A
VALLEY GUTTER.

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING.
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF
CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS.
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER
FREQUENCY FOR TRANSVERSE FLASHINGS AND
CAPPING, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF PENETRATION FLASHING DETAILS.
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER
NCC 2019 PART 3.5.1.8

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

GLENORCHY CITY COUNCIL
PLANNING SERVICES
PLAN-23-307
APPLICATION No
DATE RECEIVED 18/03/2024

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY

Client name:
KOOYONG DEVELOPMENT UNIT
TRUST


Drawing:
ROOF PLAN

Date:
12/09/2023

Scale:
1 : 100

Drafted by:
A.G.C.

Approved by:
Approver



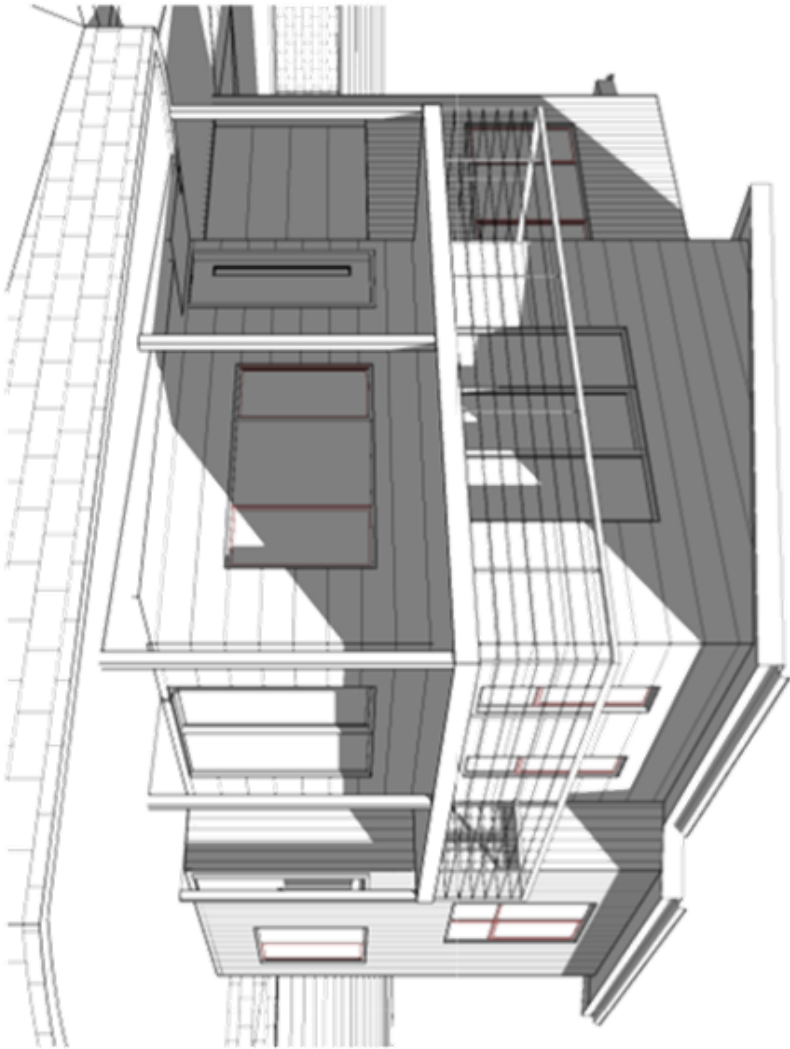
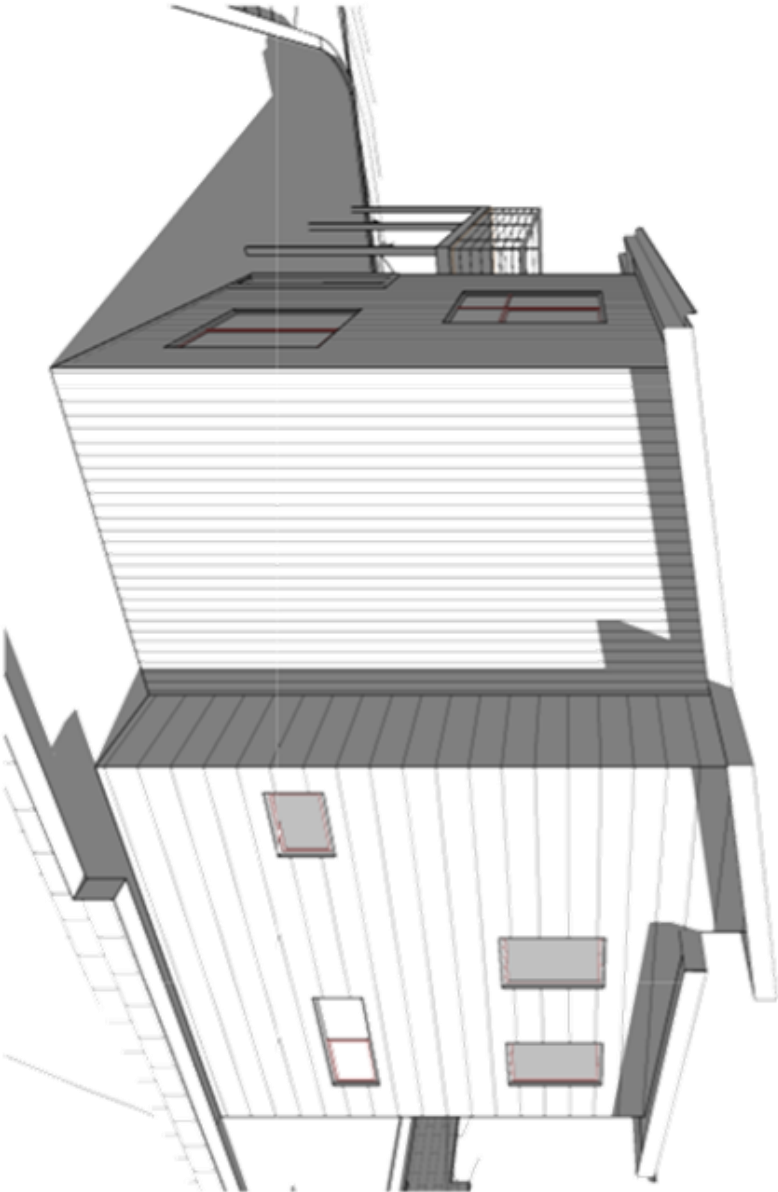
BULCHNO DESIGNERS

Project/Drawing no:
PD21120 -U3-05

Revision:
03



UNIT 3



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-23-307
DATE RECEIVED 18/03/2024

PLANNING
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Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

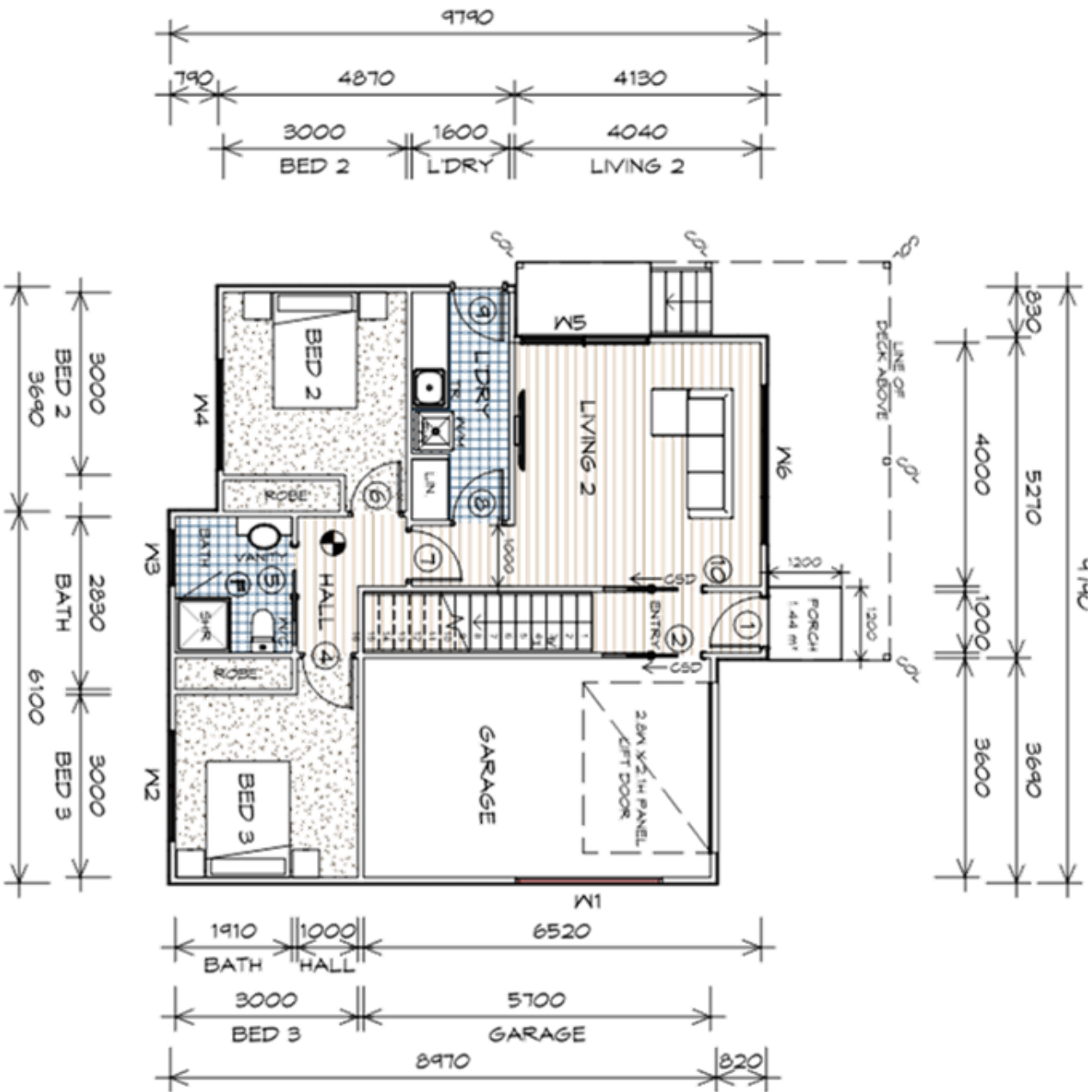
Drawing:
PERSPECTIVES

Drafted by:
A.G.C.
Approved by:
Approver

Date:
12/09/2023
Scale:

Project/Drawing no:
PD21120 -U3-06
Revision:
03

bdoo
BUILDING DESIGNERS



NOTE:
DIMENSIONS DO NOT
INCLUDE CLADDING

GROUND FLOOR PLAN

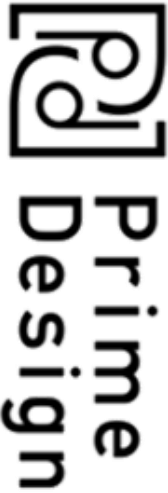
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NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING
AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND
OUTDOOR AREAS ARE CALCULATED SEPARATELY.

GROUND FLOOR AREA	65.52	m2	(7.04	SQUARES)
SARAGE AREA	22.00	m2	(2.37	SQUARES)
PORCH AREA	1.44	m2	(0.15	SQUARES)
FIRST FLOOR AREA	87.80	m2	(9.44	SQUARES)
DECK AREA	18.03	m2	(1.94	SQUARES)
TOTAL AREA	194.79		20.95	

UNIT 4



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LEGEND

- EXHAUST FAN-VENT TO OUTSIDE AIR.
- 240V SMOKE ALARM
- CAVITY SLIDING DOOR
- SLIDING DOOR
- HAND RAIL
- COL. COLUMN
- GLASS SCREEN
- RANGE HOOD
- FLOOR WASTE

STAIRS

NO RISERS	RISER HT	TREAD DEPTH
16	179	250
4	150	250

GOING NON SLIP TO COMPLY NCC 2019

GROUND FLOOR DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	CAVITY SLIDING DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	CAVITY SLIDING DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	INTERNAL TIMBER DOOR	
9	820	EXTERNAL HALF GLASS	
10	820	CAVITY SLIDING DOOR	

GROUND FLOOR WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
M1	600	2410	FIXED WINDOW	
M2	1500	1810	AWNING WINDOW	
M3	400	910	AWNING WINDOW	OPAQUE
M4	1500	1810	AWNING WINDOW	
M5	2100	2110	SLIDING DOOR	
M6	1500	2610	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS TO SUIT TBC BAL RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
GROUND FLOOR PLAN

Date: 08.01.2024 Scale: 1 : 100

Drafted by:
A.G.C.
Approved by:
Approver



Project/Drawing no:
PD21120 -U4-01
Revision:
03

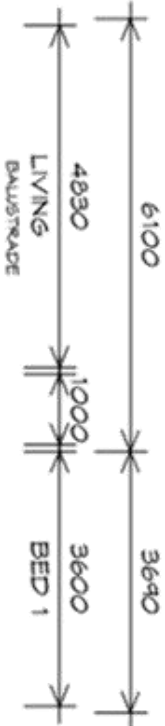
PLANNING SERVICES

APPLICATION No PLN-23-307

DATE RECEIVED 18/03/2024

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



NOTE:
DIMENSIONS DO NOT
INCLUDE CLADDING

FIRST FLOOR PLAN

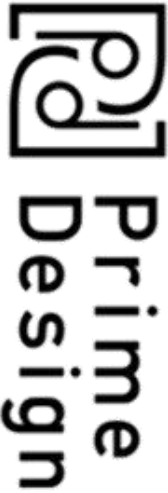
1 : 100

NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

GROUND FLOOR AREA	65.52 m ²	(7.04 SQUARES)
GARAGE AREA	22.00 m ²	(2.37 SQUARES)
PORCH AREA	1.44 m ²	(0.15 SQUARES)
FIRST FLOOR AREA	87.80 m ²	(9.44 SQUARES)
DECK AREA	18.03 m ²	(1.94 SQUARES)
TOTAL AREA	194.74	20.95

UNIT 4



10 Goodman Court, Invermay Tasmania 7248,
p(0) + 03 6332 3790
Shop 9, 105-111 Main Road, Moonah Hobart 7009
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LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- Ⓢ CAVITY SLIDING DOOR
- Ⓢ/D SLIDING DOOR
- Ⓢ/H HAND RAIL
- Ⓢ/C COLUMN
- Ⓢ/S GLASS SCREEN
- Ⓢ/H RANGE HOOD
- Ⓢ/W FLOOR WASTE

STAIRS

NO RISERS	RISER HT	TREAD DEPTH
16	174	250
4	150	250

GOING NON SLIP TO COMPLY NCC 2019

FIRST FLOOR DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
11	820	INTERNAL TIMBER DOOR	
12	720	INTERNAL TIMBER DOOR	
13	720	INTERNAL TIMBER DOOR	
14	820	INTERNAL TIMBER DOOR	
15	770	CAVITY SLIDING DOOR	
R	920	DOORWAY -FRAME, NO DOOR	

FIRST FLOOR WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W6	1200	910	AWNING WINDOW	
W7	1200	910	AWNING WINDOW	
W8	900	1810	AWNING WINDOW	OPAQUE
W9	600	2410	FIXED WINDOW	
W10	1500	2610	AWNING WINDOW	
W11	2100	2610	SLIDING DOOR	
W12	1800	610	AWNING WINDOW	
W13	1800	610	AWNING WINDOW	
W14	1800	1810	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING COMPLETE**
WITH FLY SCREENS TO SUIT **TBC BAL** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
FIRST FLOOR PLAN

Date: 08.01.2024 Scale: 1 : 100

Drafted by:
A.G.C.

Approved by:
Approver



Project/Drawing no:
PD21120 -U4-02

Revision:
03

PLANNING SERVICES
PLN-23-307
APPLICATION No
DATE RECEIVED 18/03/2024

PLANNING
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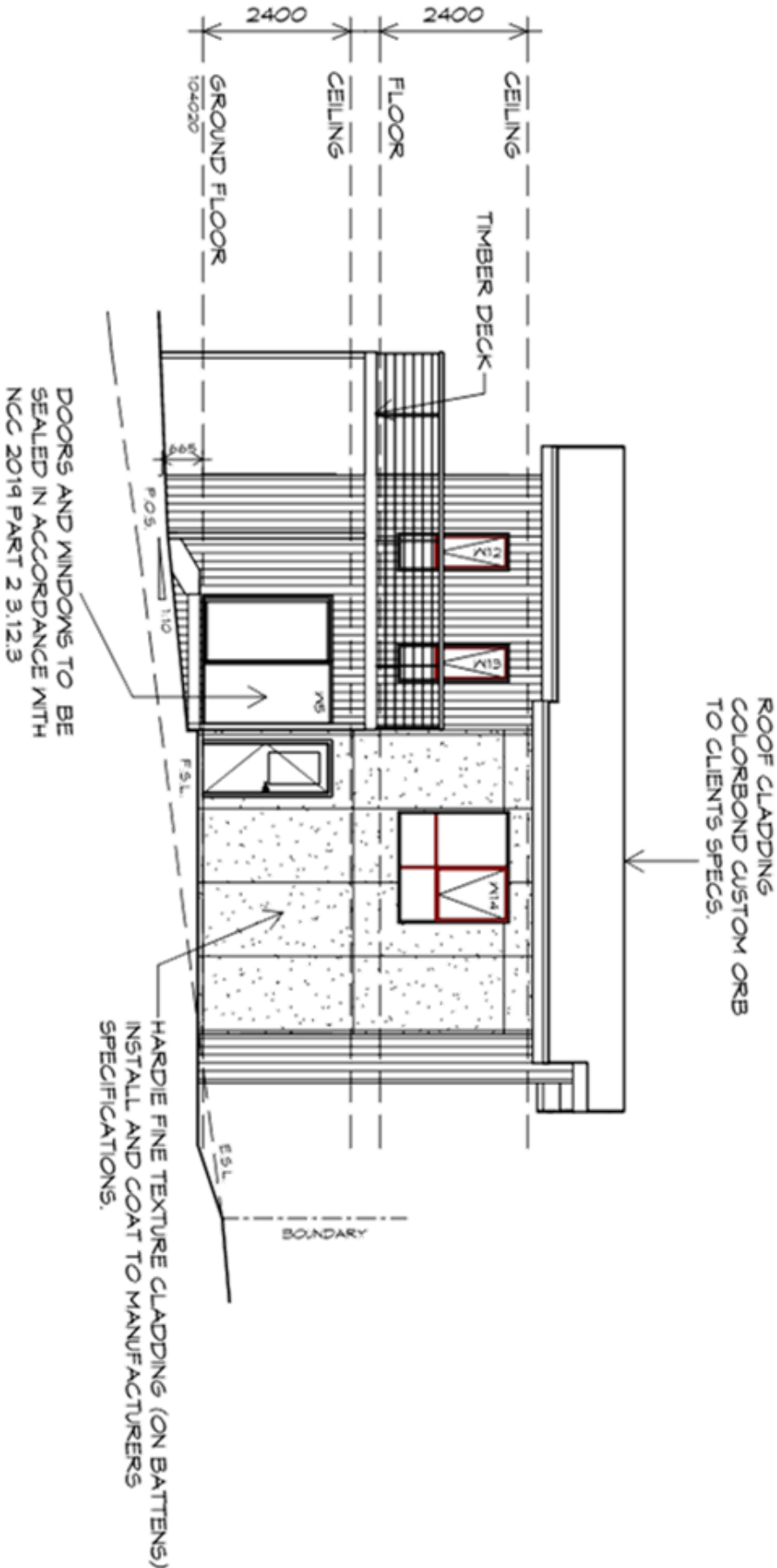
UNIT 4

NORTH WESTERN ELEVATION

1 : 100

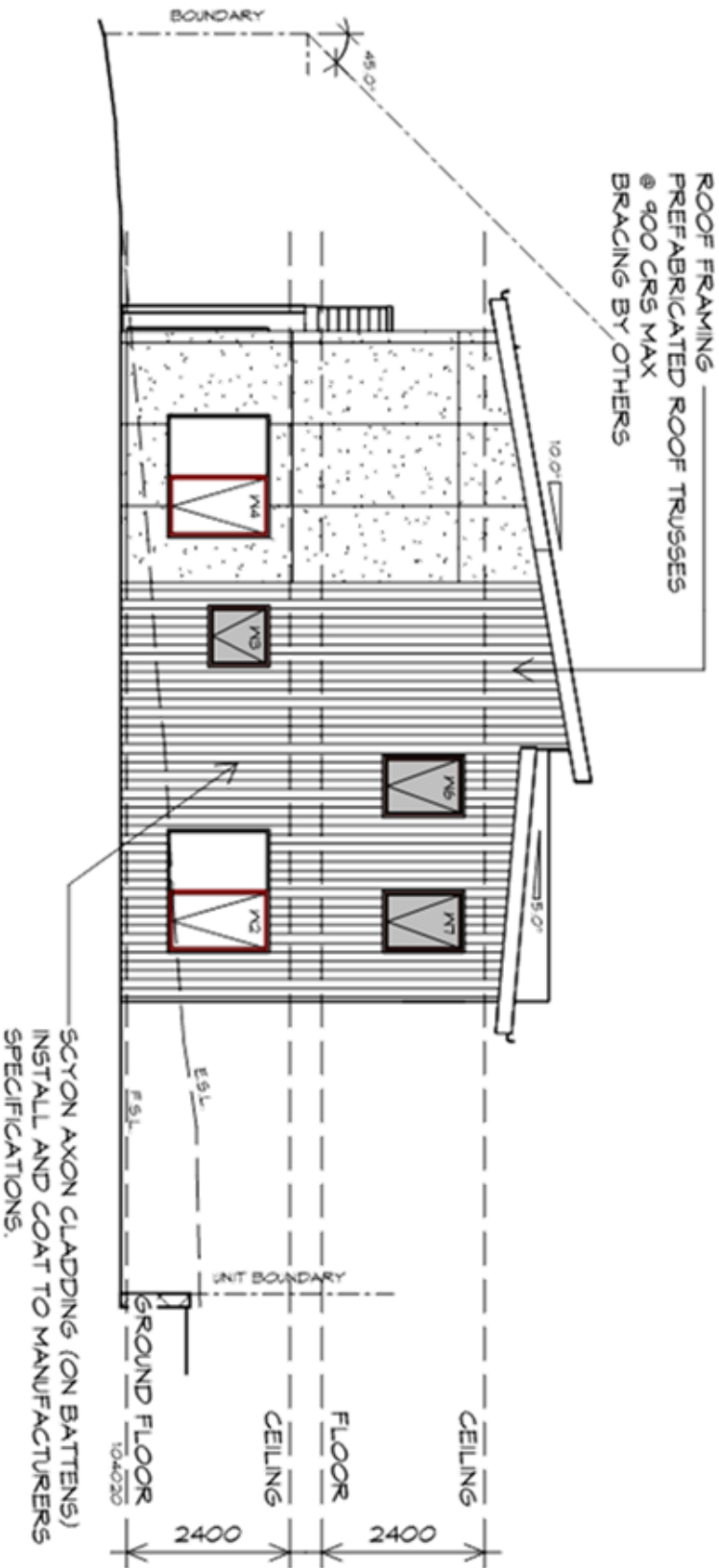
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BUILDING DESIGNERS

Drafted by:	A.G.C.	Approved by:	Approver
Date:	08.01.2024	Scale:	1 : 100
Project/Drawing no:	PD21120 -U4-03	Revision:	03



SOUTH WESTERN ELEVATION

1 : 100



PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-23-307
DATE RECEIVED 18/03/2024

Prime Design
10 Goodman Court, Invermay Tasmania 7248,
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Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
ELEVATIONS

Drafted by:
A.G.C.

