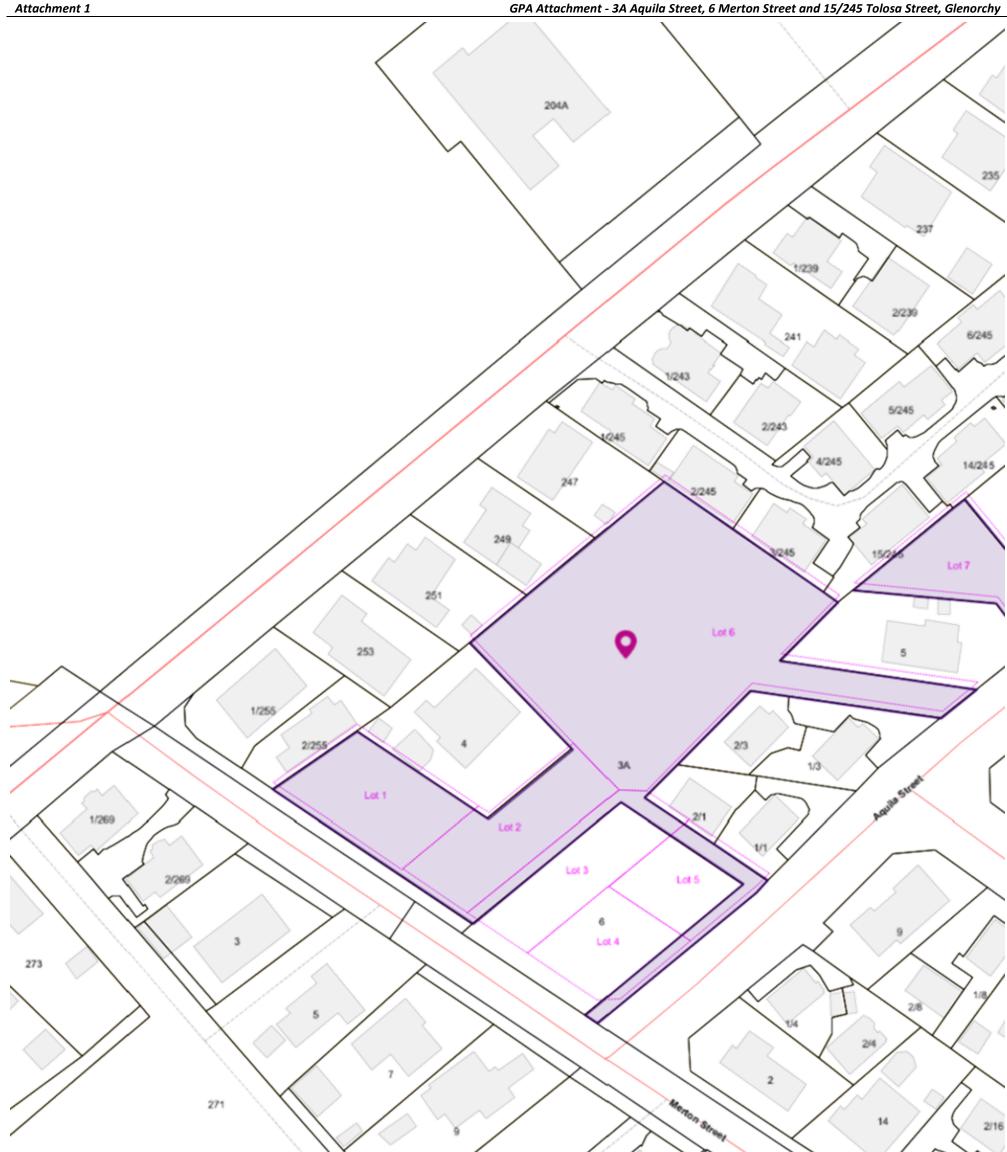
GLENORCHY PLANNING AUTHORITY ATTACHMENTS MONDAY, 13 MAY 2024



TABLE OF CONTENTS:

PLANNING

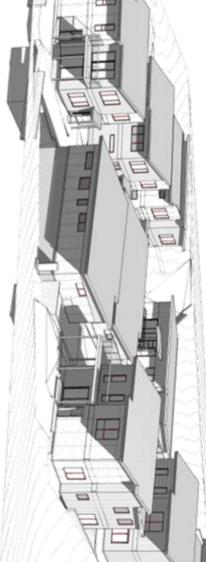
- 5. PROPOSED USE AND DEVELOPMENT MULTIPLE DWELLINGS (NINE PROPOSED) INCLUDING WORKS AND INFRASTRUCTURE -3A AQUILA STREET GLENORCHY, 15/245 TOLOSA STREET GLENORCHY, 6 MERTON STREET GLENORCHY





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JANUARY 2024





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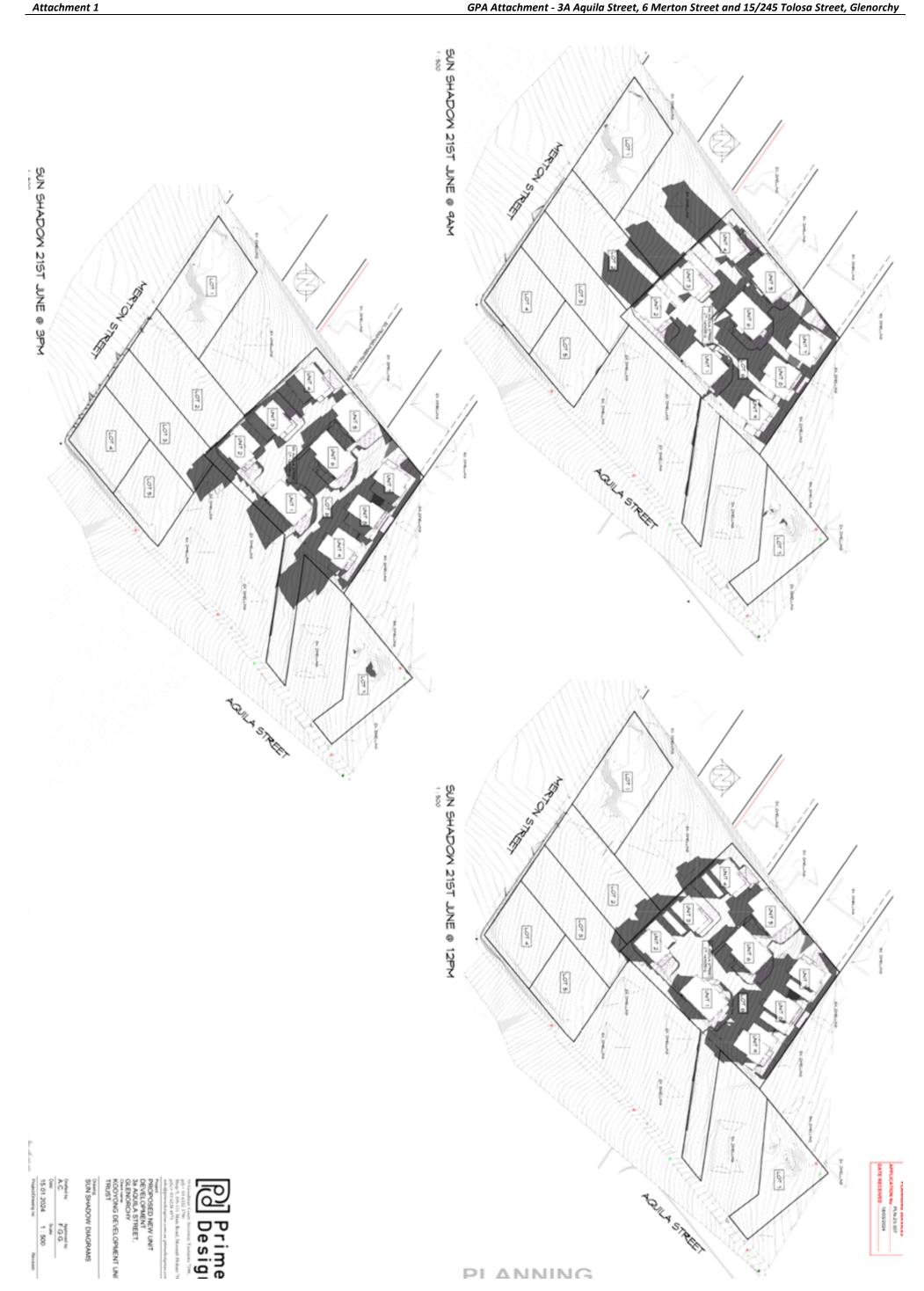