Approved by:
Approver

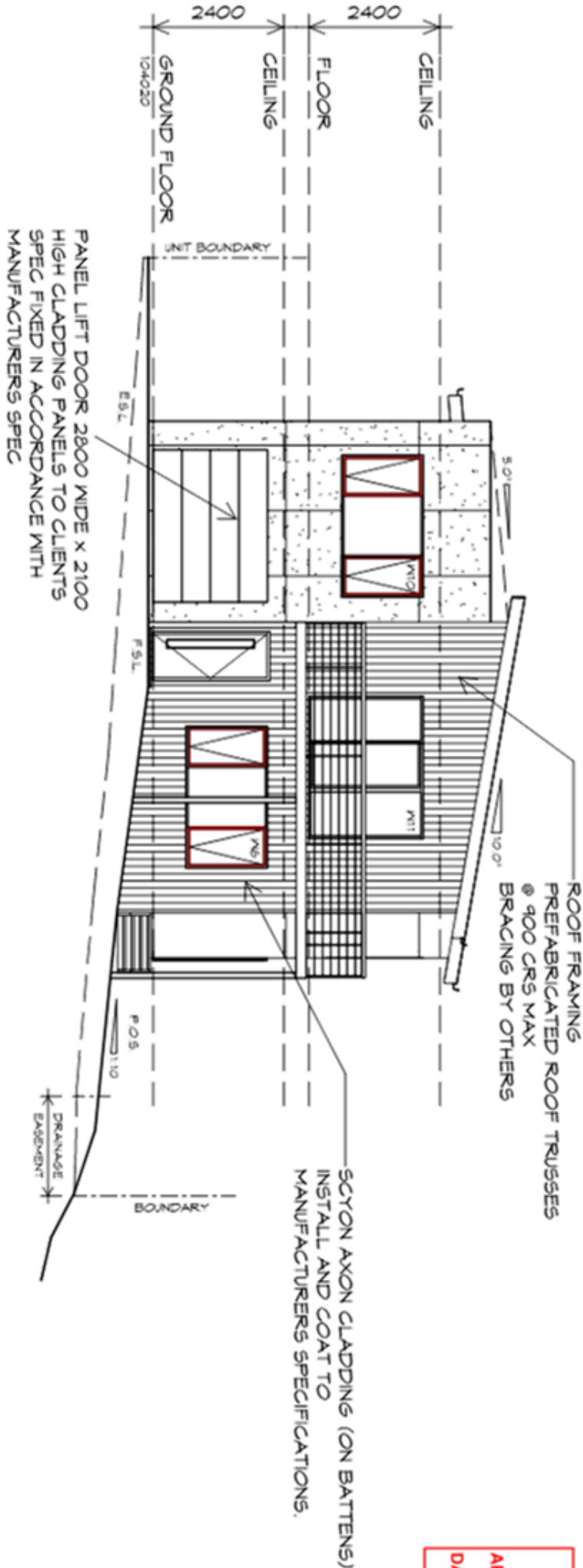
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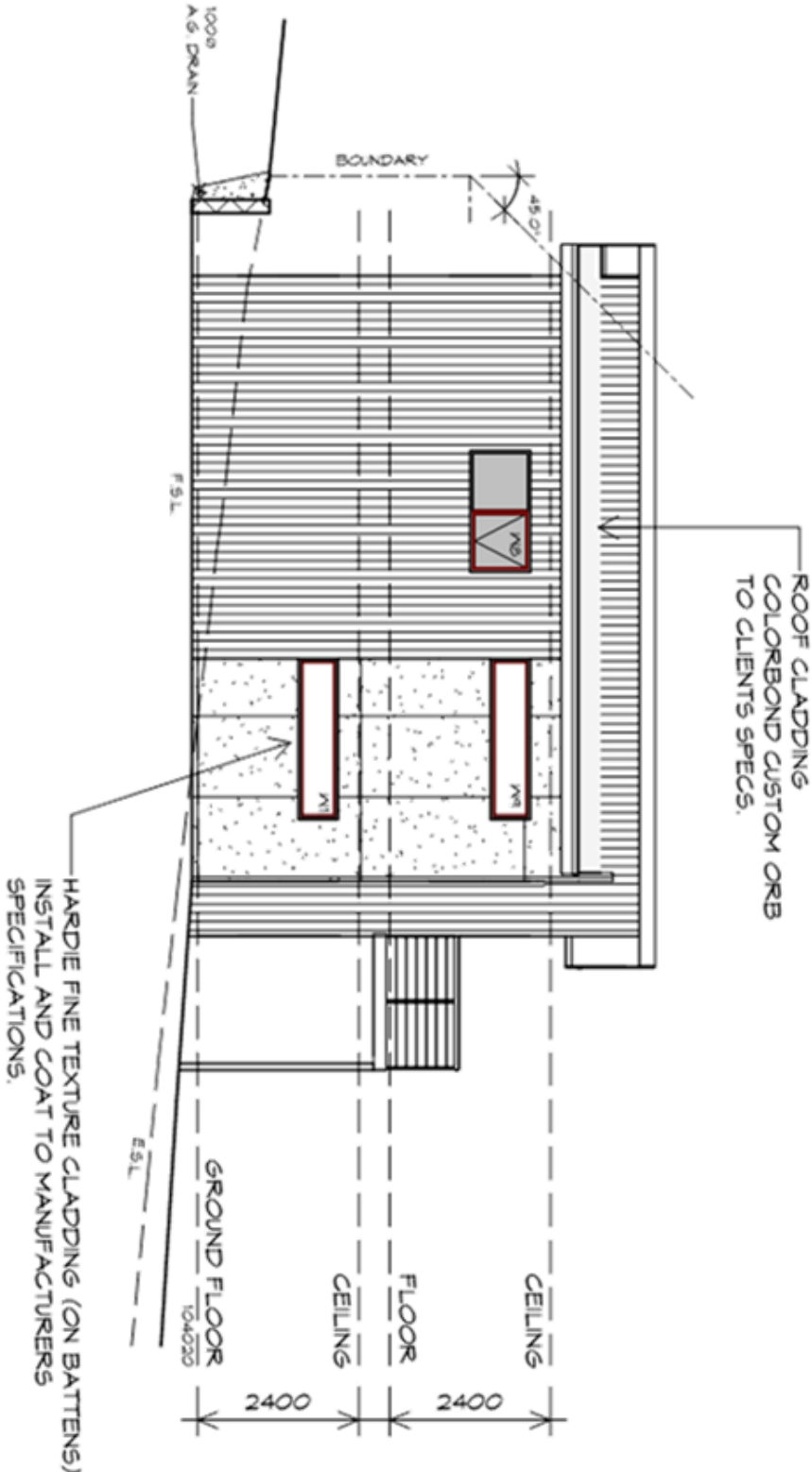
Revision:
03

UNIT 4



NORTH EASTERN ELEVATION

1 : 100



SOUTH EASTERN ELEVATION

1 : 100

GLENORCHY CITY COUNCIL

PLANNING SERVICES

APPLICATION No

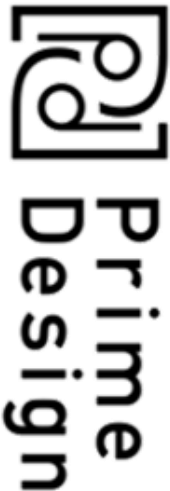
PLN-23-307

DATE RECEIVED

18/03/2024

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



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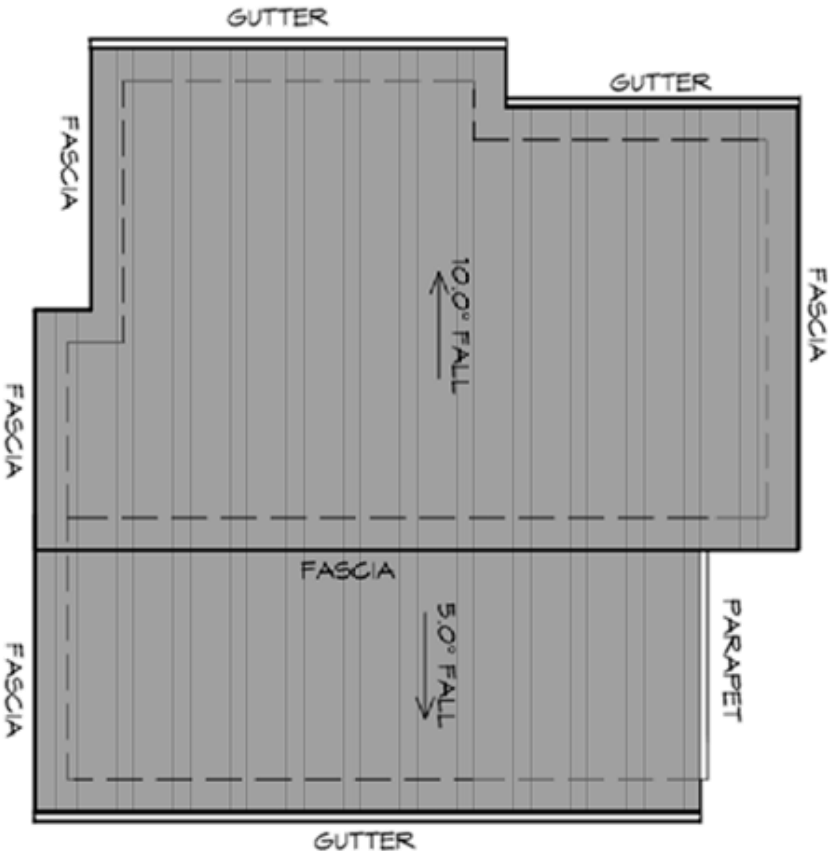
Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
ELEVATIONS

Drafted by:	A.G.C.	Approved by:	Approver
Date:	08.01.2024	Scale:	1 : 100
Project/Drawing no:	PD21120 -U4-04	Revision:	03



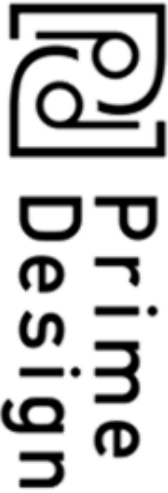
UNIT 4



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



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ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
NCC 2019 PART 3.5.2.4.
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.S
REQUIRED ARE TO BE IN ACCORDANCE
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS,
SPACING BETWEEN DOWPIPES MUST NOT
BE MORE THAN 12m & WITHIN 1.2m FROM A
VALLEY GUTTER.

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF
CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS.
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER
FREQUENCY FOR TRANSVERSE FLASHINGS AND
CAPPING, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF PENETRATION FLASHING DETAILS.
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER
NCC 2019 PART 3.5.1.8

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

PLANNING SERVICES

PLN-23-307

APPLICATION No

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18/03/2024

Drawing:
ROOF PLAN

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Date: 08.01.2024

Scale: 1 : 100

Drafted by:
A.G.C.

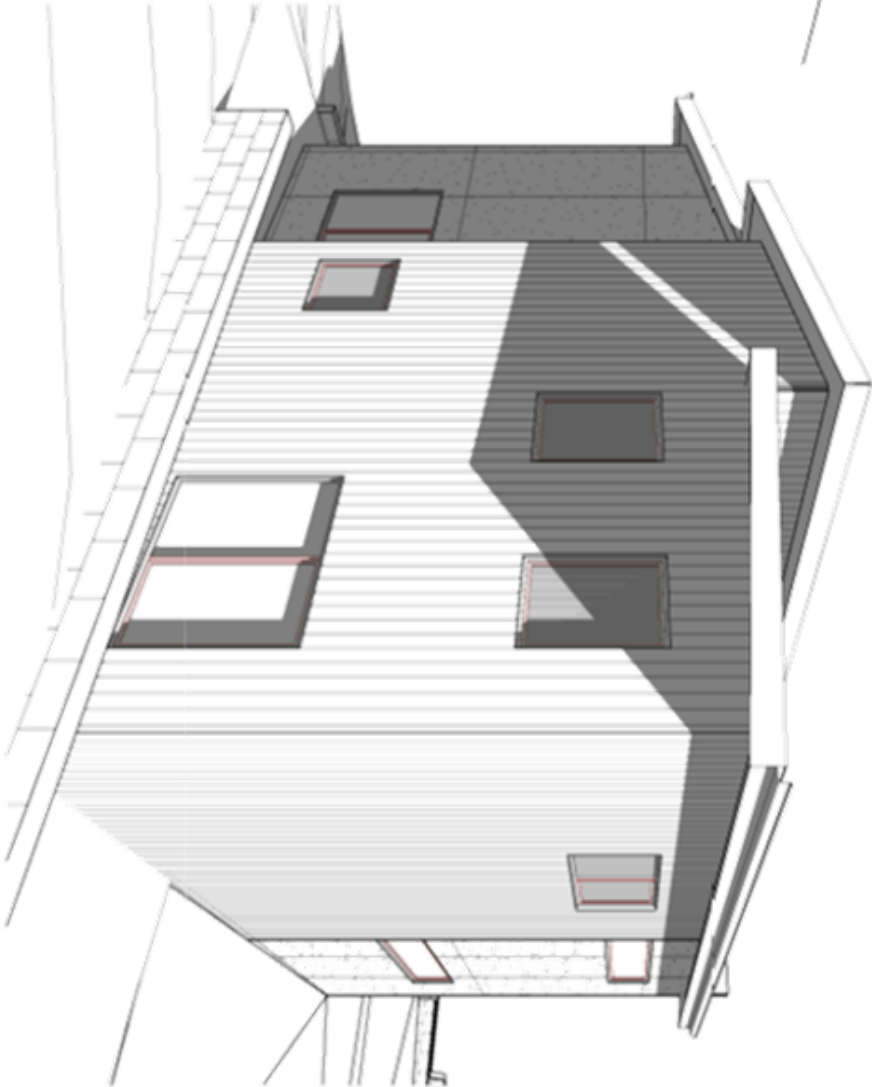
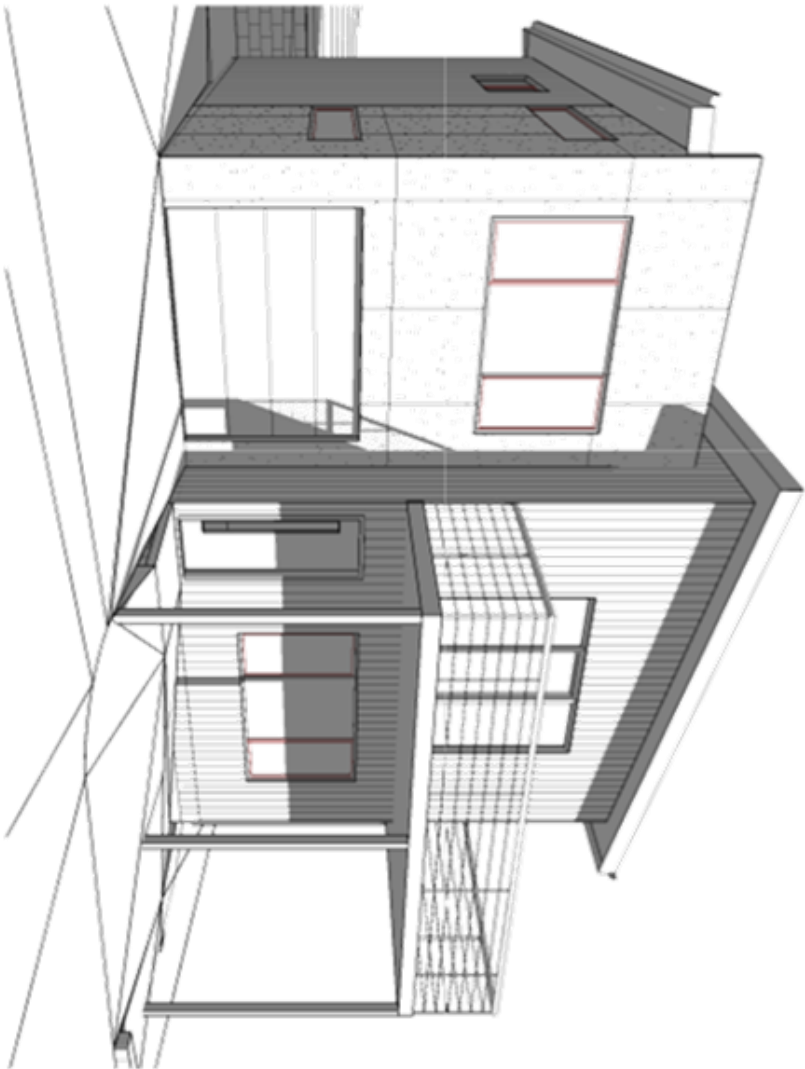
Project/Drawing no:
PD21120 -U4-05

Revision:
03

Approved by:
Approver

BDG
BUILDING DESIGNERS

UNIT 4



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-23-307
DATE RECEIVED 18/03/2024

PLANNING
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Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOORYONG DEVELOPMENT UNIT
TRUST

Drawing:
PERSPECTIVES

Drafted by:
A.G.C.
Approved by:
Approver

Date:
08.01.2024

Project/Drawing no:
PD21120 -U4-06
Revision:
03

bdoo
BUILDING DESIGNERS

NOTE:
DIMENSIONS DO NOT
INCLUDE CLADDING

FLOOR PLAN

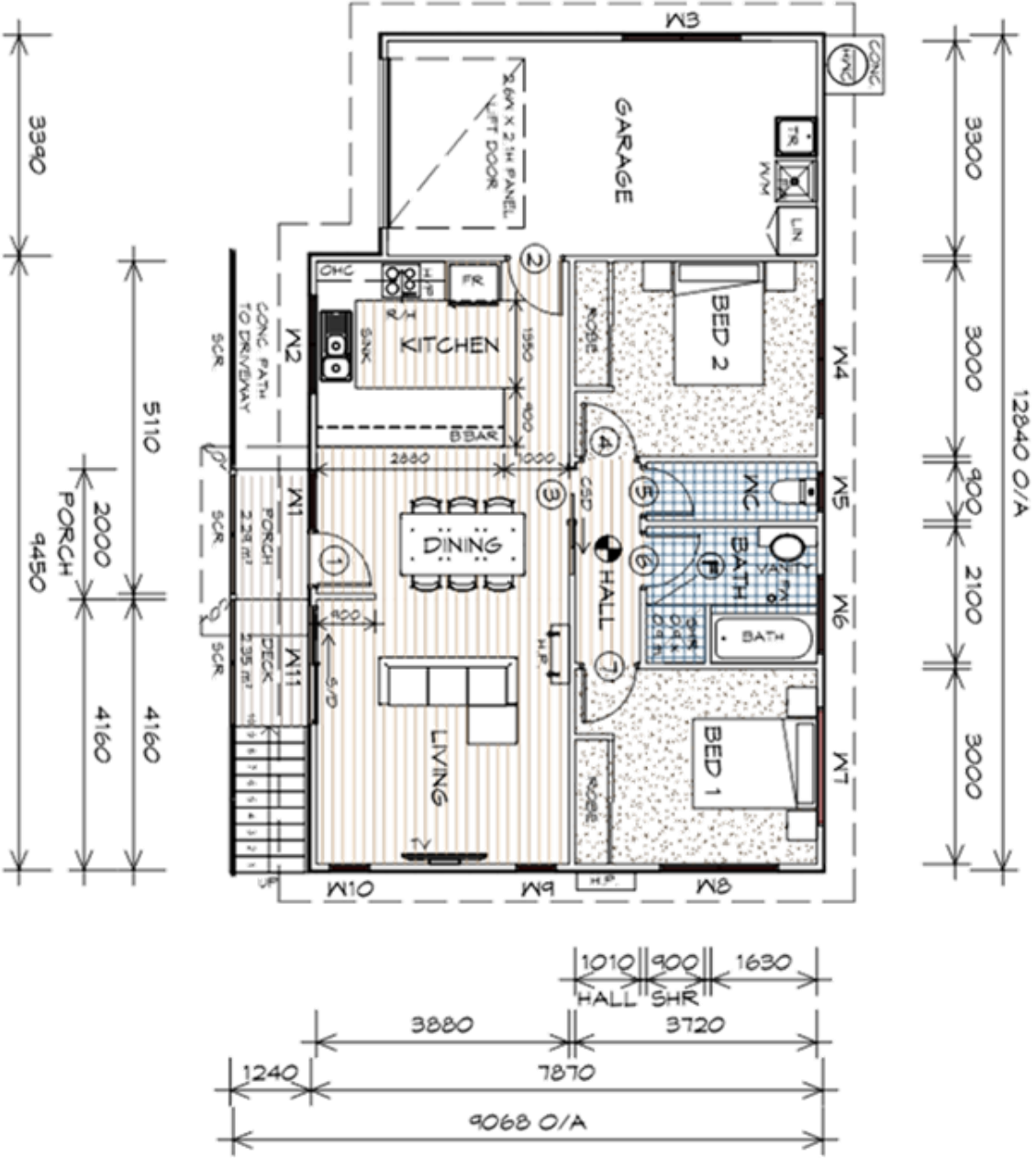
1 : 100

NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING
AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND
OUTDOOR AREAS ARE CALCULATED SEPARATELY.

GARAGE AREA	23.77	m ²	(2.56 SQUARES)
FLOOR AREA	14.84	m ²	(8.05 SQUARES)
PORCH AREA	2.53	m ²	(0.27 SQUARES)
DECK AREA	3.55	m ²	(0.38 SQUARES)
TOTAL AREA	104.64		11.26

UNIT 5



LEGEND

- Ⓕ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓖ 240V SMOKE ALARM
- Ⓒ CAVITY SLIDING DOOR
- Ⓗ SLIDING DOOR
- Ⓕ FLOOR WASTE
- Ⓖ GLASS SCREEN
- Ⓒ COL COLUMNS
- Ⓗ HOT WATER CYLINDER
- Ⓖ RANGE HOOD, VENT TO OUTSIDE AIR
- Ⓖ 1.7m HIGH PRIVACY SCREEN

NO RISERS	RISER HT	TREAD DEPTH
10	188	250

GOING NON SLIP TO COMPLY NCC 2019

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	INTERNAL TIMBER DOOR	
3	820	CAVITY SLIDING DOOR	
4	820	INTERNAL TIMBER DOOR	
5	120	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	

MARK	HEIGHT	WIDTH	TYPE	REMARKS
M1	2100	910	AWNING WINDOW	
M2	900	1510	AWNING WINDOW	
M3	600	1810	AWNING WINDOW	
M4	600	1810	AWNING WINDOW	OPAQUE
M5	900	610	AWNING WINDOW	OPAQUE
M6	900	1210	AWNING WINDOW	OPAQUE
M7	600	1810	FIXED WINDOW	OPAQUE
M8	1800	1810	AWNING WINDOW	
M9	1800	610	AWNING WINDOW	
M10	1800	610	AWNING WINDOW	
M11	2100	1810	SLIDING DOOR	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS TO SUIT TBC BAL RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
FLOOR PLAN

Date: 12/09/2023

Scale: 1 : 100

Drafted by:
A.G.C.