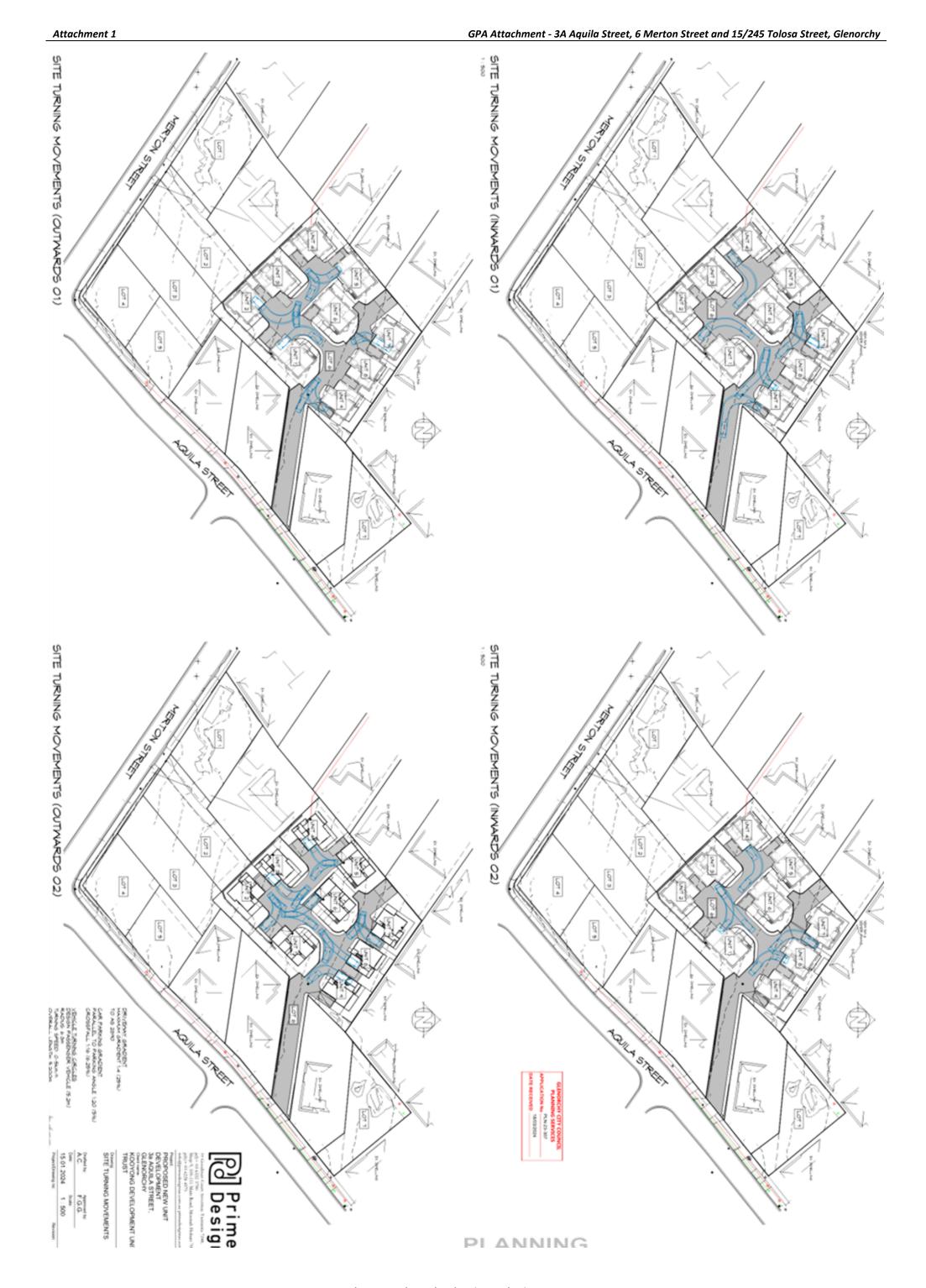


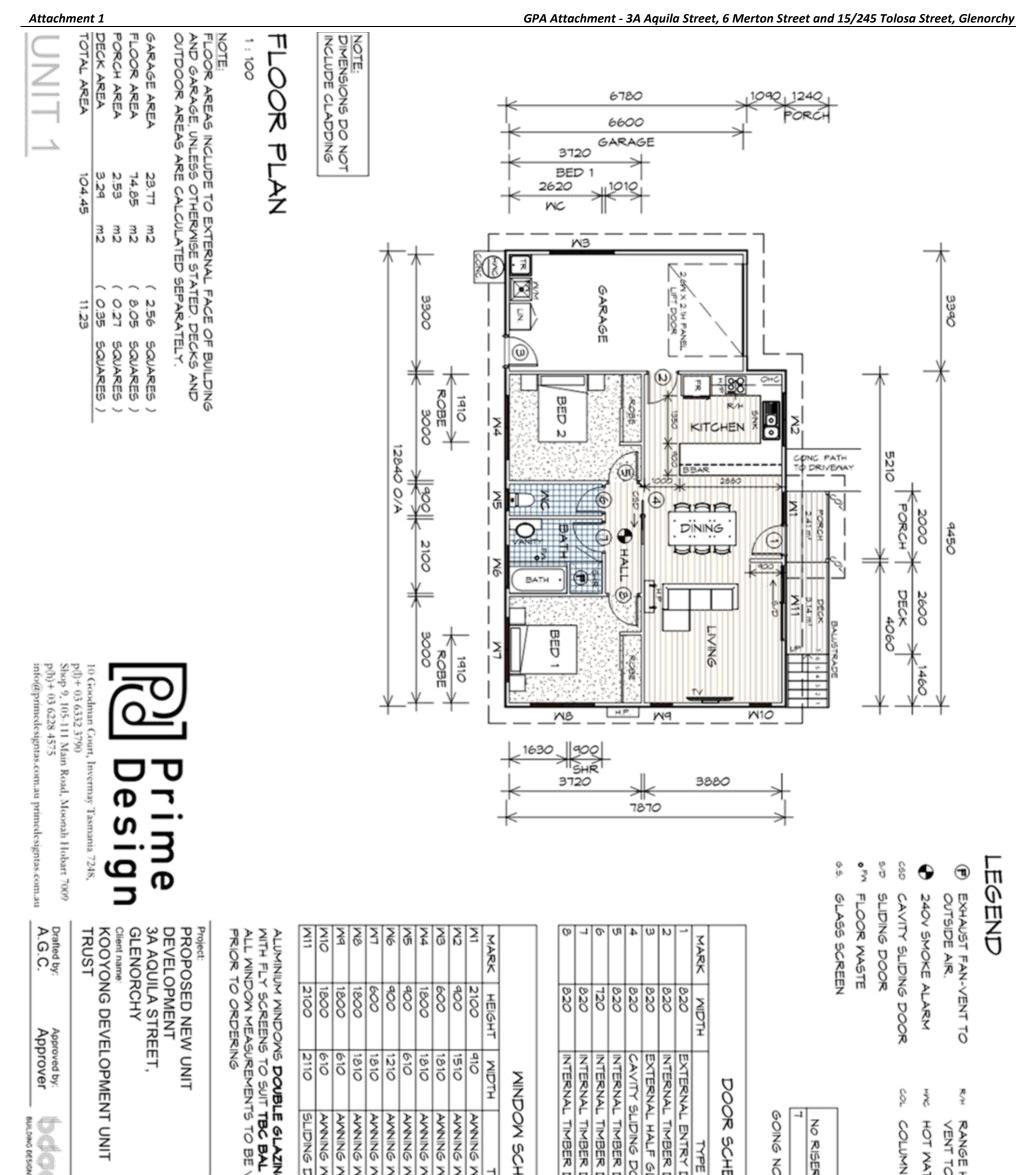


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HOOD, O OUTSIDE AIR

GLENORCHY CITY COUNCIL PLANNING SERVICES

FLOOR WASTE

GLASS SCREEN

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RISER HT

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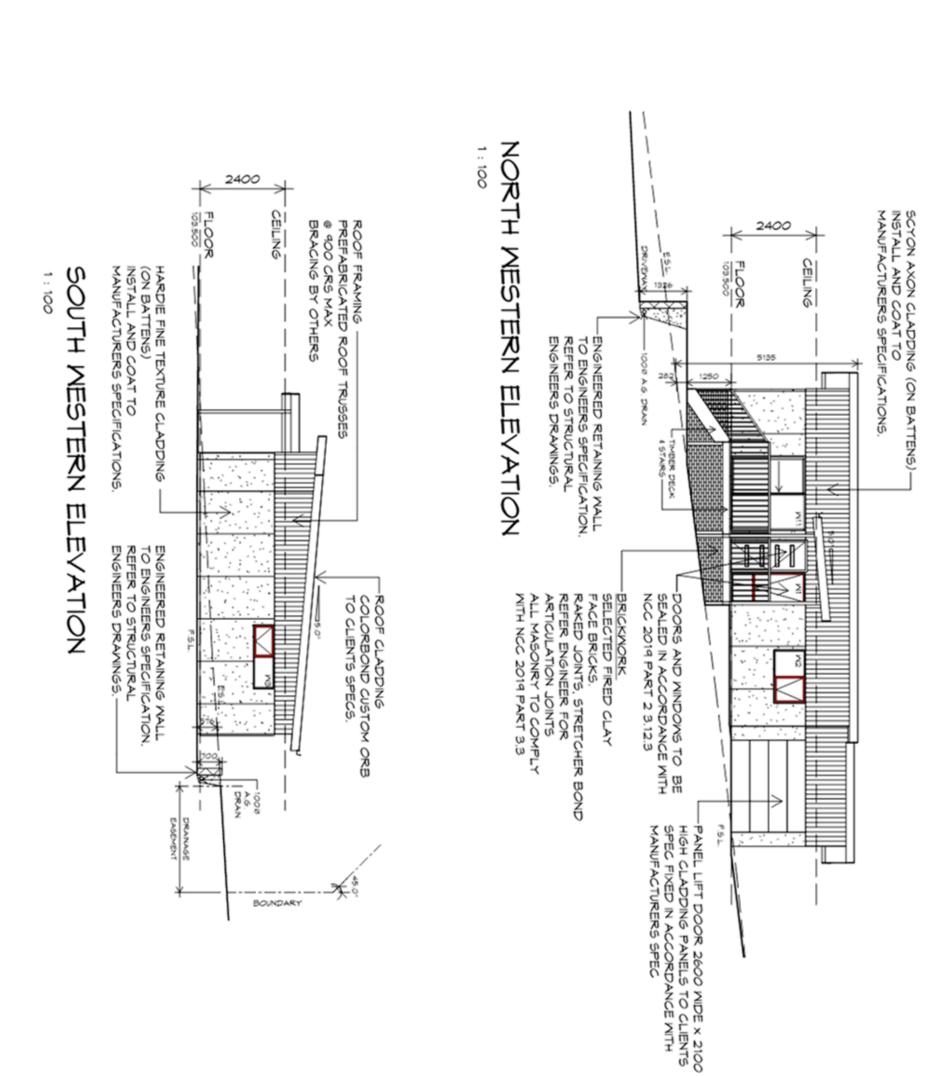
Approved by: Approver

Drawing: FLOOR PLAN

L RATING. VERIFIED ON SITE

NOTE: DO NOT SCALE OFF DRAWINGS

DATE RECEIVED APPLICATION No DEPTH PLN-23-307 18/03/2024



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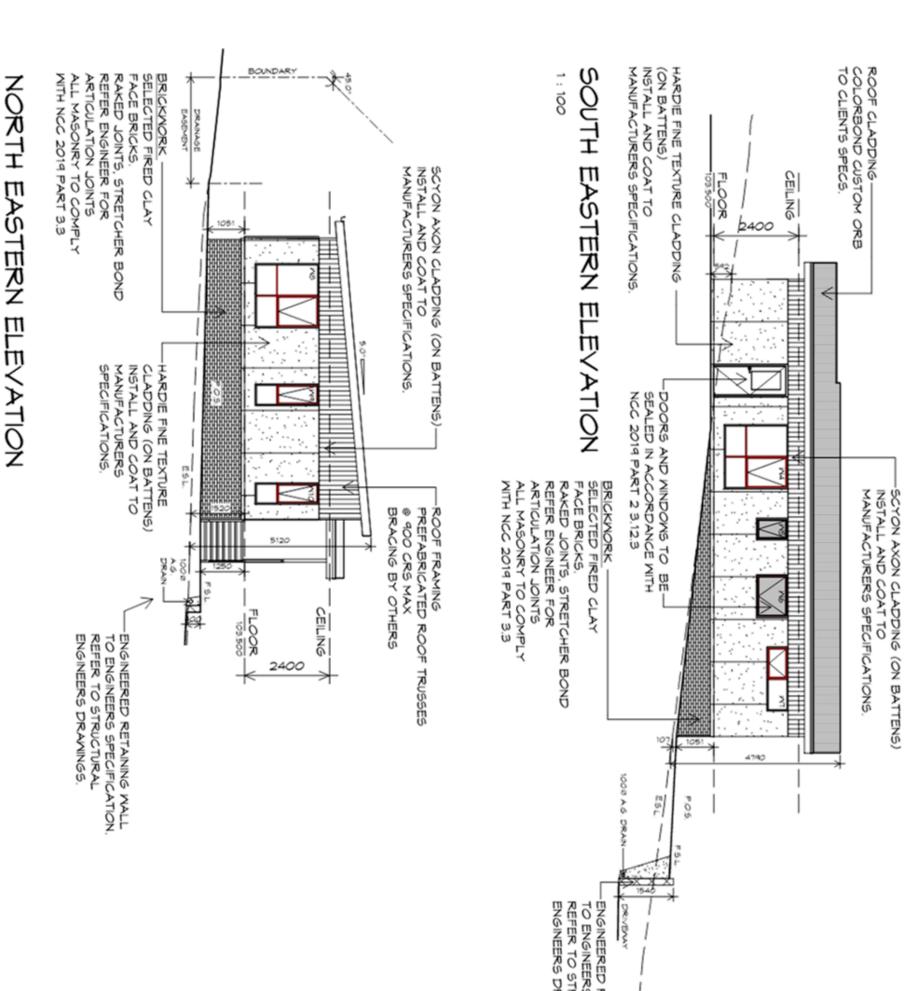
ENORCHY CITY COUNCIL