Approved by:
Approver

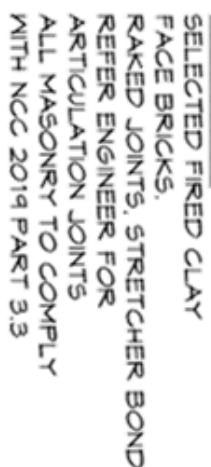
Project/Drawing no:
PD21120 -U5-01

Revision:
03



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1 : 100



1 : 100

PLN-23-30
APPLICATION NO
18/03/2024
DATE RECEIVED

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info@primedsignitas.com.au primedsignitas.com.au

Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

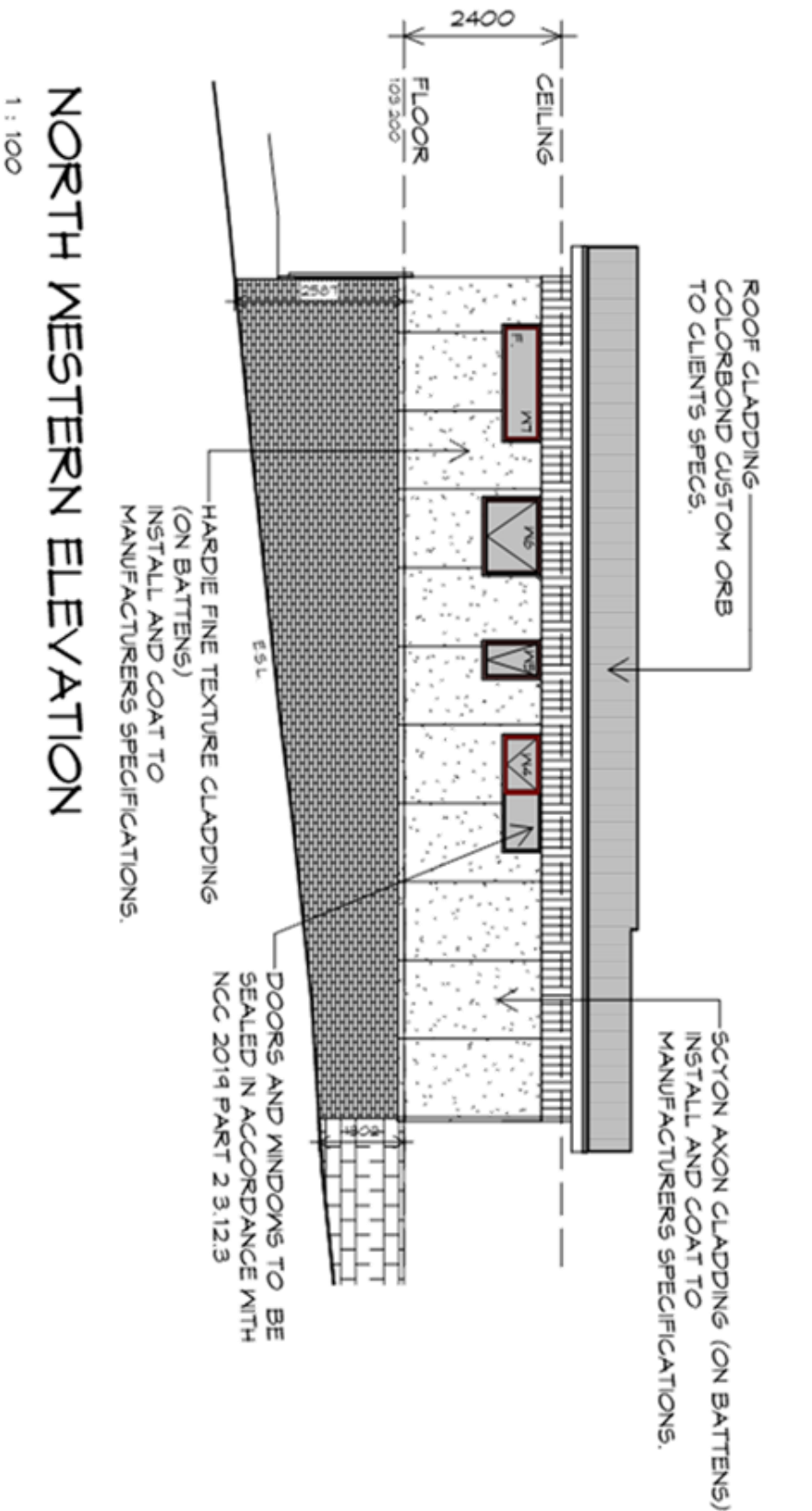
Drawing: ELEVATIONS

Drafted by: **A.G.C.**
Approved by: **Approver**

Date: 12/09/2023 Scale: 1 : 100

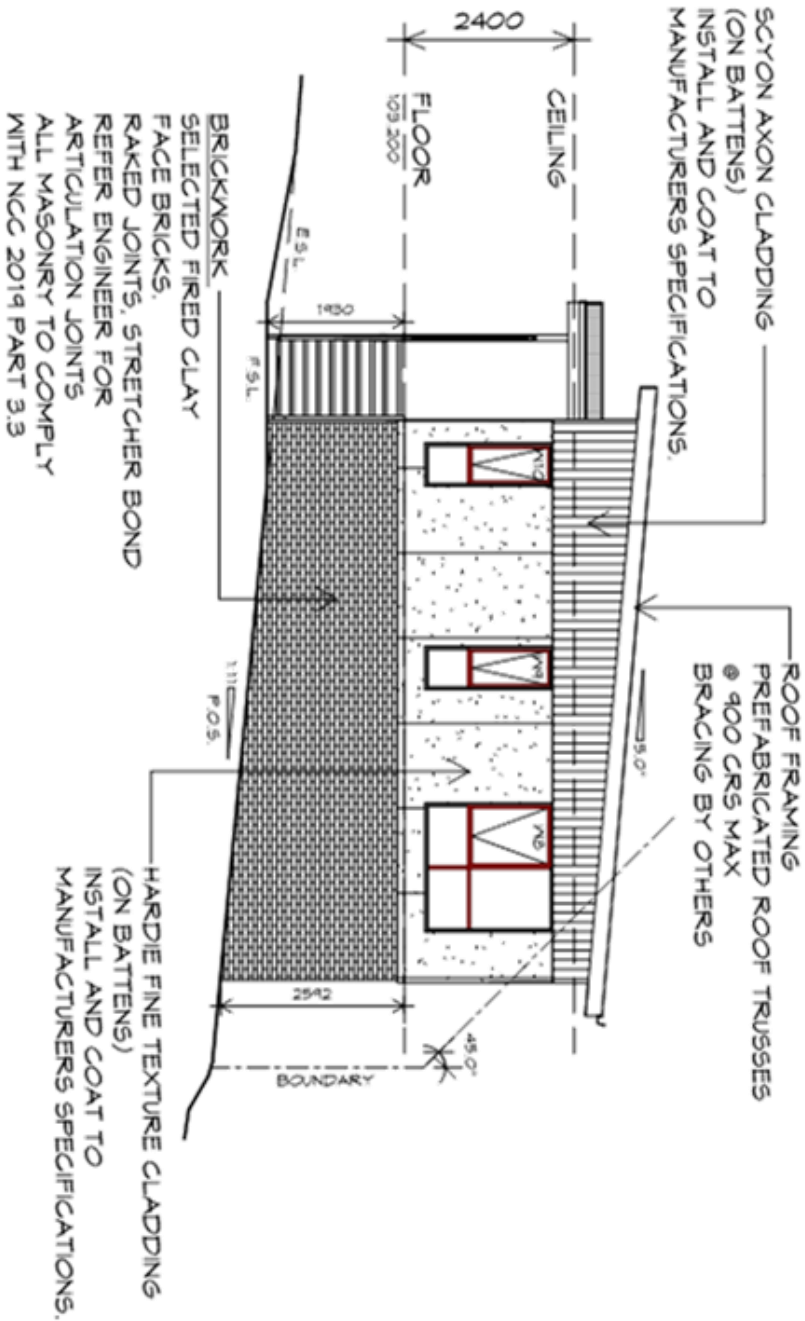
Project/Drawing no: PD21120-U5-02

INIT 5



NORTH WESTERN ELEVATION

1 : 100



NORTH EASTERN ELEVATION

1 : 100

PLANNING SERVICES

PLAN-23-307

APPLICATION No

18/03/2024

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PLANNING

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Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
ELEVATIONS

Drafted by:
A.G.C.

Approved by:
Approver

Date:
12/09/2023

Scale:
1 : 100

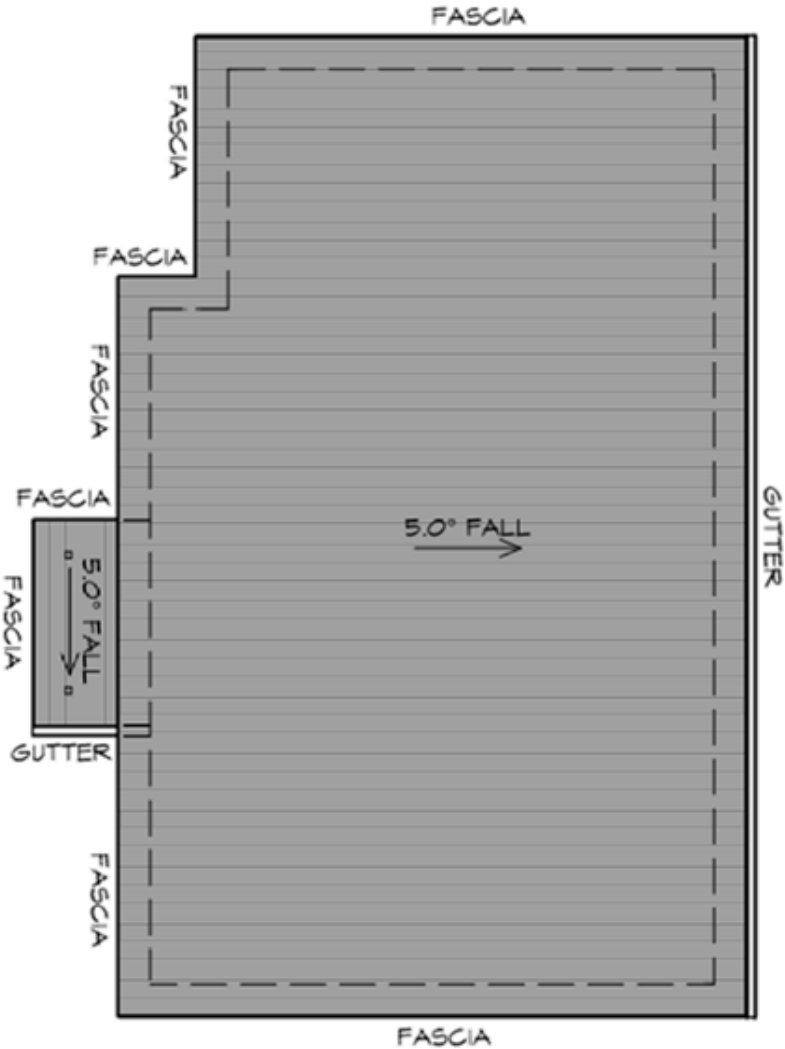
Project/Drawing no:
PD21120 -U5-03

Revision:
03

bdoo

BUILDING DESIGNERS

UNIT 5



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR.
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
NCC 2019 PART 3.5.2.4.
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.S
REQUIRED ARE TO BE IN ACCORDANCE
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.
SPACING BETWEEN DOWPIPES MUST NOT
BE MORE THAN 12m & WITHIN 1.2m FROM A
VALLEY GUTTER.

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING.
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF
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FREQUENCY FOR TRANSVERSE FLASHINGS AND
CAPPING, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF PENETRATION FLASHING DETAILS.
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER
NCC 2019 PART 3.5.1.8

PLANNING
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PLANNING SERVICES

PLAN-23-307

APPLICATION No

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DATE RECEIVED

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info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drafting:
ROOF PLAN

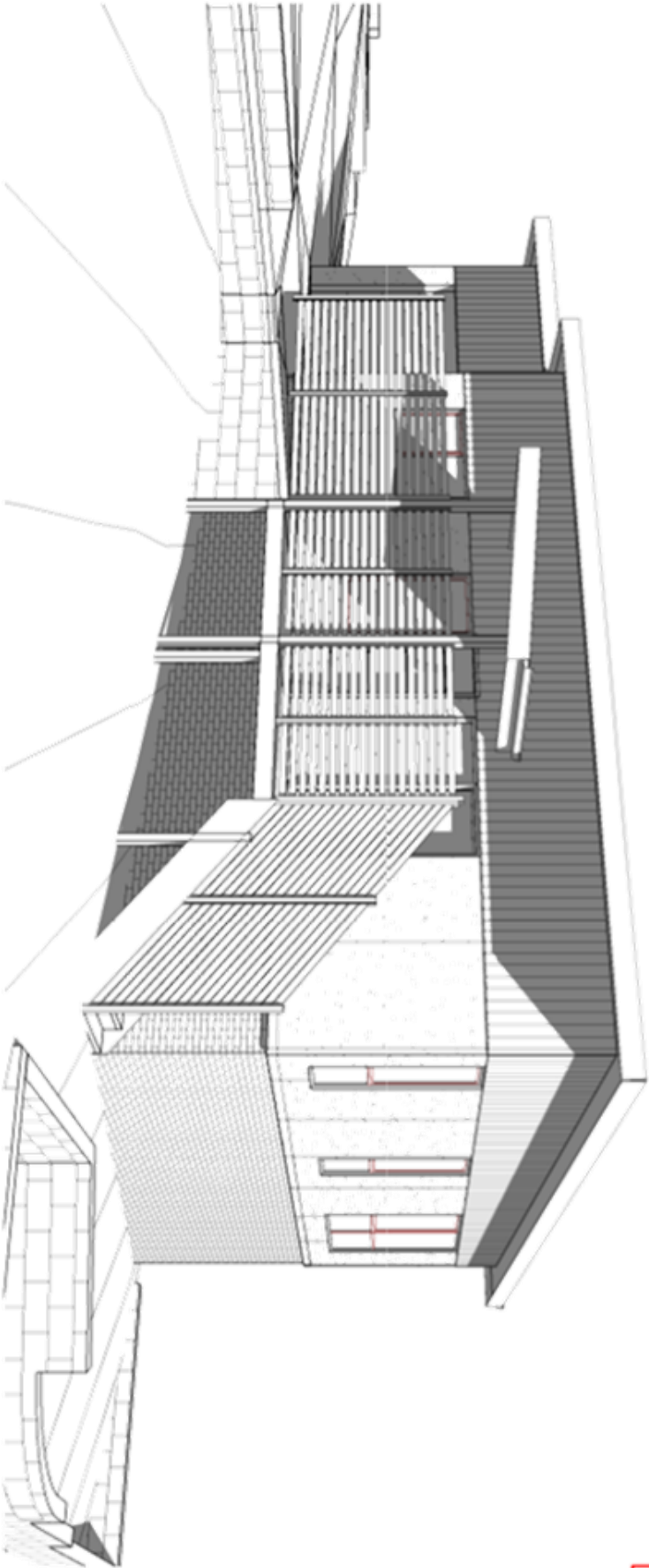
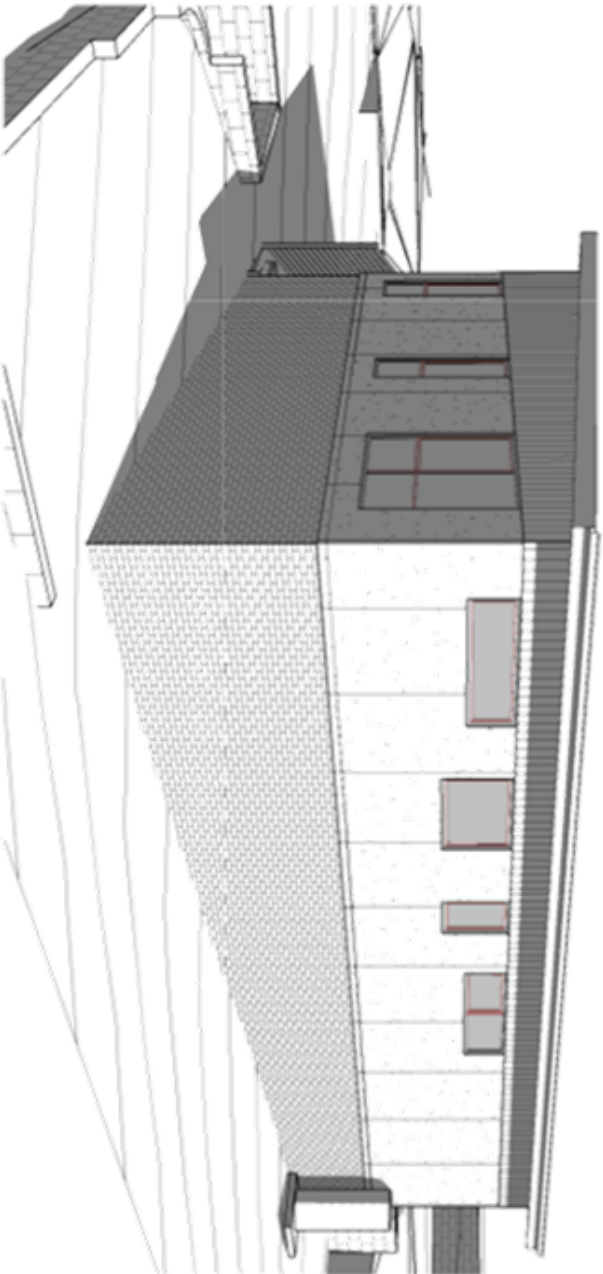
Date: 12/09/2023
Scale: 1 : 100

Project/Drawing no: PD21120 -U5-04
Revision: 03

Drafted by: A.G.C.
Approved by: Approver

bdag
BUILDING DESIGNERS

INIT 5



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-23-307
DATE RECEIVED 18/03/2024

PLANNING
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Project:
PROPOSED NEW UNIT DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOORYONG DEVELOPMENT UNIT TRUST

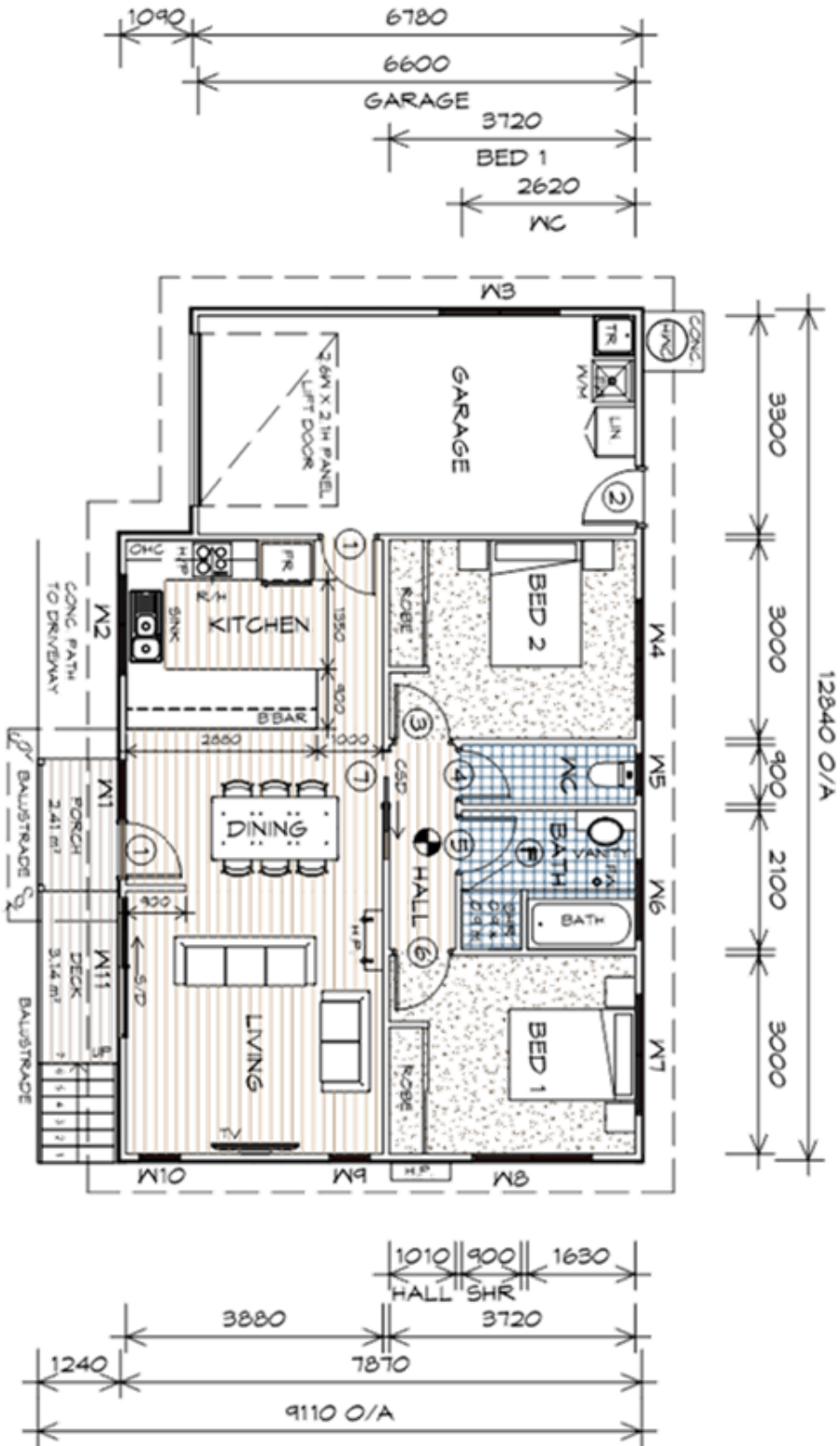
Drawing:
PERSPECTIVES

Drafted by: **A.G.C.** **Approved by:** **Approver**

Date: **12/09/2023** **Scale:**

Project/Drawing no: **PD21120 -U5-05** **Revision:** **03**

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BUILDING DESIGNERS



NOTE:
DIMENSIONS DO NOT
INCLUDE CLADDING

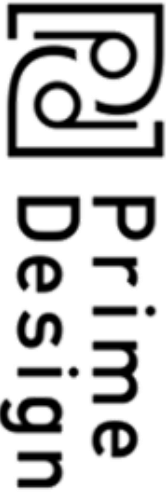
FLOOR PLAN

1 : 100

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING
AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND
OUTDOOR AREAS ARE CALCULATED SEPARATELY.

GARAGE AREA	23.77	m ²	(2.56 SQUARES)
FLOOR AREA	14.86	m ²	(8.05 SQUARES)
PORCH AREA	2.53	m ²	(0.27 SQUARES)
DECK AREA	3.24	m ²	(0.35 SQUARES)
TOTAL AREA	104.46		11.23

UNIT 6



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LEGEND

- EXHAUST FAN-VENT TO OUTSIDE AIR.
- 240V SMOKE ALARM
- CAVITY SLIDING DOOR
- SLIDING DOOR
- FLOOR WASTE
- GLASS SCREEN
- COL. COLUMN
- HWC HOT WATER CYLINDER
- R/H RANGE HOOD, VENT TO OUTSIDE AIR

NO RISERS	RISER HT	TREAD DEPTH
7	186	250

GOING NON SLIP TO COMPLY NCC 2019

MARK	WIDTH	TYPE	REMARKS
1	820	INTERNAL TIMBER DOOR	
1	820	EXTERNAL ENTRY DOOR	
2	820	EXTERNAL HALF GLASS	
3	820	INTERNAL TIMBER DOOR	
4	720	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	CAVITY SLIDING DOOR	

MARK	HEIGHT	WIDTH	TYPE	REMARKS
M1	2100	910	AWNING WINDOW	
M2	900	1510	AWNING WINDOW	
M3	600	1810	AWNING WINDOW	
M4	600	1810	AWNING WINDOW	OPAQUE
M5	900	610	AWNING WINDOW	OPAQUE
M6	900	1210	AWNING WINDOW	OPAQUE
M7	600	1810	AWNING WINDOW	OPAQUE
M8	1800	1810	AWNING WINDOW	
M9	1800	610	AWNING WINDOW	
M10	1800	610	AWNING WINDOW	
M11	2100	2110	SLIDING DOOR	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS TO SUIT TBC BAL RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
FLOOR PLAN

Date: 12/09/2023

Scale: 1 : 100

Drafted by:
A.G.C.

Approved by:
Approver

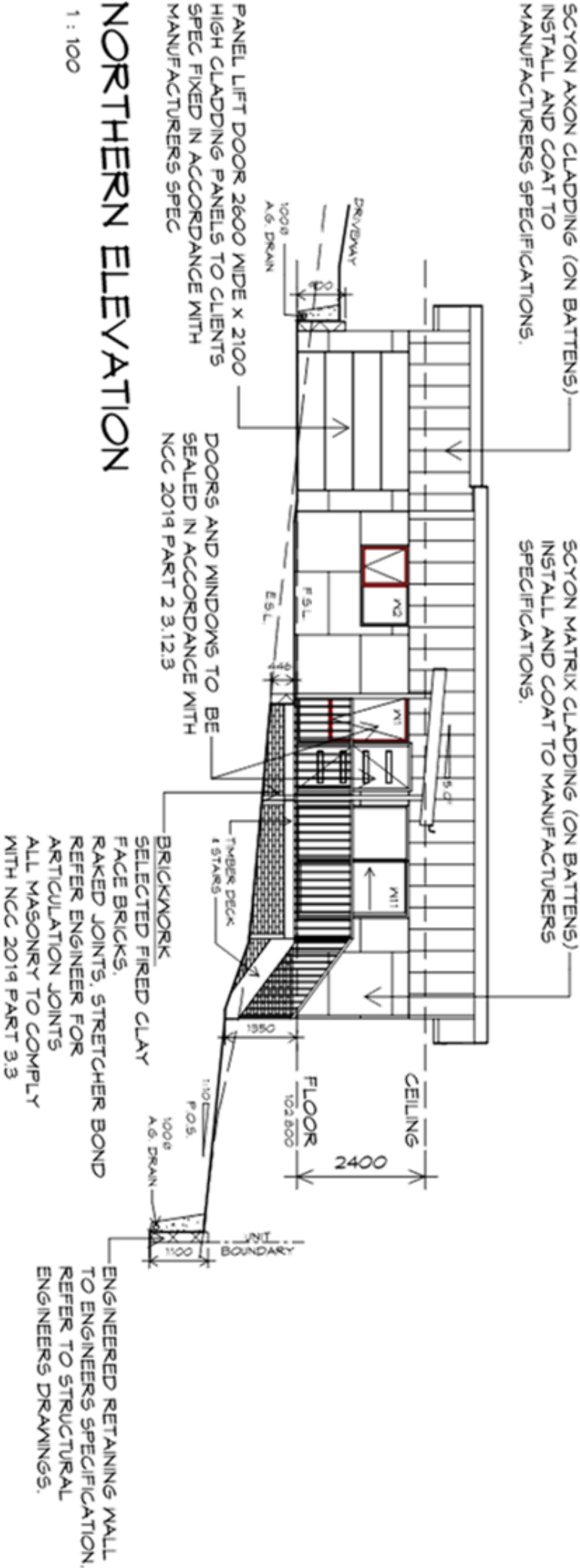
Project/Drawing no:
PD21120 -U6-01

Revision:
03

PLANNING

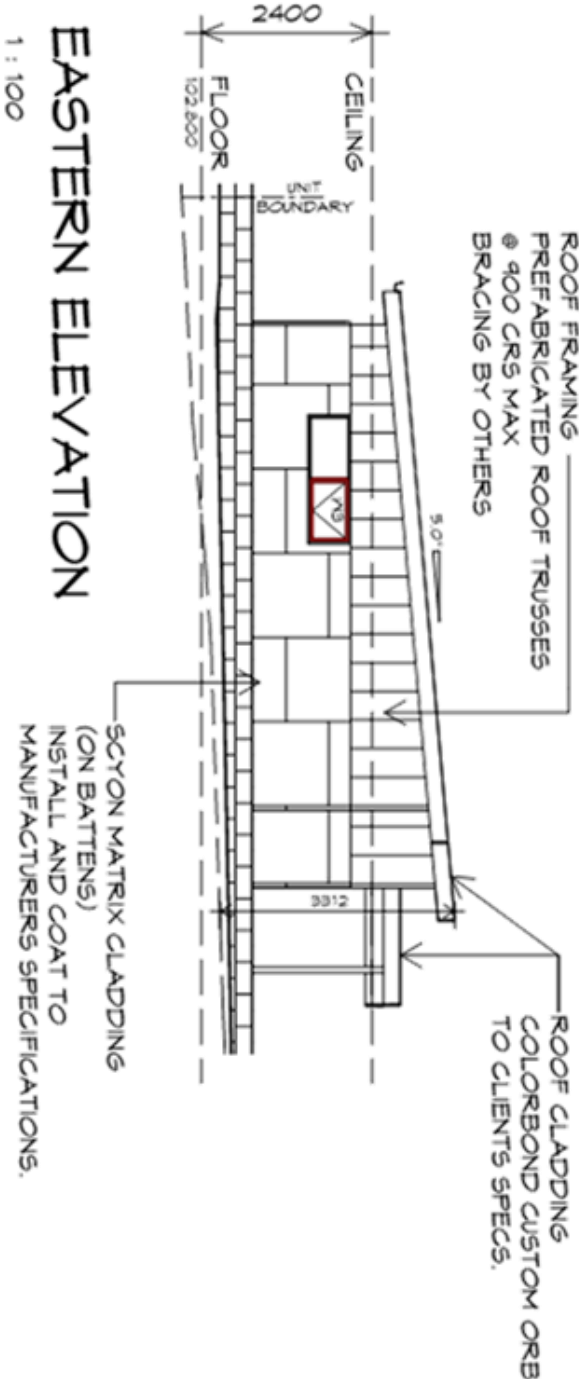
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INITIALS