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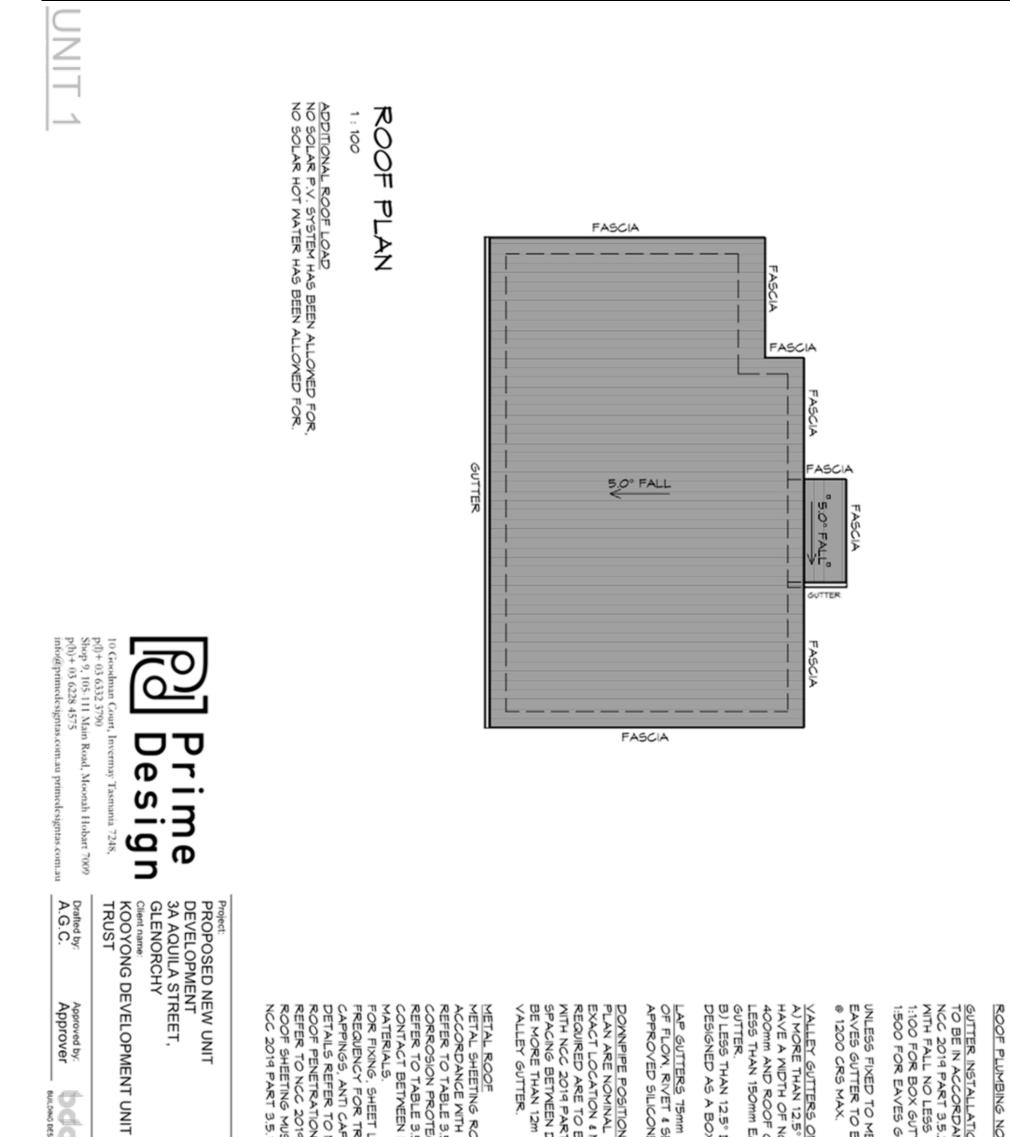
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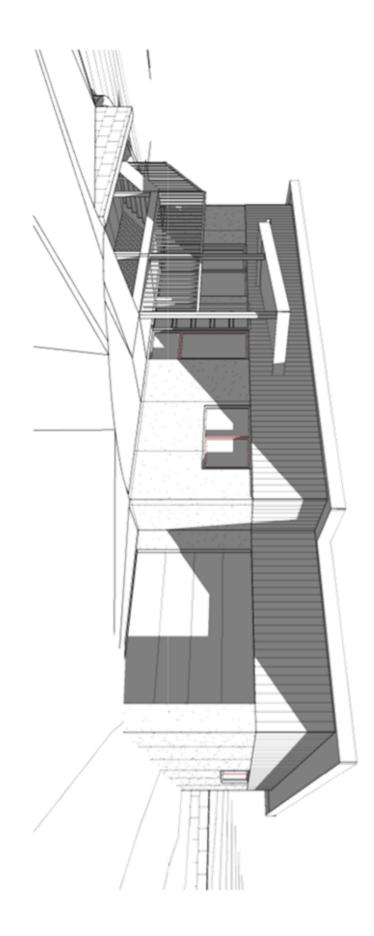