NORTHERN ELEVATION

1 : 100



EASTERN ELEVATION

1 : 100

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION NO PLN-23-307
DATE RECEIVED 18/03/2024

PLANNING
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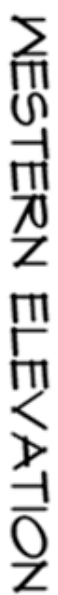
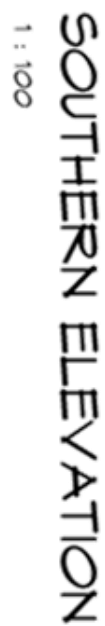
bdoo
BUILDING DESIGNERS

Drafted by:	A.G.C.	Approved by:	Approver
Date:	12/09/2023	Scale:	1 : 100
Project/Drawing no:	PD21120 -U6-02	Revision:	03



Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

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1 : 100

**GLENORCHY CITY COUNCIL
PLANNING SERVICES**

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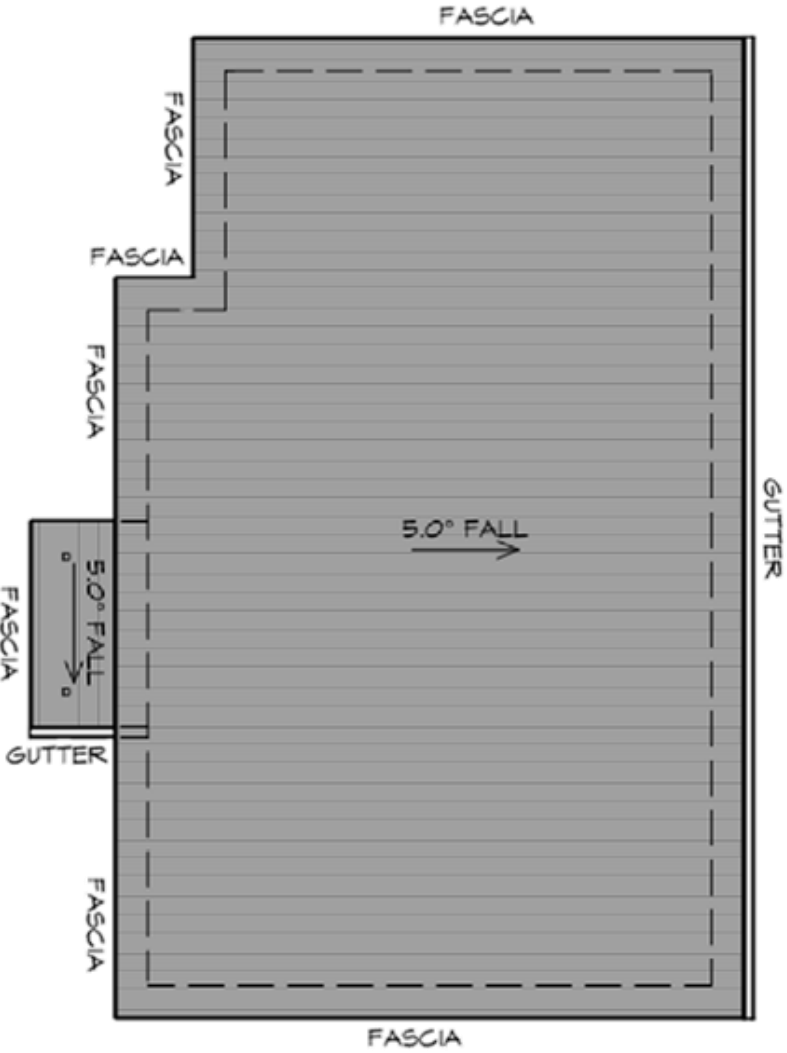
Drawing: ELEVATIONS

Drafted by: **A.G.C.**
Approved by: **Approver**

12/09/2023 1:100

Project/Drawing no:	Revision
PD21120 - U6-03	03

UNIT 6



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR.
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
NCC 2019 PART 3.5.2.4.
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPipe POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.S
REQUIRED ARE TO BE IN ACCORDANCE
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & WITHIN 1.2m FROM A
VALLEY GUTTER.

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
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REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE
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CAPPIINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF PENETRATION FLASHING DETAILS.
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER
NCC 2019 PART 3.5.1.8

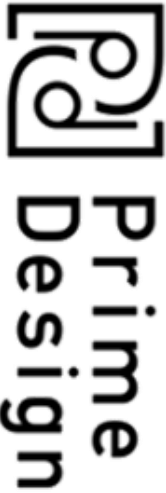
PLANNING

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GLENORCHY CITY COUNCIL
PLANNING SERVICES

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Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
ROOF PLAN

Date: 12/09/2023

Scale: 1 : 100



Drafted by:
A.G.C.

Approved by:
Approver

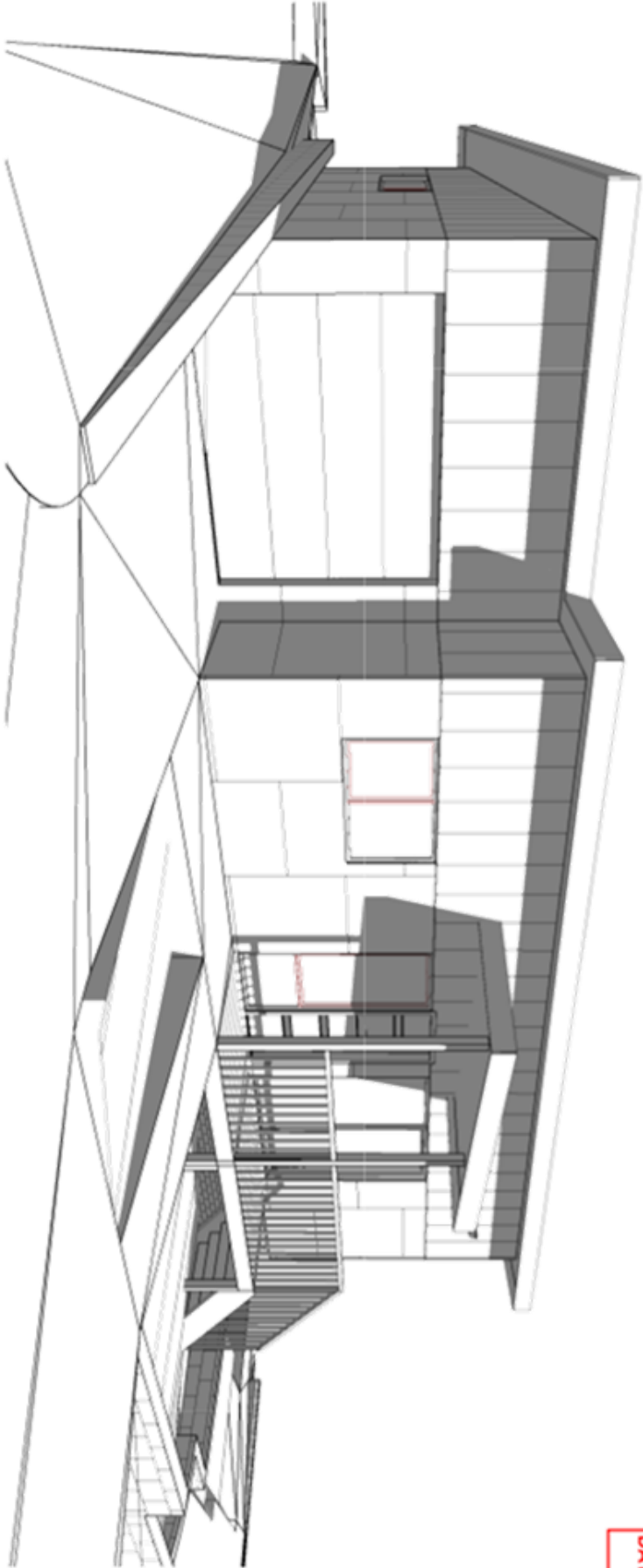
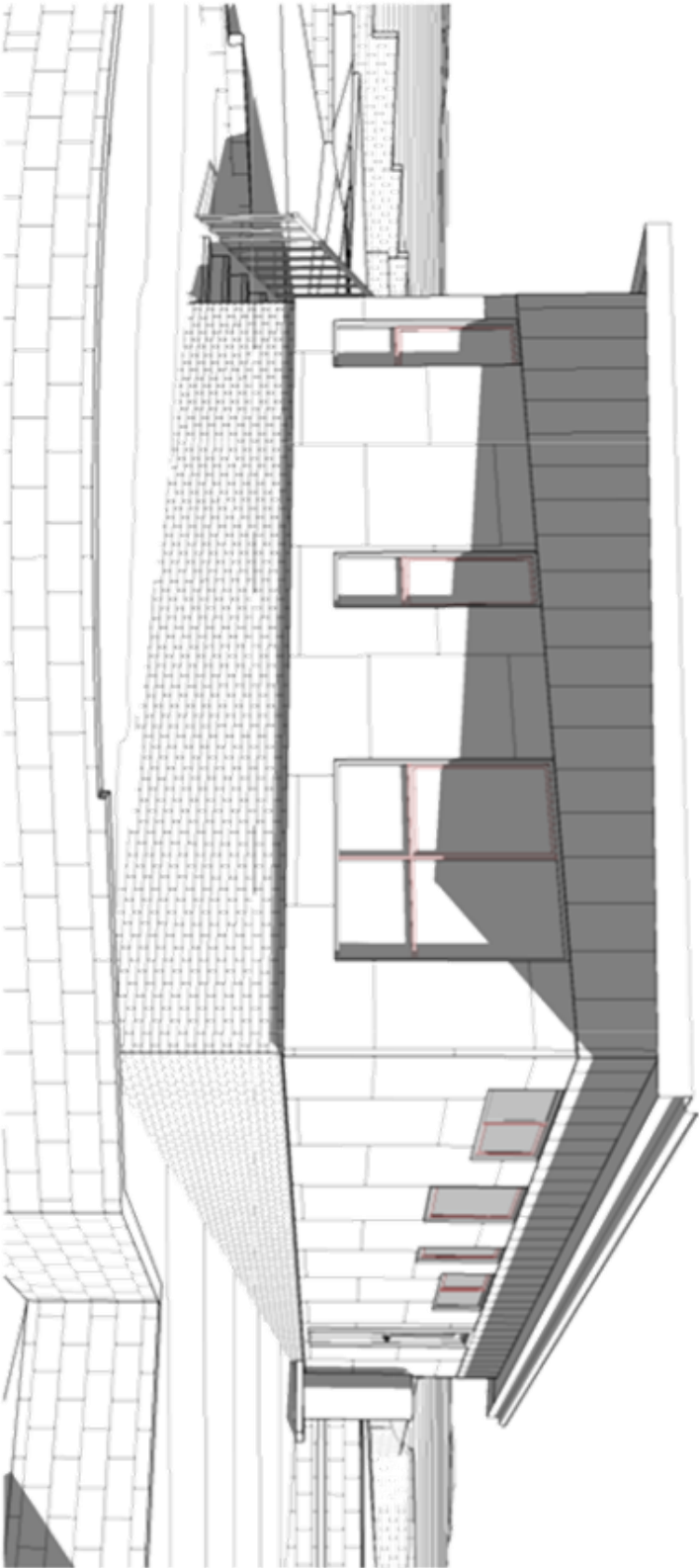


BULCHNO DESIGNERS

Project/Drawing no:
PD21120 -U6-04

Revision:
03

INIT 6



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-23-307
DATE RECEIVED 18/03/2024

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

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info@primedesigntas.com.au primedesigntas.com.au

Project:
PROPOSED NEW UNIT DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT TRUST

Drawing:
PERSPECTIVES

Drafted by: **A.G.C.** **Approved by:** **Approver**

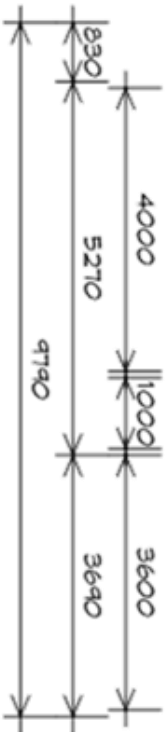
Date: **12/09/2023** **Scale:**

Project/Drawing no: **PD21120 -U6-05** **Revision:** **03**

bdoo
BUILDING DESIGNERS



NOTE:
DIMENSIONS DO NOT
INCLUDE CLADDING



GROUND FLOOR PLAN

1 : 100

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING
AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND
OUTDOOR AREAS ARE CALCULATED SEPARATELY.

GROUND FLOOR AREA	66.16	m2	(7.11	SQUARES)
SARAGE AREA	23.12	m2	(2.44	SQUARES)
PORCH AREA	1.51	m2	(0.16	SQUARES)
FIRST FLOOR AREA	84.34	m2	(4.61	SQUARES)
DECK AREA	8.57	m2	(0.92	SQUARES)
TOTAL AREA	188.71		20.24	

UNIT 7

LEGEND

- Ⓟ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- Ⓢ CAVITY SLIDING DOOR
- Ⓢ SLIDING DOOR
- Ⓢ FLOOR WASTE
- Ⓢ HAND RAIL
- Ⓢ COLUMN
- Ⓢ GLASS SCREEN
- Ⓢ RANGE HOOD, VENT TO OUTSIDE AIR
- Ⓢ SQUARE STOP
- Ⓢ HOT WATER CYLINDER

STAIRS

NO RISERS	RISER HT	TREAD DEPTH
16	179	250

GOING NON SLIP TO COMPLY NCC 2014

GROUND FLOOR DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	CAVITY SLIDING DOOR	
3	820	CAVITY SLIDING DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	EXTERNAL HALF GLASS	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	CAVITY SLIDING DOOR	
9	820	INTERNAL TIMBER DOOR	

GROUND FLOOR WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
M1	600	2410	FIXED WINDOW	OPAQUE
M2	1500	1810	AWNING WINDOW	
M3	400	910	AWNING WINDOW	OPAQUE
M4	1500	1810	AWNING WINDOW	
M5	2100	2410	SLIDING DOOR	
M6	1500	2610	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS TO SUIT **TBC BAL** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING



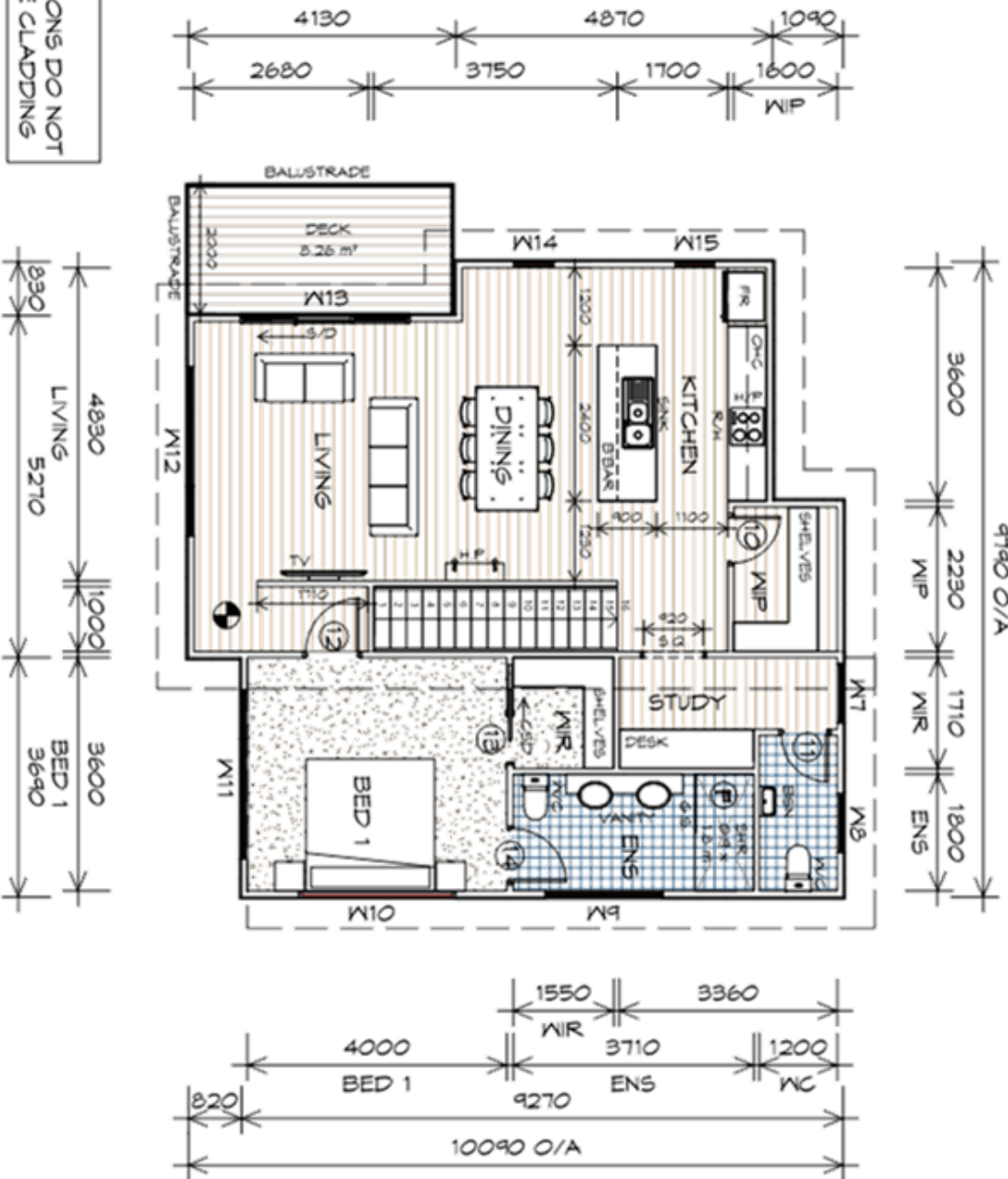
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APPLICATION No PLN-23-307

DATE RECEIVED 18/03/2024

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



FIRST FLOOR

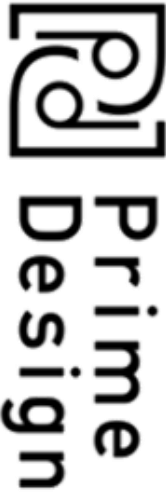
1 : 100

NOTE:

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

GROUND FLOOR AREA	66.16	m2	(7.11	SQUARES)
GARAGE AREA	23.12	m2	(2.44	SQUARES)
PORCH AREA	1.51	m2	(0.16	SQUARES)
FIRST FLOOR AREA	84.34	m2	(9.61	SQUARES)
DECK AREA	8.57	m2	(0.92	SQUARES)
TOTAL AREA	188.71		20.24	

UNIT 7



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LEGEND

- Ⓕ EXHAUST FAN-VENT TO OUTSIDE AIR.
- 🔔 240V SMOKE ALARM
- ⒸSD CAVITY SLIDING DOOR
- ⒸSD SLIDING DOOR
- ♻️ FLOOR WASTE
- ⒽR HAND RAIL
- COL COLUMN
- GLASS SCREEN
- ⒽR RANGE HOOD, VENT TO OUTSIDE AIR
- SG SQUARE STOP
- ⒽWC HOT WATER CYLINDER

STAIRS

NO RISERS	RISER HT	TREAD DEPTH
16	179	250

GOING NON SLIP TO COMPLY NCC 2019

FIRST FLOOR DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
10	120	INTERNAL TIMBER DOOR	
11	120	INTERNAL TIMBER DOOR	
12	820	INTERNAL TIMBER DOOR	
13	770	CAVITY SLIDING DOOR	
14	820	INTERNAL TIMBER DOOR	

FIRST FLOOR WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1200	910	AWNING WINDOW	
W2	1200	910	AWNING WINDOW	OPAQUE
W3	900	1810	AWNING WINDOW	OPAQUE
W10	600	2410	FIXED WINDOW	OPAQUE
W11	1500	2610	AWNING WINDOW	
W12	1500	2610	AWNING WINDOW	
W13	2100	2610	SLIDING DOOR	
W14	1800	610	AWNING WINDOW	
W15	1800	610	AWNING WINDOW	

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **TBC BAL** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
FIRST FLOOR PLAN

Date: 15.01.2024 Scale: 1 : 100



Drafted by:
A.G.C.