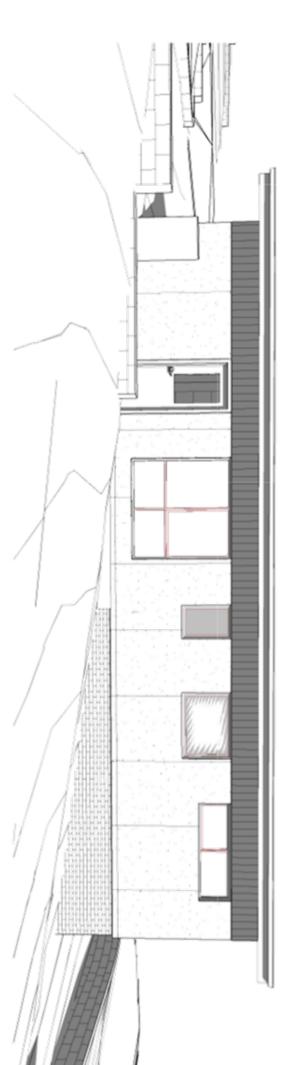
ENORCHY CITY COUNCIL PLANNING SERVICES

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	-03 Revision: 02	Scale: 1:100	Approved by: Approver		iew Unit Nt Freet, Evelopment Unit	Desig wermay Tasmania 7248 Road, Moonah Hobart com.au primedesigntas.	Pri me				No PLN-23-307
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PD21120 -U1-04 02	Scale: 1 : 100	Drawing: ROOF PLAN	ROOF TO BE INSTALLED IN TH NCC 2019 PART 3.5.1.3. 3.5.3.18 FOR ACCEPTABLE TECTION FOR SHEET ROOFING 3.5.1.1 FOR ACCEPTABILITY OF IN DIFFERENT ROOFING TRANVERSE FLASHING SAND APILLARY BREAKS, FLASHING O NCC 2019 PART 3.5.1.5-3.5.1.7 ON FLASHING DETAILS. 019 PART 3.5.1.5-3.5.1.7 MUST OVERHANG MIN 35mm AS PER 3.5.1.8	GLENORCHY CITY COUNCIL PLANNING SERVICES APPLICATION No. PLN-23-307 APPLICATION No. PLN-23-307 DATE RECEIVED 1803/2024 A. FASCIA FIXED 1803/2024 A. FASCIA FIXED 1803/2024 A. FASCIA FIXED 1803/2024 A. FASCIA FIXED 1803/2024 DATE RECEIVED 1803/2024 CHART RECEIVED 1803/2024 CHART RECEIVED 1803/2024 CHART ROOT NOT CHART ROOT NOT SEALANT. SHOWN ON THIS NACCORDANCE 3.5.2.5 REQUIREMENTS. WITHIN 1.2m FROM A





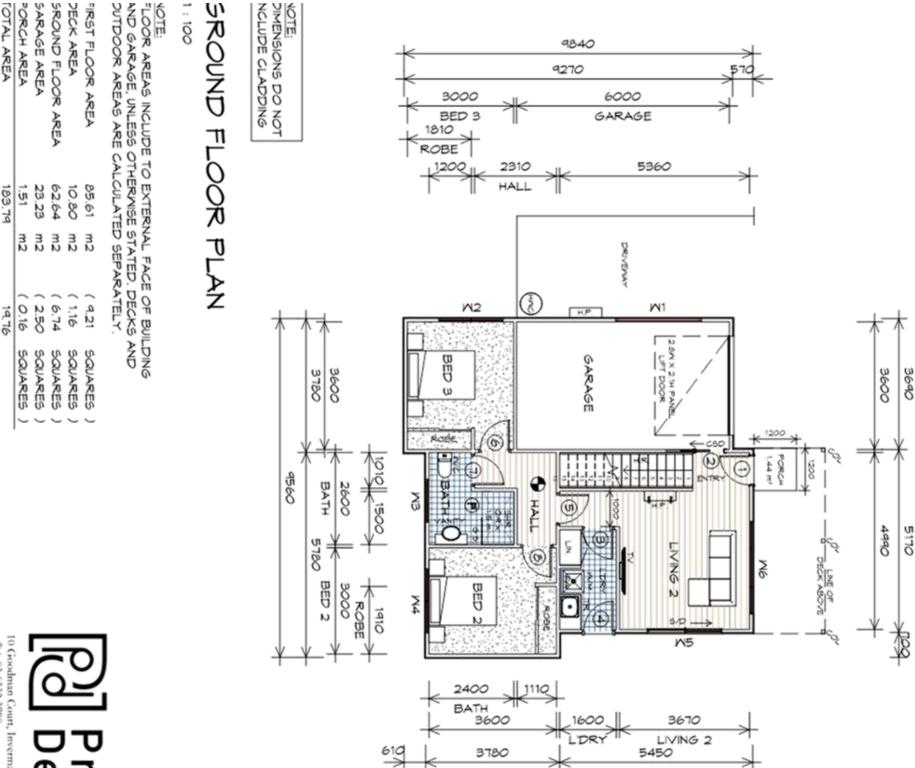
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GLENORCHY CITY COUNCIL PLANNING SERVICES APPLICATION No PLN-23-307



Drafted by: Approved by: A.G.C. Approver Date: Scale: 12/09/2023 Project/Drawing no: PD21120 -U1-05	ECTIVE	Project: PROPOSED NEW UN DEVELOPMENT 3A AQUILA STREET, GLENORCHY Client name: KOOYONG DEVELOI TRUST		
Ver Revision: 02		UNIT ET, OPMENT UNIT	mania 7248, ah Hobart 700	ANNING NOT SCALE OFF DRAWINGS

Attachment 1



-EGEND

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EXHAUST FAN-VENT TO OUTSIDE AIR. 240V SMOKE ALARM	
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240V S CAVITY SLIDING DOOR

SLIDING DOOR

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ž FLOOR WASTE

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HOT WATER CYLINDER

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RANGE HOOD, VENT TO OUTSIDE AIR

SQUARE STOP

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Approved by: Approver BUILDING DESIGN å. Ö

Drafted by: A.G.C.

nto@primedesigntas.com.au primedesigntas.com.au

p()+ 03 6332 3790 Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h)+ 03 6228 4575 Court,



Invernay Tasmania 7248,

TRUST

Client name: KOOYONG DEVELOPMENT UNIT DEVELOPMENT 3A AQUILA STREET, Project: PROPOSED NEW UNIT GLENORCHY

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SROUND FLOOR AREA 1:100 DECK AREA OTE

GPA Attachment - 3A Aquila Street, 6 Merton Street and 15/245 Tolosa Street, Glenorchy

Revision:	2	Project/Drawing no:
	1:100	12/09/2023
	Scale:	Date:

Drawing: GROUND FLOOR PLAN

VERIFIED ON SITE

RATING.

ALUMINIUM WINDOWS DOUBLE GLAZIN WITH FLY SCREENS TO SUIT TBC BAL ALL WINDOW MEASUREMENTS TO BE V

PRIOR TO ORDERING

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	SLIDING DOOR	
	ANNING WINDOW	
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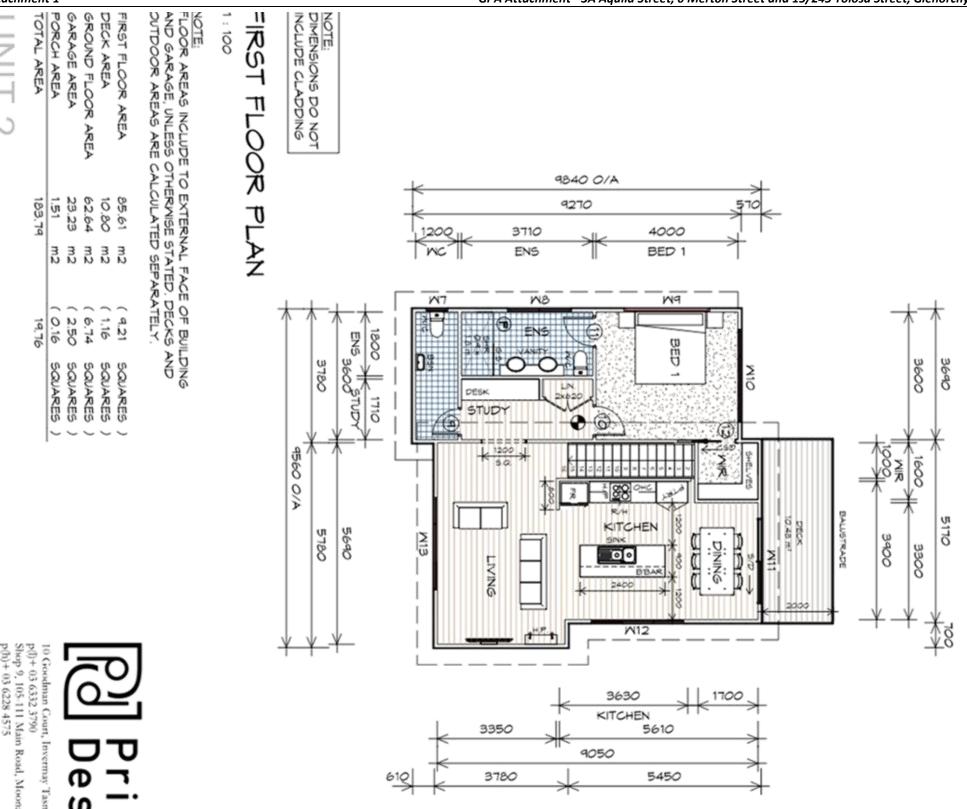
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NOTE: DO NOT SCALE OFF DRAWINGS

Attachment 1



LEGEND

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SQUARE STOP	FLOOR WASTE	SLIDING DOOR	CAVITY SLIDING DOOR	240V SMOKE ALARM	OUTSIDE AIR.	EXHAUST FAN-VENT TO	
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GPA Attachment - 3A Aquila Street, 6 Merton Street and 15/245 Tolosa Street, Glenorchy

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p(l)+ 03 6332 3790 Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h)+ 03 6228 4575

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Drafted by: A.G.C.