Approved by:
Approver

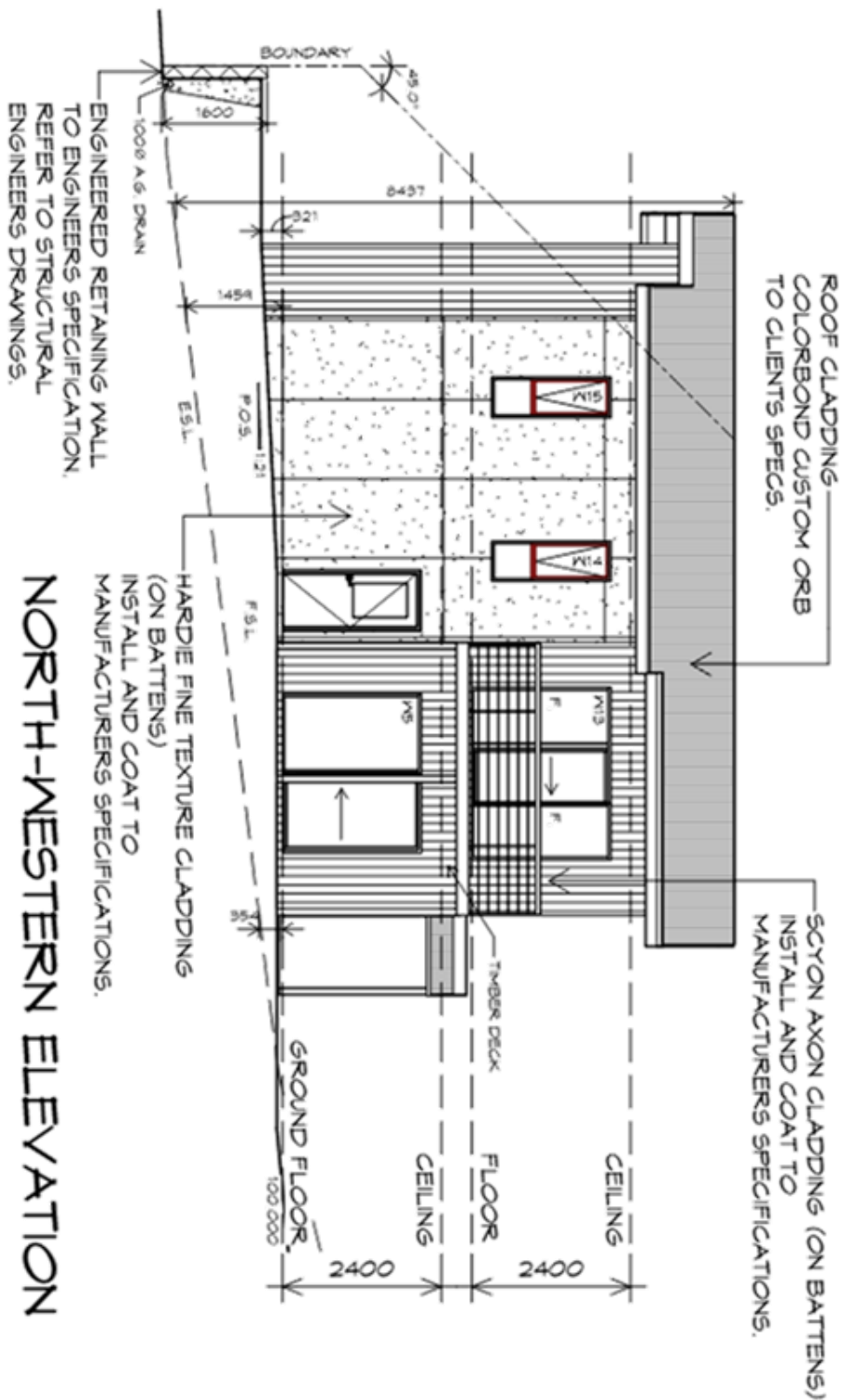
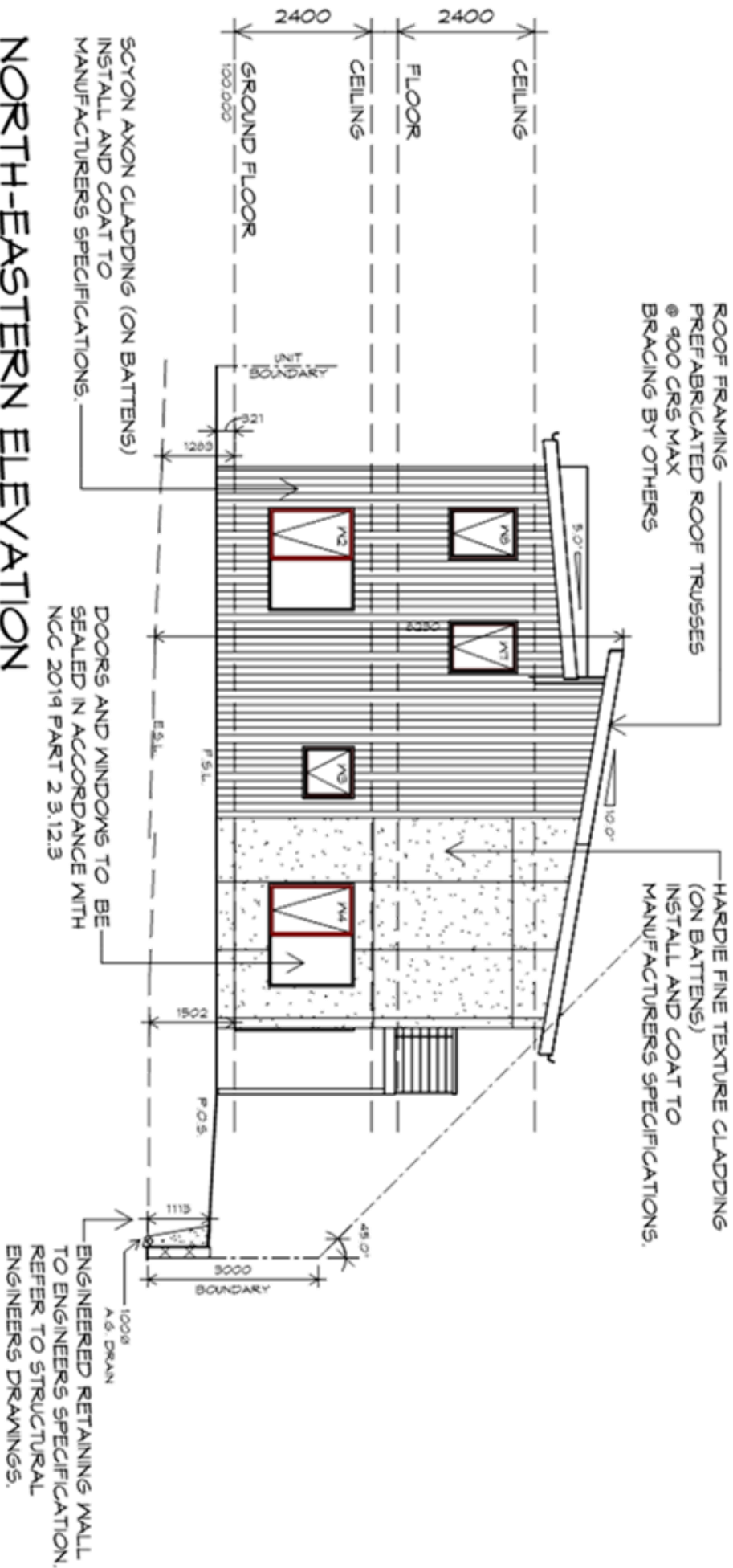
Project/Drawing no:
PD21120 -U7-02

Revision:
05

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

UNIT 7



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-23-307
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Project:
PROPOSED NEW UNIT
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3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
ELEVATIONS

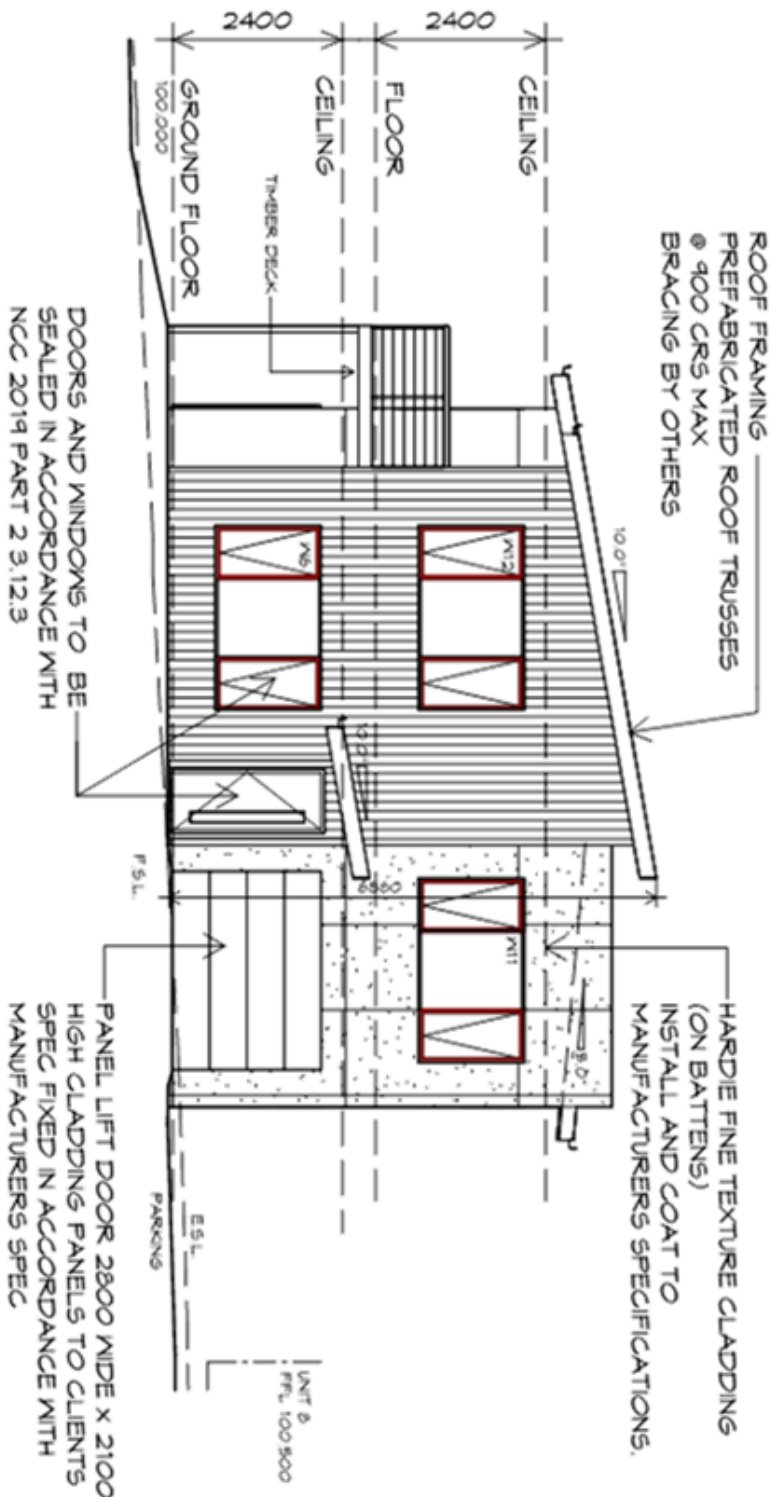
Drafted by:
A.G.C.
Approved by:
Approver

Date:
15.01.2024
Scale:
1 : 100

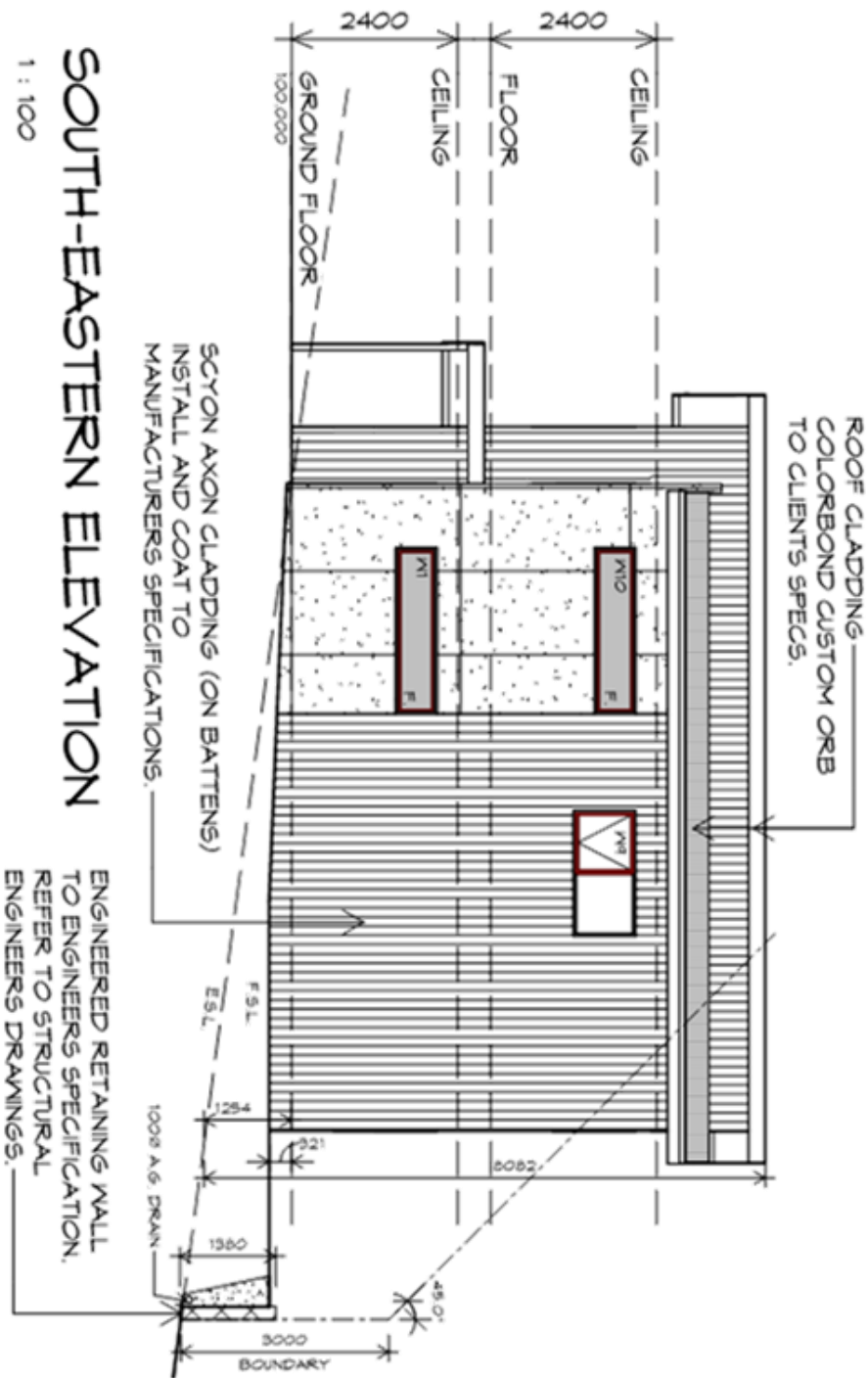
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Revision:
05

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UNIT 7



SOUTH-WESTERN ELEVATION
1 : 100



SOUTH-EASTERN ELEVATION
1 : 100

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-23-307
DATE RECEIVED 18/03/2024

PLANNING
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Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
ELEVATIONS

Drafted by:
A.G.C.
Approved by:
Approver

Date:
15.01.2024
Scale:
1 : 100

Project/Drawing no:
PD21120 -U7-04
Revision:
05

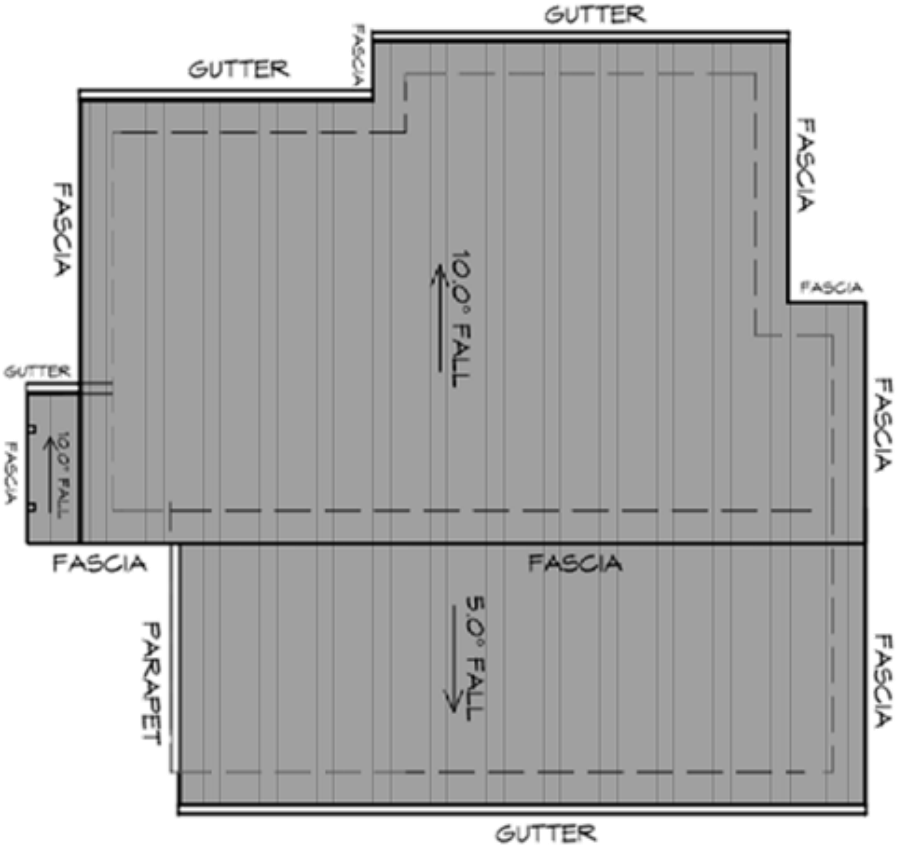
bdoo
BUILDING DESIGNERS

UNIT 7

ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.



ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
NCC 2019 PART 3.5.2.4.
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
Ø 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

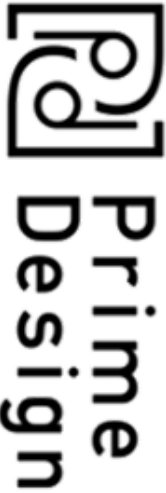
LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.S
REQUIRED ARE TO BE IN ACCORDANCE
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.
SPACING BETWEEN DOWPIPES MUST NOT
BE MORE THAN 12m & WITHIN 1.2m FROM A
VALLEY GUTTER.

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING.
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF
CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS.
FOR FIXING, SHEET LAYING SEQUENCE, FASTENER
FREQUENCY FOR TRANSVERSE FLASHINGS AND
CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF PENETRATION FLASHING DETAILS.
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER
NCC 2019 PART 3.5.1.8

PLANNING
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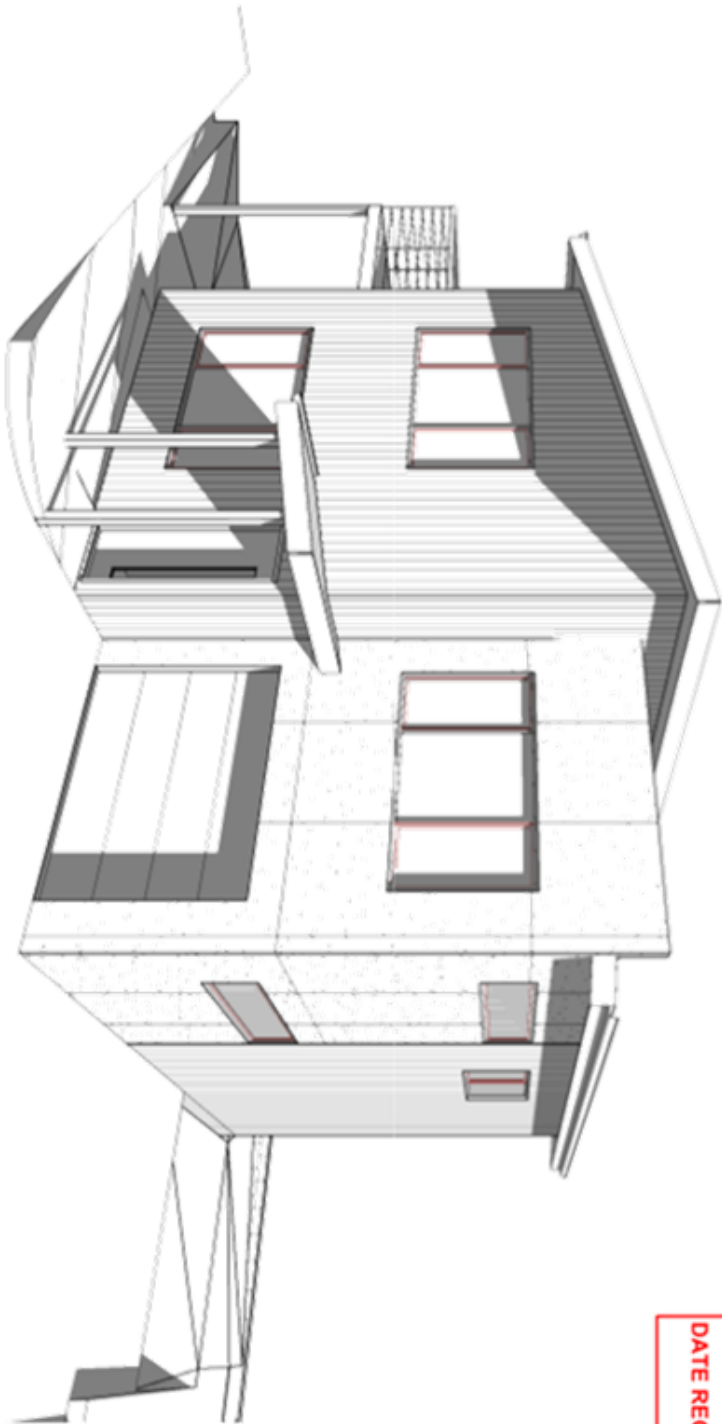
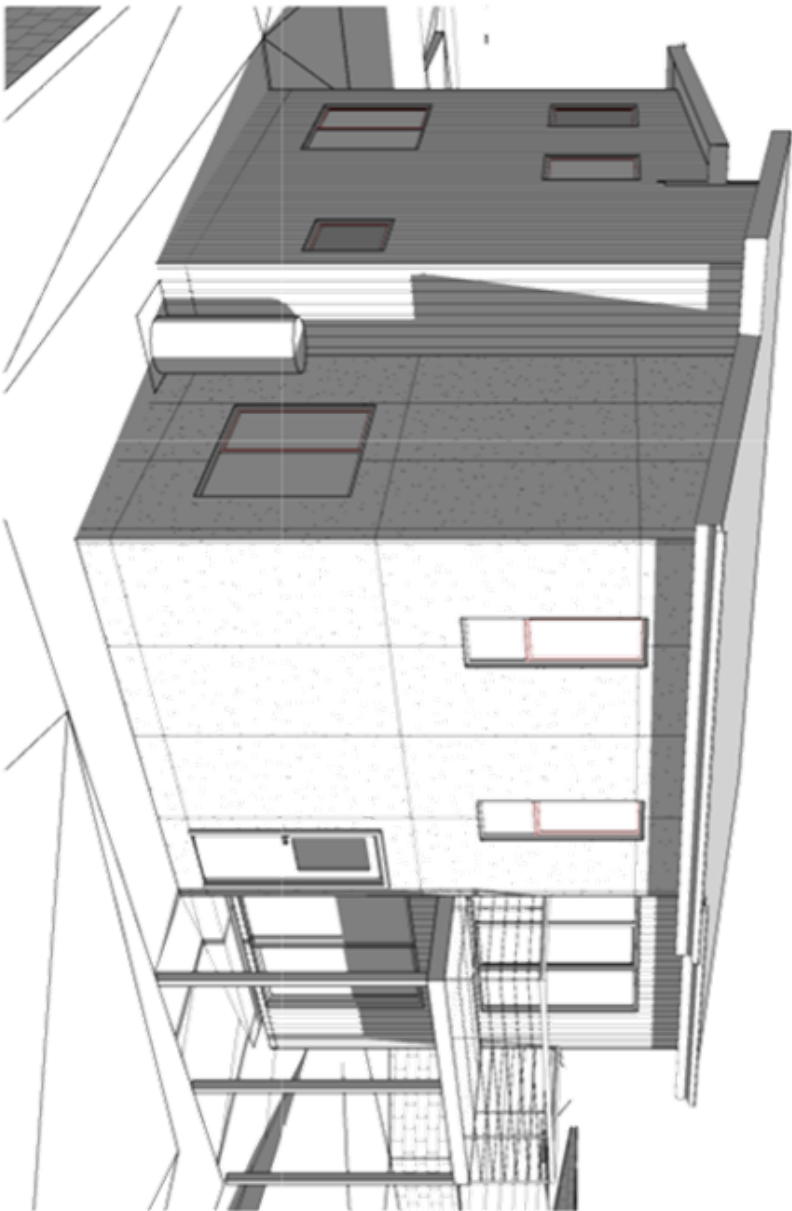
GLENORCHY CITY COUNCIL
PLANNING SERVICES
PLAN-23-307
APPLICATION No 18/03/2024
DATE RECEIVED



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Project: PROPOSED NEW UNIT DEVELOPMENT 3A AQUILA STREET, GLENORCHY Client name: KOOYONG DEVELOPMENT UNIT TRUST		Drawing: ROOF PLAN	
Drafted by: A.G.C.	Approved by: Approver	Date: 15.01.2024	Scale: 1 : 100
Project/Drawing no: PD21120 -U7-05		Revision: 05	

UNIT 7



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-23-307
DATE RECEIVED 18/03/2024

PLANNING
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Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

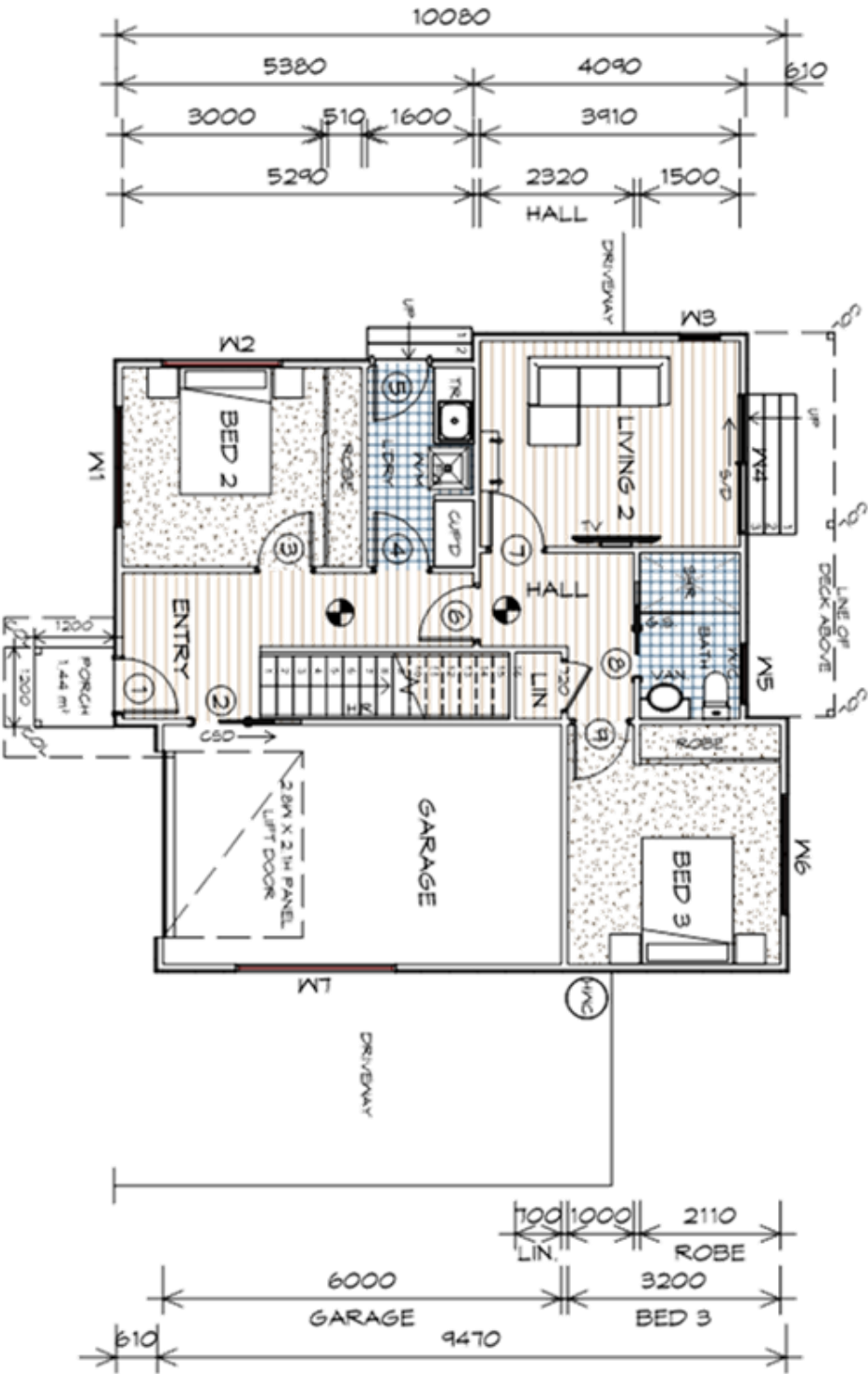
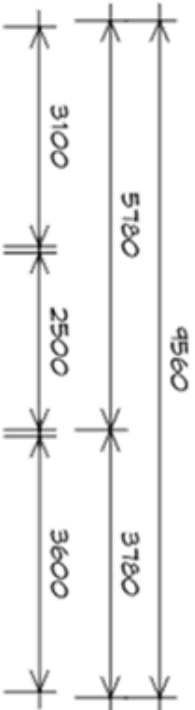
Drawing:
PERSPECTIVES

Drafted by:
A.G.C.
Approved by:
Approver

Date:
15.01.2024
Scale:

Project/Drawing no:
PD21120 -U7-06
Revision:
05

bdoo
BUILDING DESIGNERS



NOTE:
DIMENSIONS DO NOT
INCLUDE CLADDING

GROUND FLOOR PLAN

1 : 100

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING
AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND
OUTDOOR AREAS ARE CALCULATED SEPARATELY.

FIRST FLOOR AREA	84.38	m2	(4.61	SQUARES)
DECK AREA	13.67	m2	(1.47	SQUARES)
GROUND FLOOR AREA	66.52	m2	(7.15	SQUARES)
GARAGE AREA	23.25	m2	(2.50	SQUARES)
PORCH AREA	1.44	m2	(0.15	SQUARES)
TOTAL AREA	194.26		20.84	

UNIT 8

LEGEND

- Ⓢ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓢ 240V SMOKE ALARM
- Ⓢ CAVITY SLIDING DOOR
- Ⓢ SLIDING DOOR
- Ⓢ FLOOR WASTE
- Ⓢ HAND RAIL
- Ⓢ COLUMN
- Ⓢ GLASS SCREEN
- Ⓢ RANGE HOOD, VENT TO OUTSIDE AIR
- Ⓢ HOT WATER CYLINDER

STAIRS

NO RISERS	RISER HT	TREAD DEPTH
16	179	250

GOING NON SLIP TO COMPLY NCC 2019

GROUND FLOOR DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	CAVITY SLIDING DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	EXTERNAL HALF GLASS	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	720	CAVITY SLIDING DOOR	
9	820	INTERNAL TIMBER DOOR	

GROUND FLOOR WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
M1	400	1810	AWNING WINDOW	OPAQUE
M2	400	1810	FIXED WINDOW	
M3	1800	610	AWNING WINDOW	
M4	2100	2110	SLIDING DOOR	
M5	400	410	AWNING WINDOW	OPAQUE
M6	1500	1810	AWNING WINDOW	
M7	600	2410	FIXED WINDOW	OPAQUE

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE
WITH FLY SCREENS TO SUIT **TBC BAL** RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY

Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
GROUND FLOOR PLAN

Date: 15.01.2024 Scale: 1 : 100



Drafted by:
A.G.C.

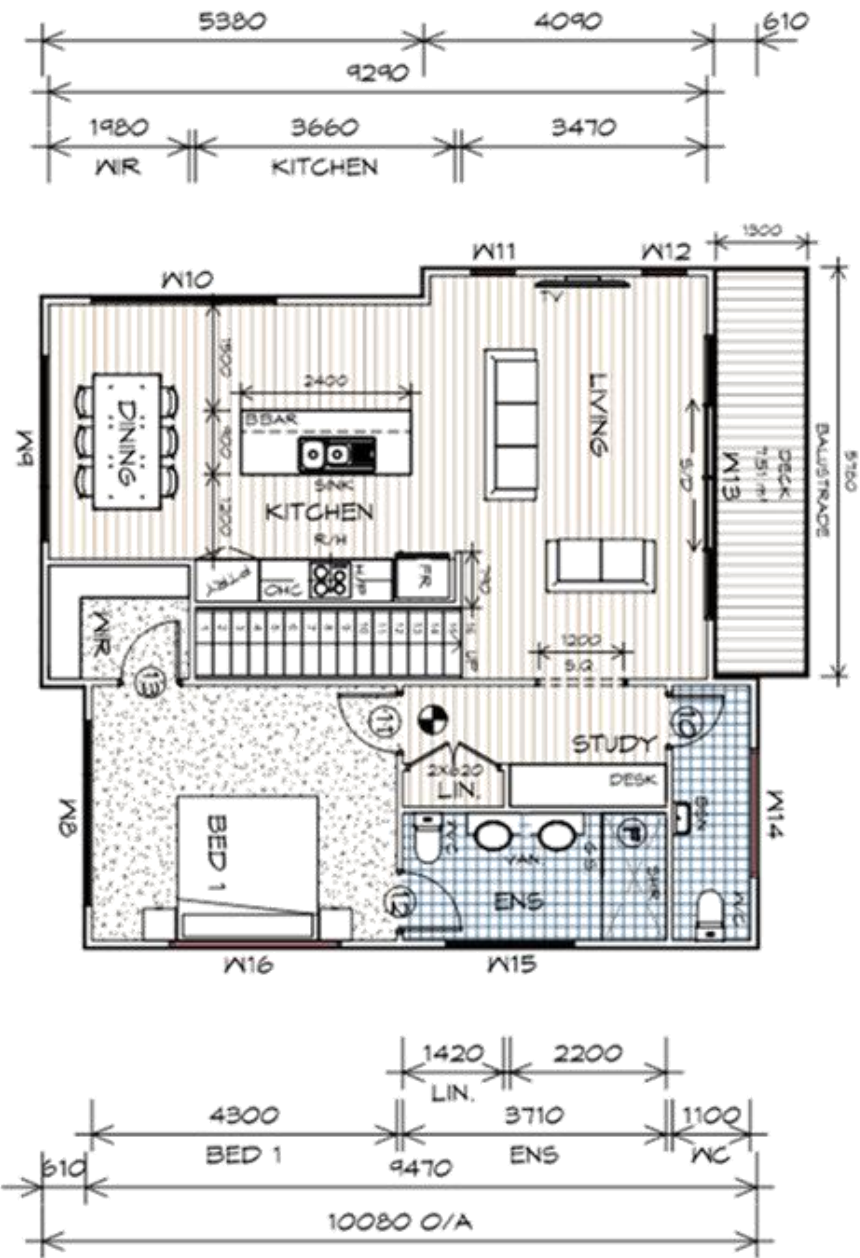
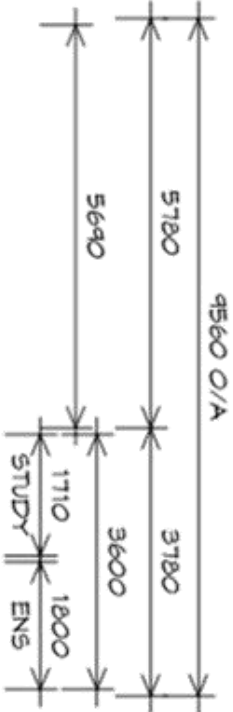
Approved by:
Approver

Project/Drawing no:
PD21120 -U8-01

Revision:
05

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS



FIRST FLOOR PLAN

1 : 100

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

FIRST FLOOR AREA	84.38	m ²	(9.61	SQUARES)
DECK AREA	13.67	m ²	(1.47	SQUARES)
GROUND FLOOR AREA	66.52	m ²	(7.15	SQUARES)
GARAGE AREA	23.25	m ²	(2.50	SQUARES)
PORCH AREA	1.44	m ²	(0.15	SQUARES)
TOTAL AREA	194.26		20.84	

UNIT 8

LEGEND

- Ⓕ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓖ 240V SMOKE ALARM
- ⒸⒶⒹ CAVITY SLIDING DOOR
- ⒺⒹ SLIDING DOOR
- Ⓕ⒲ FLOOR WASTE
- Ⓕ⒲ HAND RAIL COLUMN
- ⒺⒹ GLASS SCREEN
- ⒺⒹ RANGE HOOD, VENT TO OUTSIDE AIR
- Ⓕ⒲ HOT WATER CYLINDER

STAIRS			
NO RISERS	RISER HT	TREAD DEPTH	
16	179	250	

GOING NON SLIP TO COMPLY NCC 2019

FIRST FLOOR DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
10	720	INTERNAL TIMBER DOOR	
11	820	INTERNAL TIMBER DOOR	
12	820	INTERNAL TIMBER DOOR	
13	820	INTERNAL TIMBER DOOR	

FIRST FLOOR WINDOW SCHEDULE			
MARK	HEIGHT	WIDTH	TYPE
W8	1500	2610	AWNING WINDOW
W9	1500	2610	AWNING WINDOW
W10	1200	2610	AWNING WINDOW
W11	1800	610	AWNING WINDOW
W12	1800	610	AWNING WINDOW
W13	2100	4010	DOUBLE SLIDING DOOR
W14	600	1810	FIXED WINDOW
W15	900	1810	AWNING WINDOW
W16	600	2410	FIXED WINDOW

ALUMINIUM WINDOWS **DOUBLE GLAZING** COMPLETE WITH FLY SCREENS TO SUIT **TBC BAL** RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY

Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
FIRST FLOOR PLAN

Date: 15.01.2024 Scale: 1 : 100

Drafted by:
A.G.C.

Approved by:
Approver

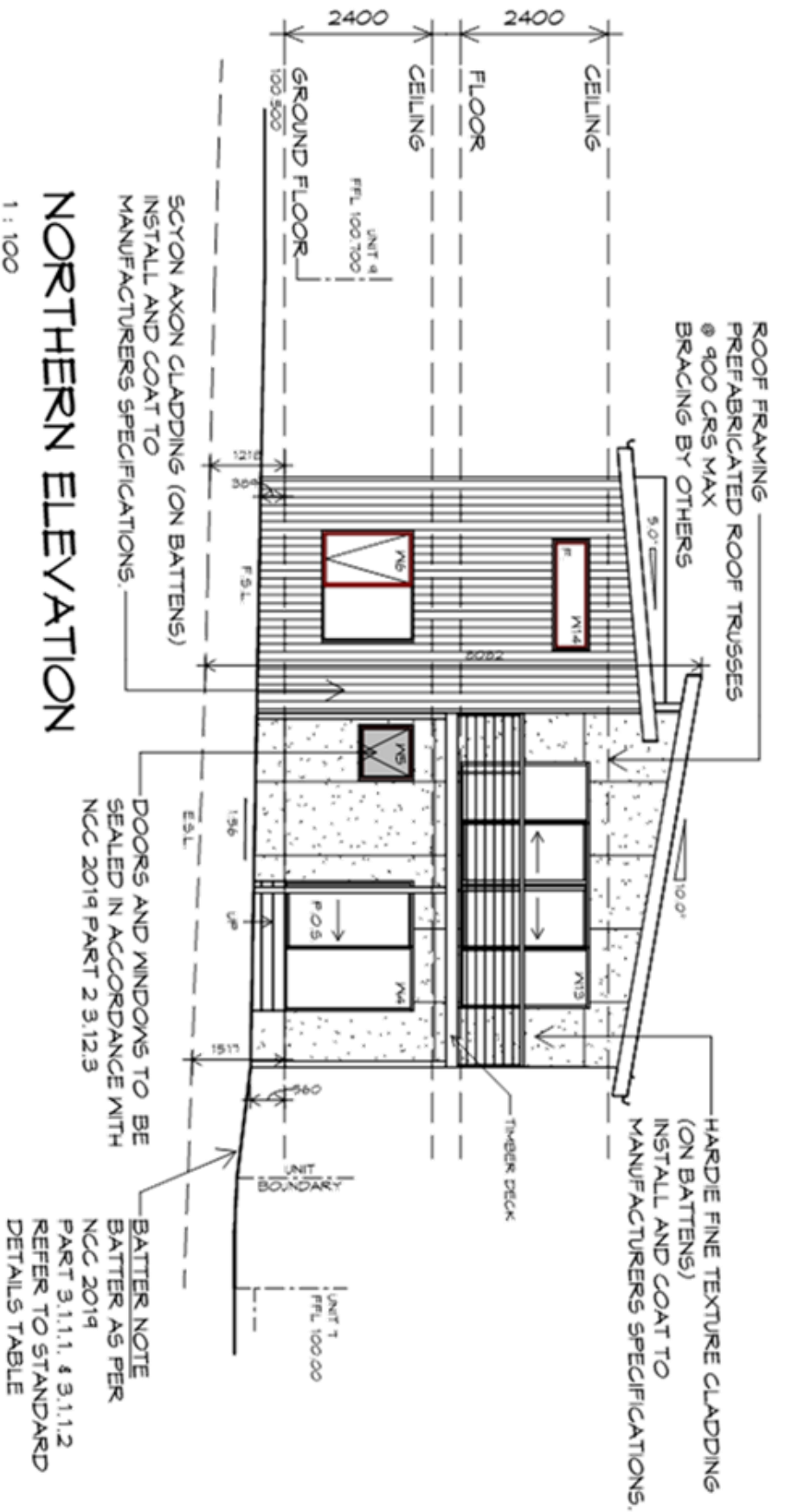
Project/Drawing no:
PD21120 -U8-02

Revision:
05

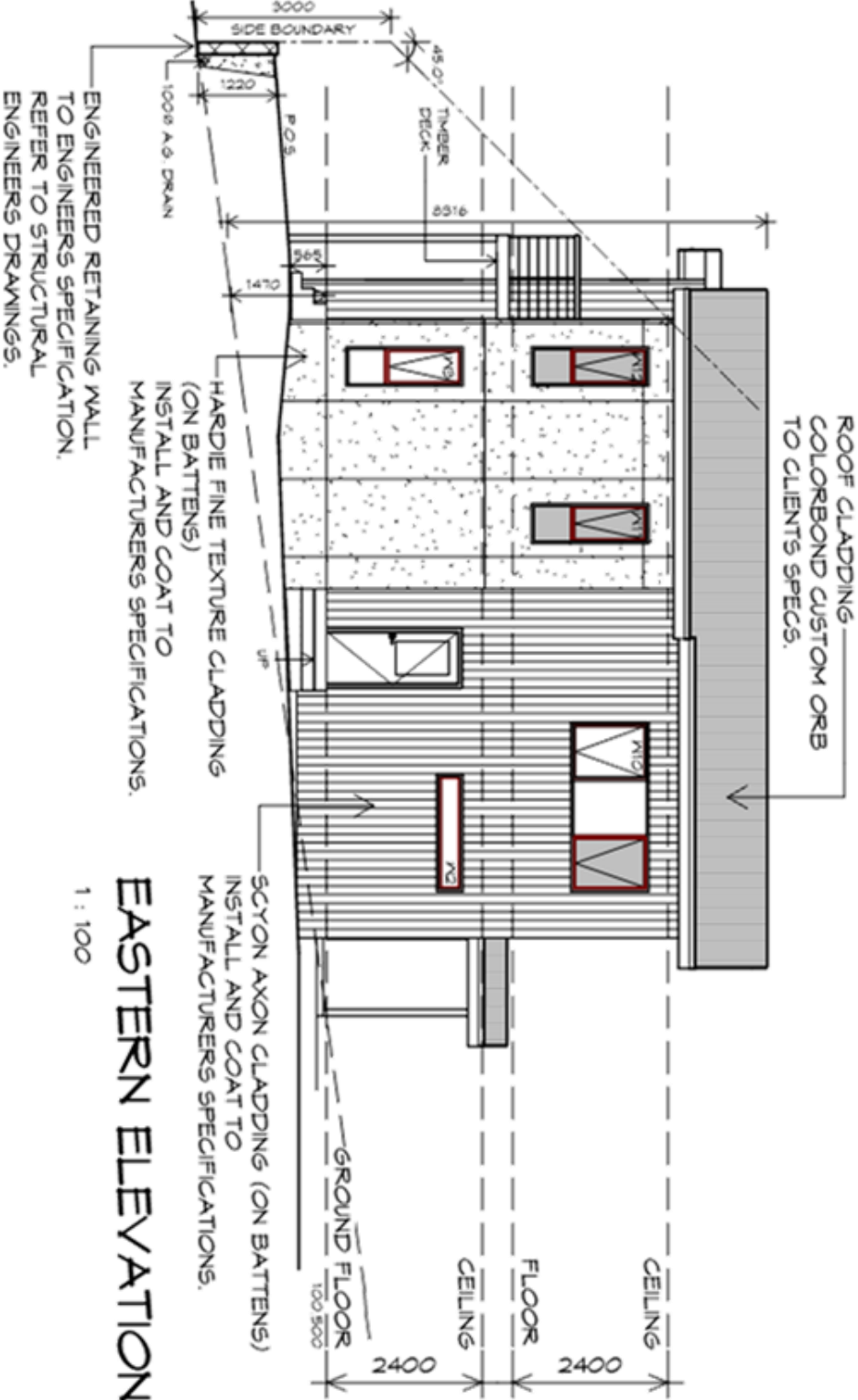
Prime Design

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INITIALS



NORTHERN ELEVATION
1 : 100



EASTERN ELEVATION
1 : 100

PLANNING SERVICES
PLAN-23-307
APPLICATION NO
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PLANNING
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ELEVATIONS

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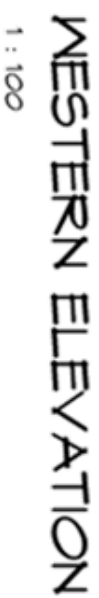
Date:
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Scale:
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Project/Drawing no:
PD21120 -U8-03
Revision:
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BUILDING DESIGNERS



1 : 100

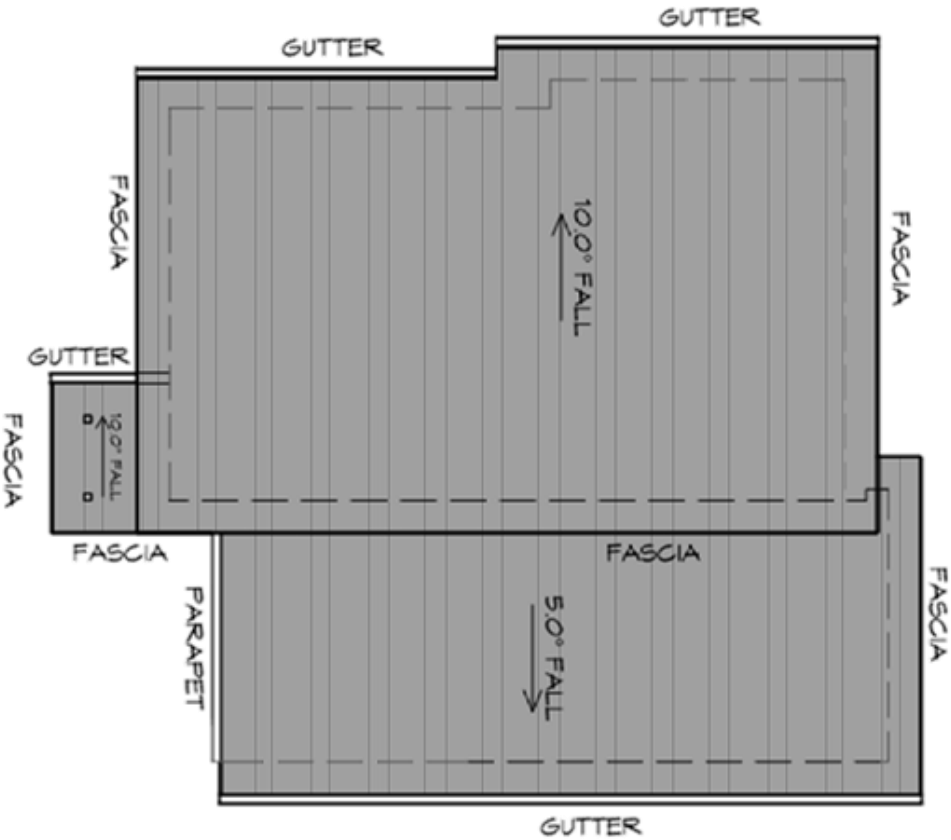


**Prime
Design**

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Project/Drawing no: PD21120 -U8-04

Revision: 05



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

Prime
Design

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ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
NCC 2019 PART 3.5.2.4.
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
Ø 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.S
REQUIRED ARE TO BE IN ACCORDANCE
WITH NCC 2019 PART 3.5.2.5 REQUIREMENTS.
SPACING BETWEEN DOWPIPES MUST NOT
BE MORE THAN 12m & WITHIN 1.2m FROM A
VALLEY GUTTER.

METAL ROOF
METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH NCC 2019 PART 3.5.1.3.
REFER TO TABLE 3.5.3.1a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 3.5.1.1 FOR ACCEPTABILITY OF
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CAPPIINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF PENETRATION FLASHING DETAILS.
REFER TO NCC 2019 PART 3.5.1.5-3.5.1.7
ROOF SHEETING MUST OVERHANG MIN 35mm AS PER
NCC 2019 PART 3.5.1.8

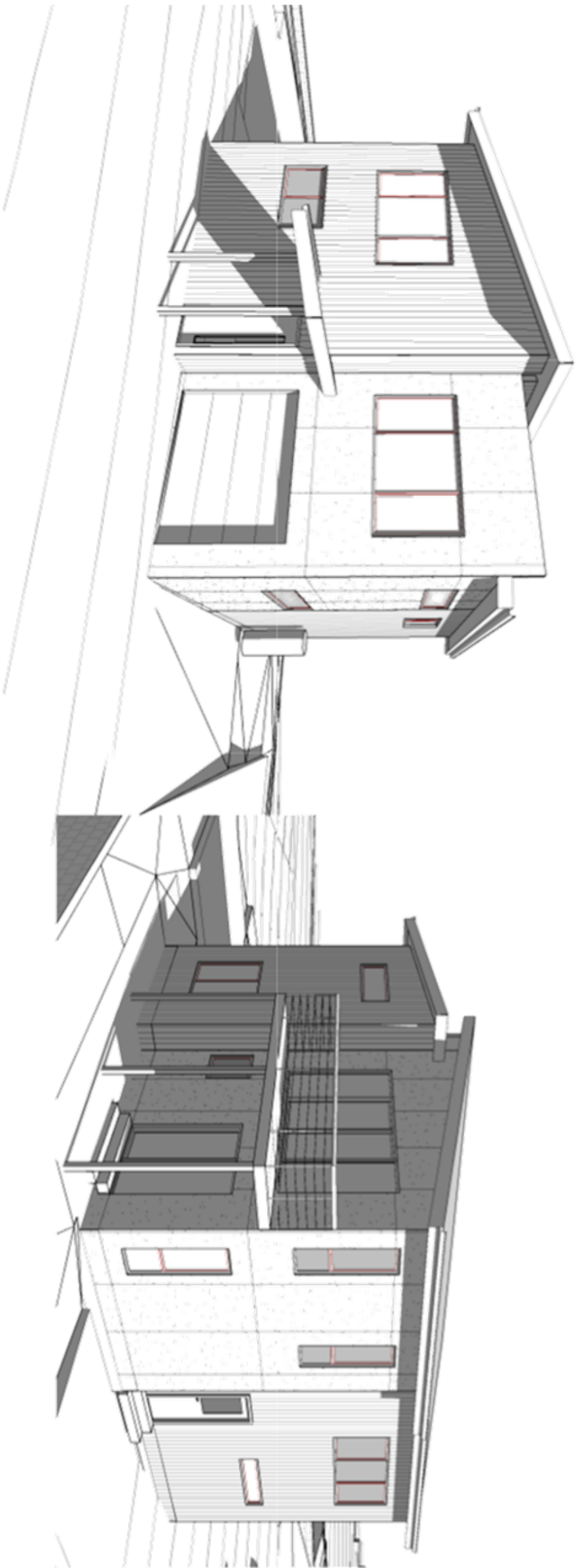
Project: PROPOSED NEW UNIT DEVELOPMENT 3A AQUILA STREET, GLENORCHY Client name: KOOYONG DEVELOPMENT UNIT TRUST	Drawing: ROOF PLAN
Drafted by: A.G.C.	Approved by: Approver
15.01.2024	1 : 100
Project/Drawing no: PD21120 -U8-05	Revision: 05

GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No
PLN-23-307
DATE RECEIVED
18/03/2024

PLANNING
NOTE: DO NOT SCALE OFF DRAWINGS

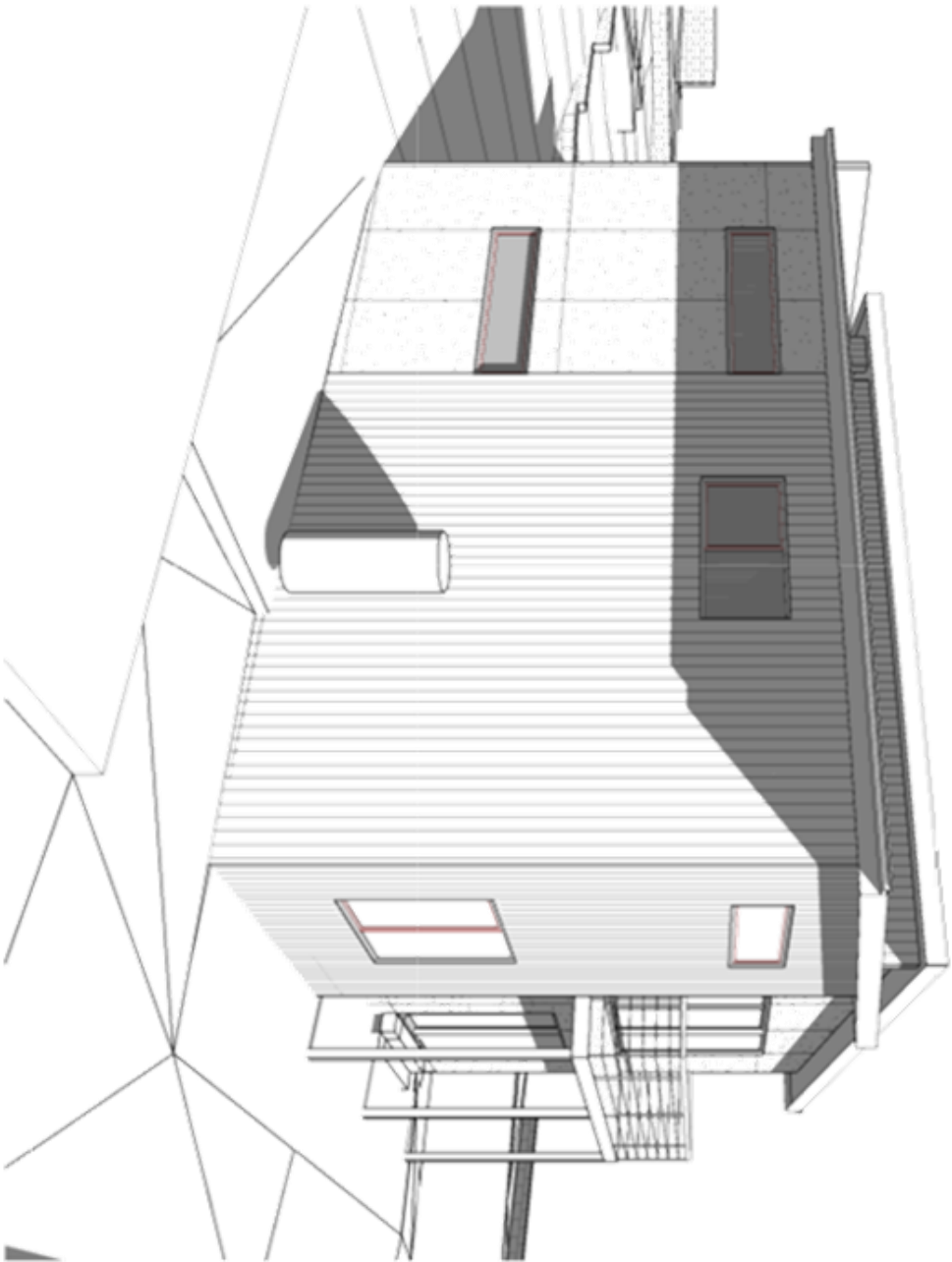
Attachments - Glenorchy Planning Authority - 13 May 2024

INITIALS



PLANNING
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GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-23-307
DATE RECEIVED 18/03/2024



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Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
PERSPECTIVES

Drafted by:
A.G.C.

Approved by:
Approver

Date:
15.01.2024

Scale:

Project/Drawing no:
PD21120 -U8-06

Revision:
05

bdoo
BUILDING DESIGNERS

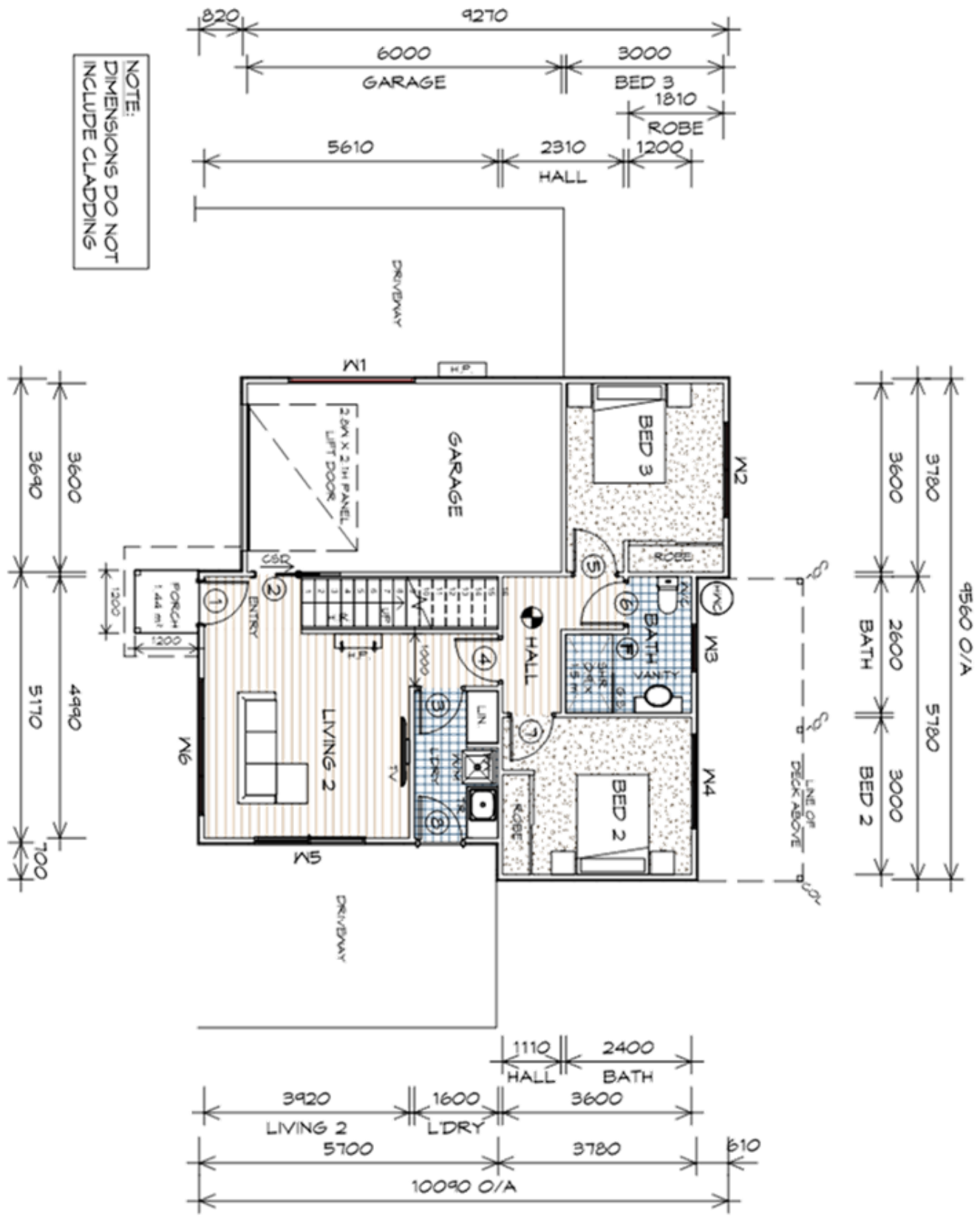
GROUND FLOOR PLAN

1 : 100

NOTE:
FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

FIRST FLOOR AREA	86.52	m2	(9.30	SQUARES)
DECK AREA	11.96	m2	(1.29	SQUARES)
GROUND FLOOR AREA	63.93	m2	(6.87	SQUARES)
GARAGE AREA	23.25	m2	(2.50	SQUARES)
PORCH AREA	1.51	m2	(0.16	SQUARES)
TOTAL AREA	187.18		20.13	

UNIT 9





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LEGEND

- Ⓕ EXHAUST FAN-VENT TO OUTSIDE AIR.
- Ⓖ 240V SMOKE ALARM
- ⒸⒹ CAVITY SLIDING DOOR
- Ⓐ/Ⓓ SLIDING DOOR
- Ⓕ/Ⓖ FLOOR WASTE
- Ⓐ/Ⓓ SQUARE STOP
- Ⓕ/Ⓖ HAND RAIL
- Ⓒ/Ⓓ COLUMN
- Ⓐ/Ⓓ GLASS SCREEN
- Ⓕ/Ⓖ RANGE HOOD, VENT TO OUTSIDE AIR
- Ⓕ/Ⓖ HOT WATER CYLINDER

GROUND FLOOR DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	CAVITY SLIDING DOOR	
3	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	EXTERNAL HALF GLASS	

GROUND FLOOR WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	600	2410	FIXED WINDOW	OPAQUE
W2	1500	1810	AWNING WINDOW	
W3	400	910	AWNING WINDOW	OPAQUE
W4	1500	1810	AWNING WINDOW	
W5	2100	2110	SLIDING DOOR	
W6	1500	2610	AWNING WINDOW	

STAIRS

NO RISERS	RISER HT	TREAD DEPTH
16	179	250

GOING NON SLIP TO COMPLY NCC 2019

PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

PLANNING SERVICES

APPLICATION No PLN-23-307

DATE RECEIVED 18/03/2024

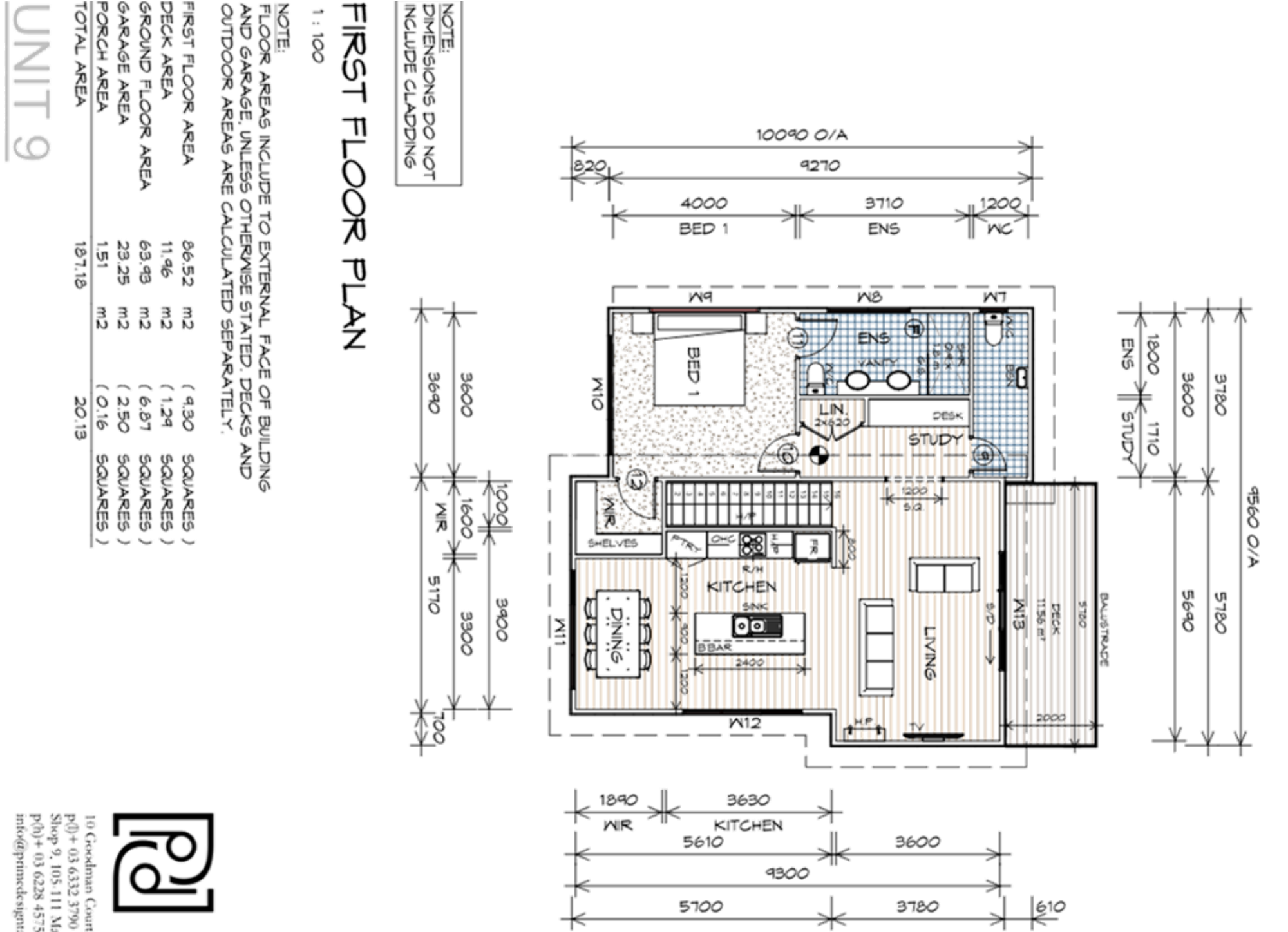
PROJECT: PROPOSED NEW UNIT DEVELOPMENT 3A AQUILA STREET, GLENORCHY

Client name: KOOYONG DEVELOPMENT UNIT TRUST

Drafted by: A.G.C. Approved by: Approver

Date: 08.01.2024 Scale: 1 : 100

Project/Drawing no: PD21120 -U9-01 Revision: 05



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Design

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PLANNING SERVICES
PLN-23-307
APPLICATION No
DATE RECEIVED 18/03/2024

LEGEND

Ⓟ EXHAUST FAN-VENT TO
OUTSIDE AIR.

Ⓢ 240V SMOKE ALARM

Ⓢ CAVITY SLIDING DOOR

Ⓢ/D SLIDING DOOR

Ⓢ FLOOR WASTE

Ⓢ SQUARE STOP

Ⓢ HAND RAIL

Ⓢ COLUMN

Ⓢ GLASS SCREEN

Ⓢ RANGE HOOD,
VENT TO OUTSIDE AIR

Ⓢ/C HOT WATER CYLINDER

STAIRS

NO RISERS

179

RISER HT

250

TREAD
DEPTH

GOING NON SLIP TO COMPLY NCC 2019

FIRST FLOOR DOOR SCHEDULE

MARK	WIDTH	TYPE	REMARKS
9	720	INTERNAL TIMBER DOOR	
10	820	INTERNAL TIMBER DOOR	
11	820	INTERNAL TIMBER DOOR	
12	820	INTERNAL TIMBER DOOR	
13	1240	2/620 ROBE DOORS	

FIRST FLOOR WINDOW SCHEDULE

MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	900	610	AWNING WINDOW	OPAQUE
W2	900	1810	AWNING WINDOW	OPAQUE
W4	600	2410	FIXED WINDOW	OPAQUE
W10	1500	2610	AWNING WINDOW	
W11	1500	2610	AWNING WINDOW	
W12	1200	2610	AWNING WINDOW	
W13	2100	2610	SLIDING DOOR	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
WITH FLY SCREENS TO SUIT TBC BAL RATING.
ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE
PRIOR TO ORDERING

Project:
PROPOSED NEW UNIT
DEVELOPMENT
3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
FIRST FLOOR PLAN

Date:
08.01.2024

Scale:
1 : 100

Project/Drawing no:
PD21120 -U9-02

Revision:
05

Drafted by:
A.G.C.

Approved by:
Approver

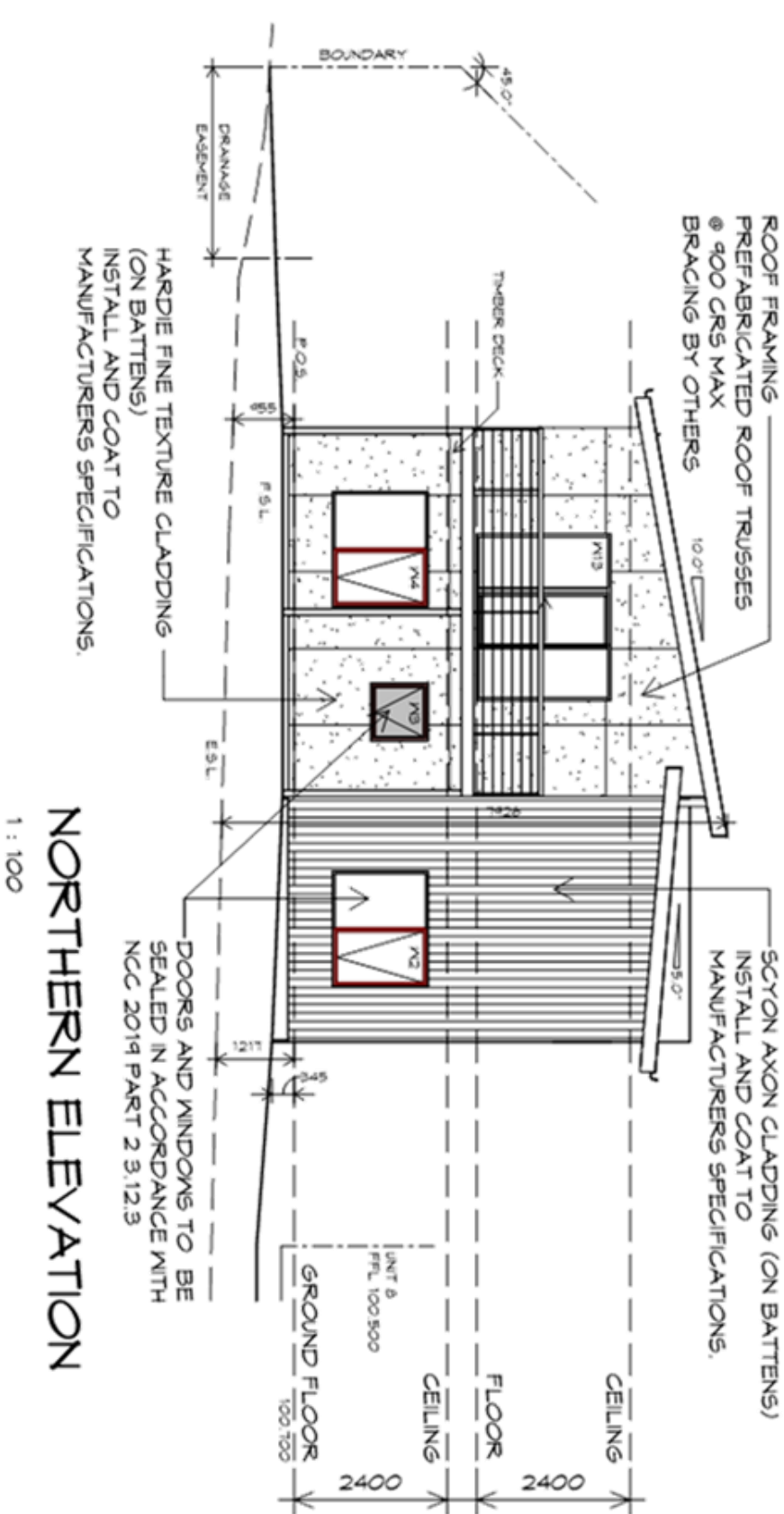
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BULCINO DESIGNERS

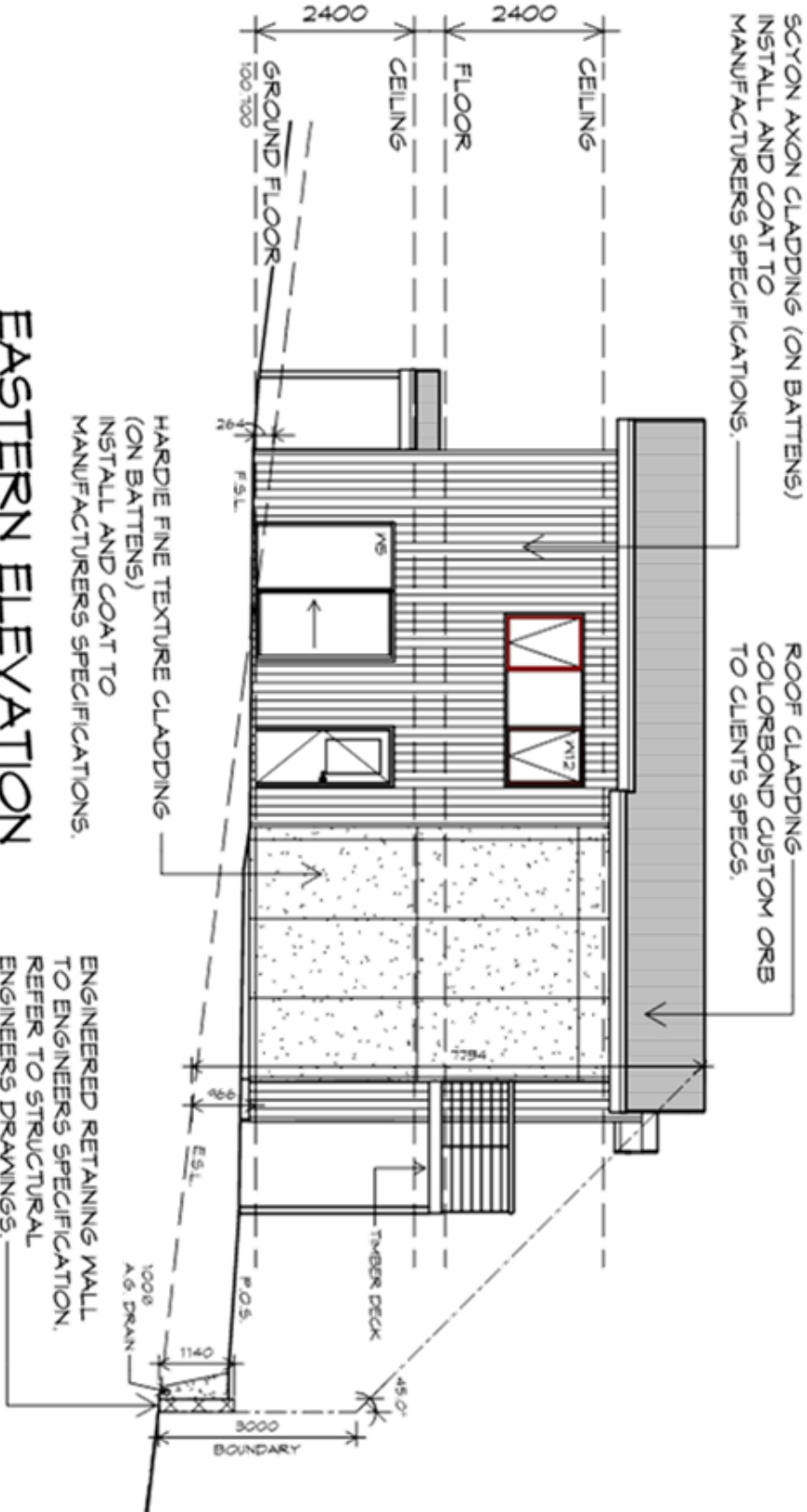
PLANNING

NOTE: DO NOT SCALE OFF DRAWINGS

UNIT 9



NORTHERN ELEVATION
1 : 100



EASTERN ELEVATION
1 : 100

PLANNING SERVICES
APPLICATION No PLN-23-307
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PLANNING
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Project:
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3A AQUILA STREET,
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Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
ELEVATIONS

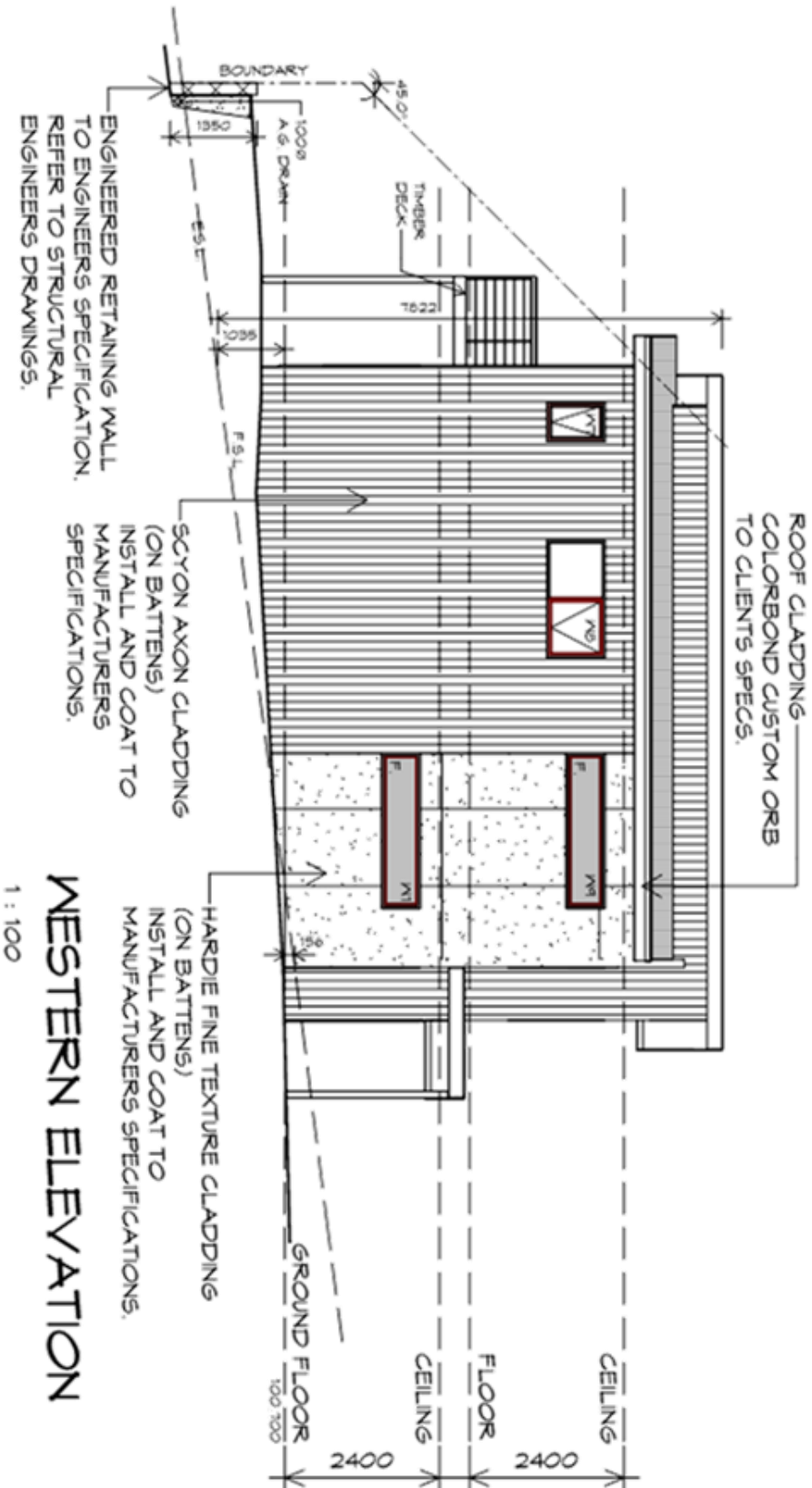
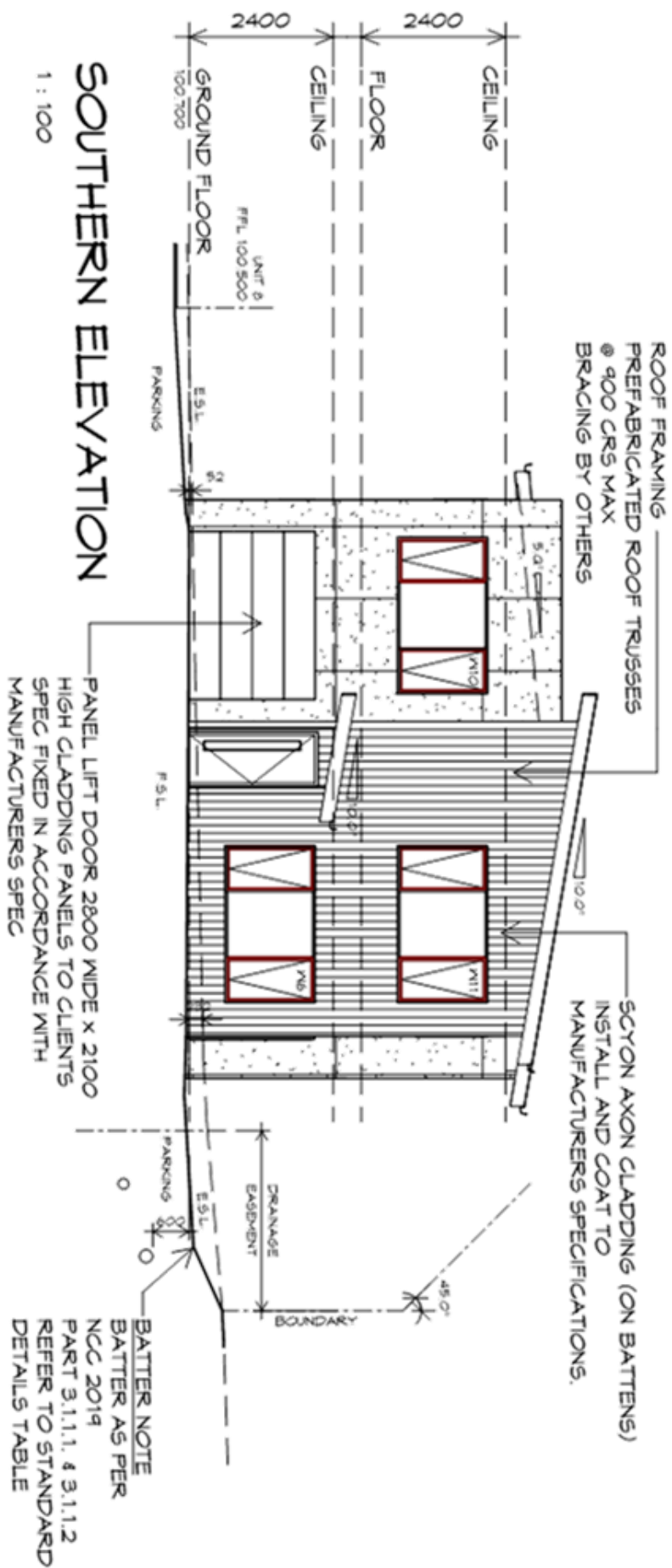
Drafted by:
A.G.C.
Approved by:
Approver

Date:
08.01.2024
Scale:
1 : 100

Project/Drawing no:
PD21120 -U9-03
Revision:
05

bdoo
BUILDING DESIGNERS

INIT 9



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-23-307
DATE RECEIVED 18/03/2024

PLANNING
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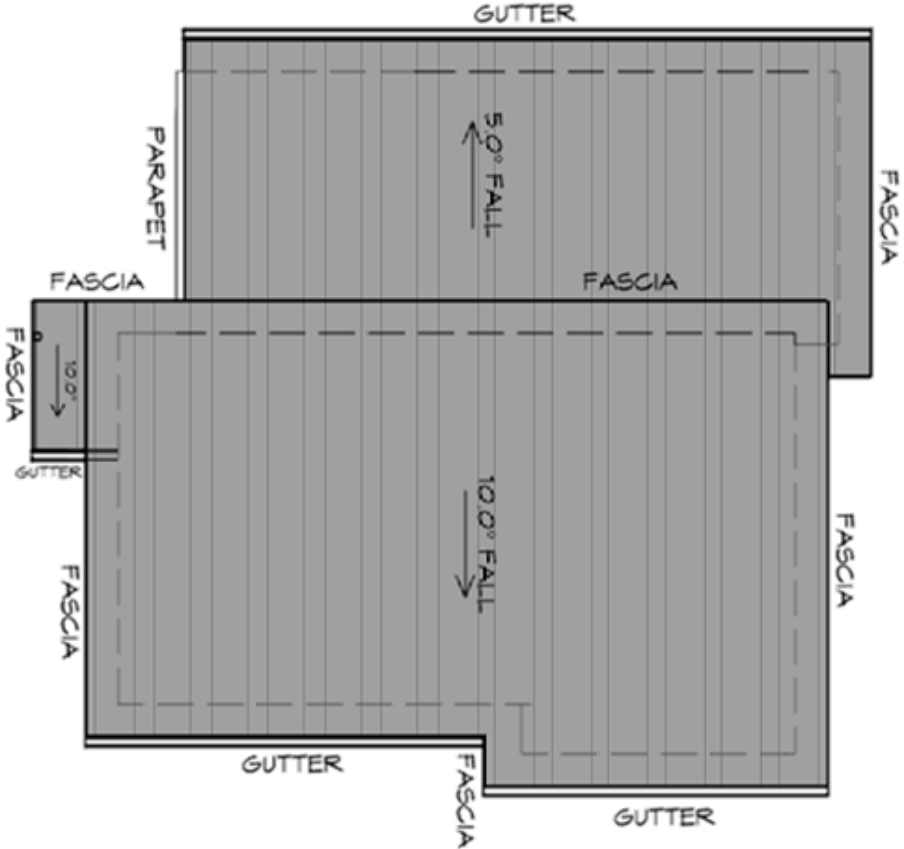
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Project:
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TRUST

Drawing:
ELEVATIONS

Drafted by: A.G.C.	Approved by: Approver
Date: 08.01.2024	Scale: 1 : 100
Project/Drawing no: PD21120 -U9-04	Revision: 05

UNIT 9



ROOF PLAN

1 : 100

ADDITIONAL ROOF LOAD
NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR.
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
NCC 2019 PART 3.5.2.4.
WITH FALL NO LESS THAN
1:100 FOR BOX GUTTERS
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

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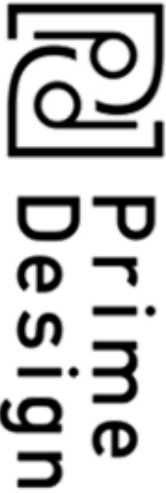
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PLANNING

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PLANNING SERVICES

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3A AQUILA STREET,
GLENORCHY
Client name:
KOOYONG DEVELOPMENT UNIT
TRUST

Drawing:
ROOF PLAN

Date: 08.01.2024 Scale: 1 : 100

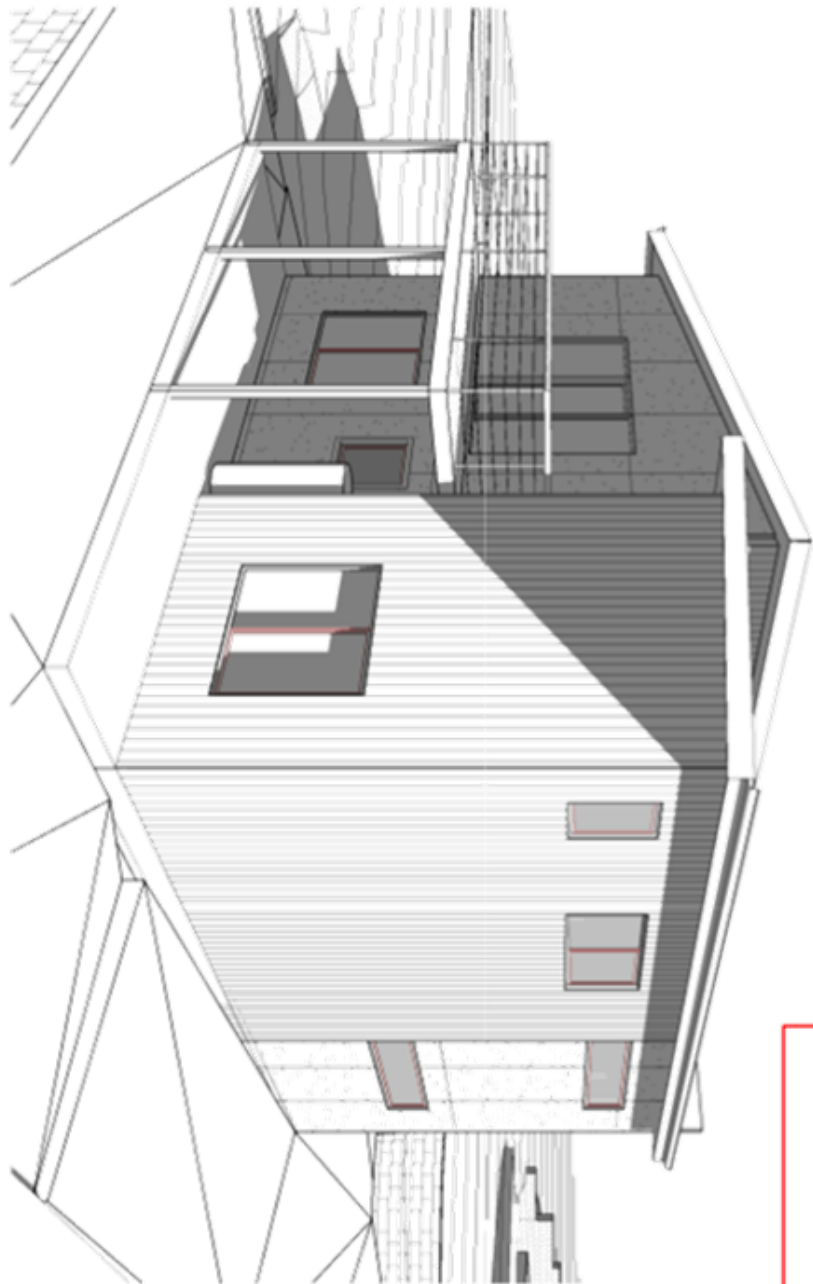
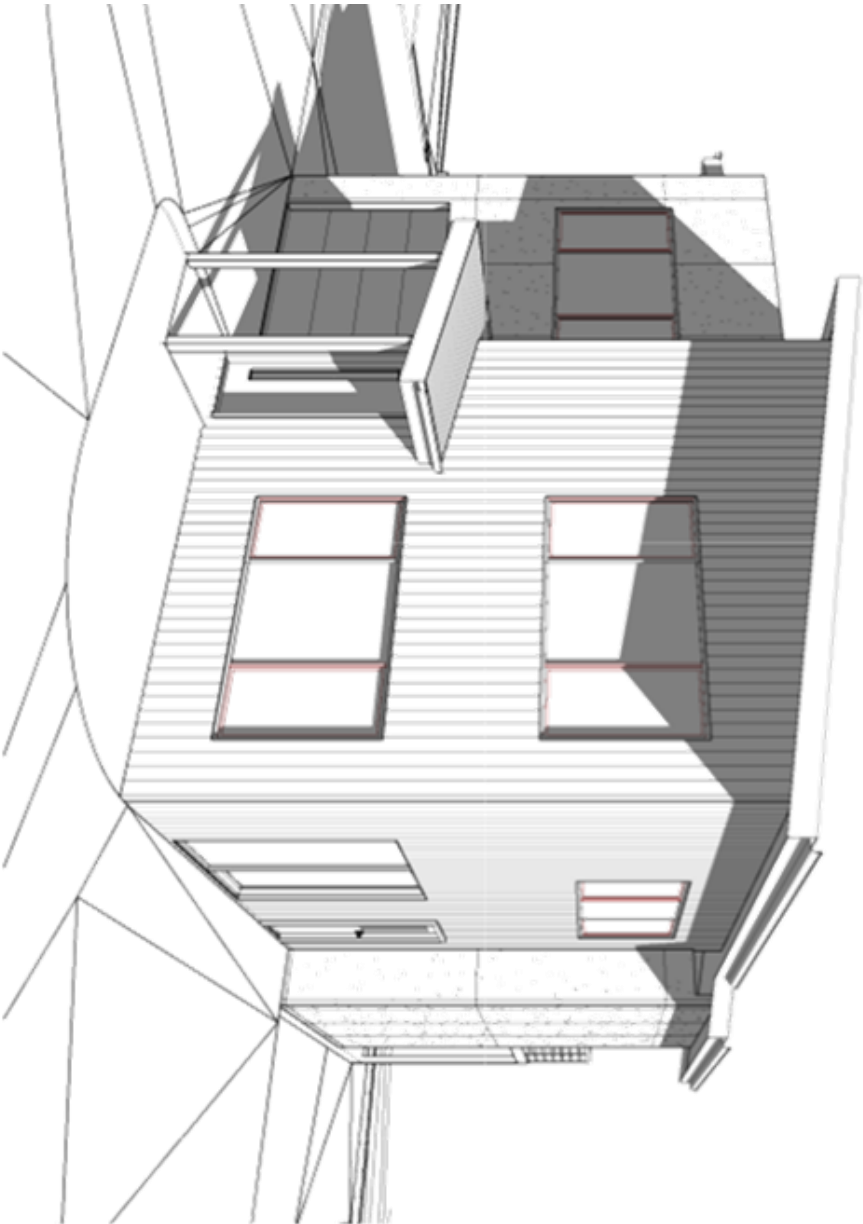


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A.G.C.
Approved by:
Approver



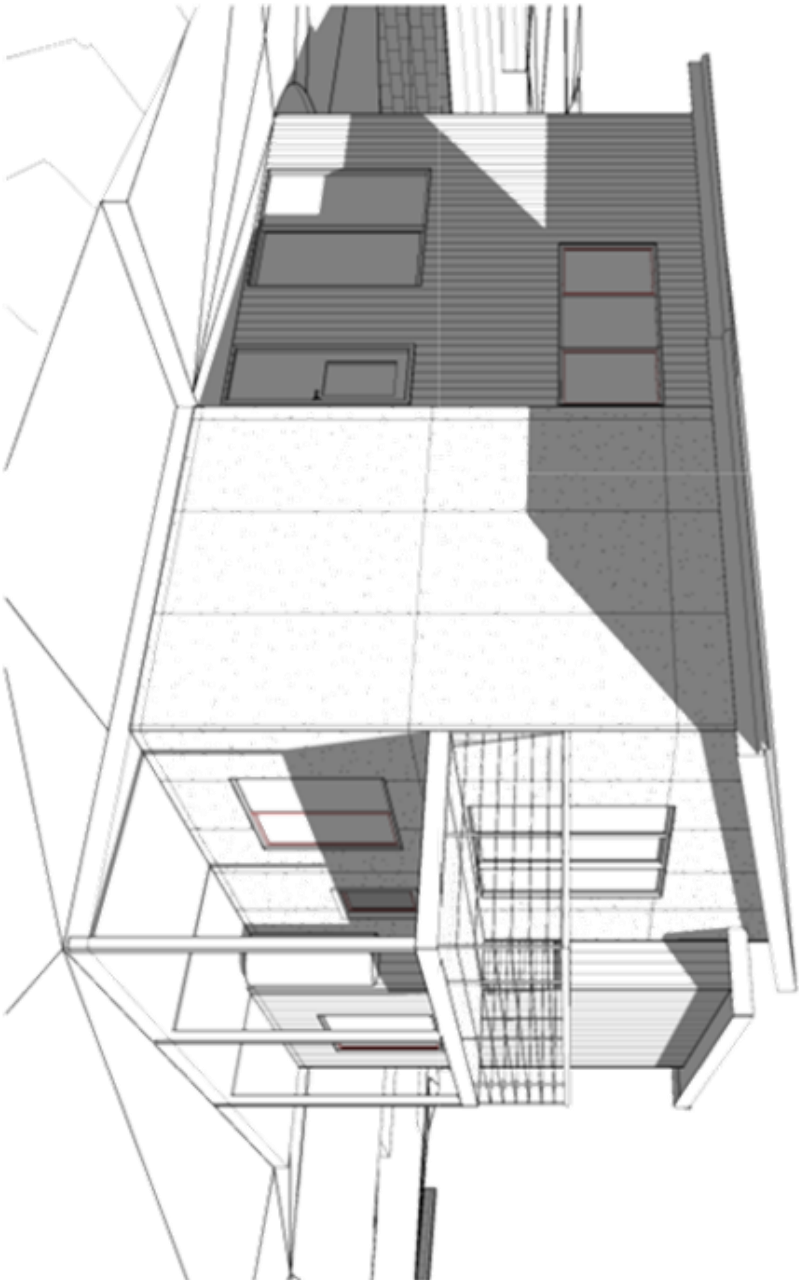
Project/Drawing no:
PD21120 -U9-05

Revision:
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PLANNING
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PLAN-23-307
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Client name:
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TRUST

Drawing:
PERSPECTIVES

Drafted by: A.G.C.
Approved by: Approver

Date: 08.01.2024
Scale:

Project/Drawing no: PD21120 -U9-06
Revision: 05

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BUILDING DESIGNERS

INIT 9



Amended Submission to Planning Authority Notice

Council Planning Permit No.	PLN-23-307	Council notice date	20/11/2023
TasWater details			
TasWater Reference No.	TWDA 2023/01607-GCC	Date of response	01/12/2023
		Amendment date	09/02/2024
TasWater Contact	Phil Papps	Phone No.	0474 931 272
Response issued to			
Council name	GLENORCHY CITY COUNCIL		
Contact details	gccmail@gcc.tas.gov.au		
Development details			
Address	3A AQUILA ST, GLENORCHY	Property ID (PID)	2753102
Description of development	Multiple Dwellings x 9		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Prime Design	Site Plan / PD21120-01	08	15/01/2024
rare	Civil Plans / C503	1	20/12/2023
rare	Civil Plans / C601	0	22/09/2023
Conditions			
Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:			
CONNECTIONS, METERING & BACKFLOW			
1. A suitably sized water supply with metered connections and sewerage system and connections to each lot of the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.			
2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections to existing mains must be carried out by TasWater at the developer's cost.			
3. Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.			
ASSET CREATION & INFRASTRUCTURE WORKS			
4. The developer must design and construct an extension to TasWater's sewerage network to TasWater's satisfaction which is required to service the proposed development.			
<i>Advice: In accordance with TasWater's 'Developer Charges Policy' for developments located within Serviced Land where insufficient capacity is available within an existing system, the developer pays the costs of Extension, including connection, to that system to the level of capacity required to service the development.</i>			
5. Prior to the issue of TasWater's Engineering Design Approval the applicant must submit written consent from adjoining landowners for works to be undertaken upon their land.			
6. Plans submitted with the application for Engineering Design Approval must, to the satisfaction of			



TasWater show, all existing, redundant and/or proposed property services and mains.

7. Prior to applying for a Permit to Construct the new infrastructure the developer must obtain from TasWater Engineering Design Approval for new TasWater infrastructure. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water and sewerage to TasWater's satisfaction.
8. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater's satisfaction.
9. In addition to any other conditions in this permit, all works must be constructed under the supervision of a suitably qualified person in accordance with TasWater's requirements.
10. Prior to the issue of a Certificate of Water and sewerage Compliance (Building and/or Plumbing) all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure required to service the development, are to be completed generally as shown on, and in accordance with, the plans listed in the schedule of drawings/documents, and are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.
11. After testing, to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.
12. At practical completion of the water and sewerage works and prior to applying to TasWater for a Certificate of Water and Sewerage Compliance (Building and/or Plumbing), the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:
 - a. Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved.
 - b. A request for a joint on-site inspection with TasWater's authorised representative must be made.
 - c. Security for the twelve (12) month defects liability period to the value of 10% of the works must be lodged with TasWater. This security must be in the form of a bank guarantee.
 - d. Work As Constructed drawings and documentation must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater.

Upon TasWater issuing a Certificate of Practical Completion, the newly constructed infrastructure is deemed to have transferred to TasWater.

13. After the Certificate of Practical Completion has been issued, a 12-month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12-month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". TasWater will release any security held for the defect's liability period.
14. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.
15. Ground levels over the TasWater assets and/or easements must not be altered without the written



approval of TasWater.

DEVELOPER CHARGES

16. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$9,839.20 to TasWater for water infrastructure for 5.6 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
17. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$12,738.25 to TasWater for sewerage infrastructure for 7.25 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
18. In the event Council approves a staging plan, prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing) for each stage, the developer must pay the developer charges commensurate with the number of Equivalent Tenements in each stage, as approved by Council.

DEVELOPMENT ASSESSMENT FEES

19. The applicant or landowner as the case may be, must pay a development assessment fee of \$389.86 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

Developer Charges

For information on Developer Charges please visit the following webpage - <https://www.taswater.com.au/building-and-development/developer-charges>

Water Submetering

As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new strata developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (www.taswater.com.au) within our Sub-Metering Policy and Water Metering Guidelines.

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au