Approved by Approver

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PD21120 -U2-02

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Project/Drawing no: 12/09/2023

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into(a)primedesigntas.com.au primedesigntas.com.au

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	TYPE	REMARKS
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	AMNING MINDOM	OPAQUE
	FIXED WINDOW	OPAQUE
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	SLIDING DOOR	
	AWNING WINDOW	
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ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT TBC BAL RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE

PRIOR TO ORDERING

Drawing: FIRST FLOOR PLAN

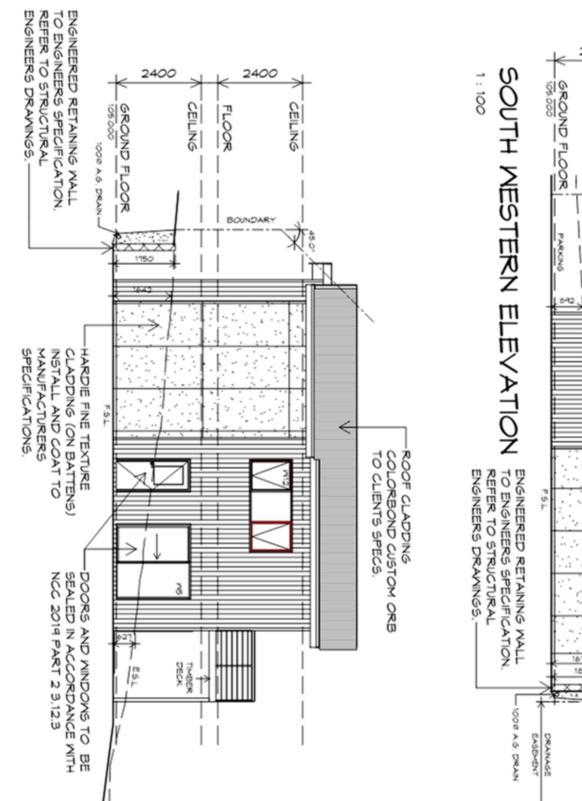
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SOUTH EASTERN ELEVATION



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CEILING

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-ROOF FRAMING PREFABRICATED ROOF TRUSSES © 900 CRS MAX BRACING BY OTHERS

DATE RECEIVED APPLICATION No

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ENORCHY CITY COUNCIL

PLN-23-307 18/03/2024

FLOOR

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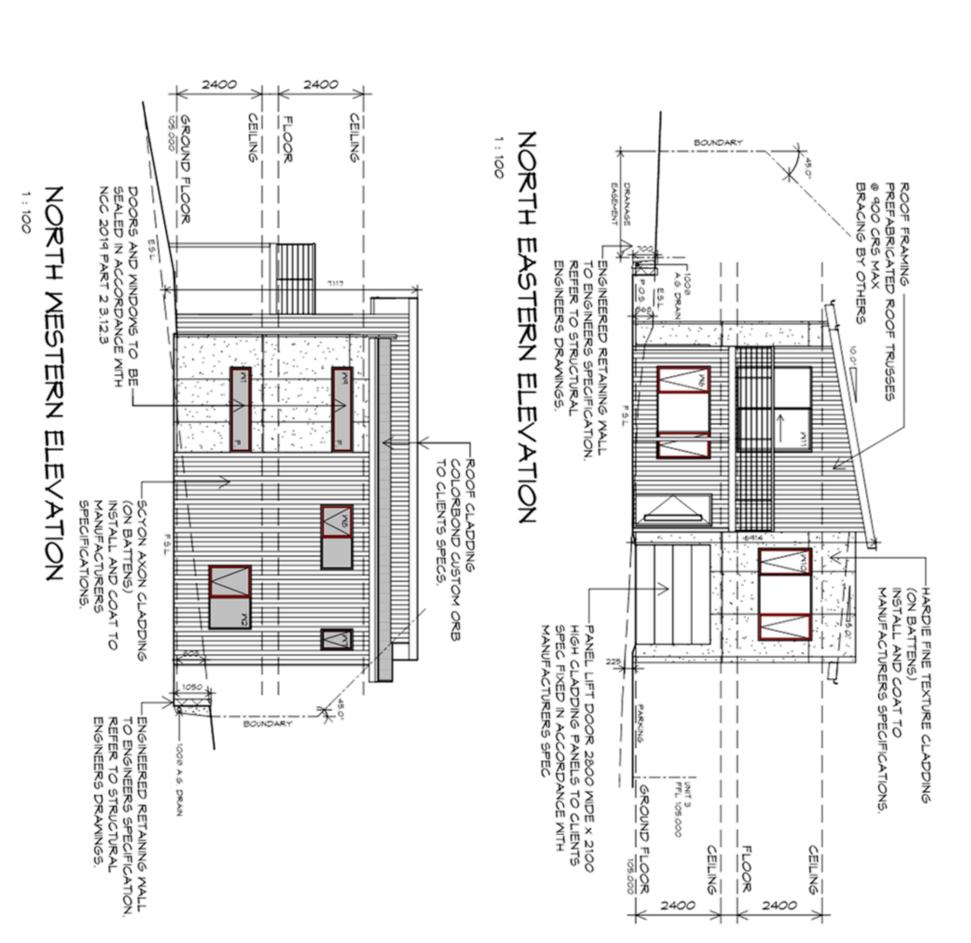
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Date: 12/09/2023 Project/Drawing no: PD21120 -U2	ELEVATIONS Drafted by: A.G.C.	10 Goodman Court, p(1)+ 03 6332 3790 Shop 9, 105-111 Maii p(h)+ 03 6228 4575 info@primedesigntas Project: PROPOSED N DEVELOPMEN 3A AQUILA ST GLENORCHY Client name: KOOYONG DE TRUST	<u></u>	
Scale: 23 1 : 100 -U2-03 03	Approved by: Approver	Aurt, Invermay Tasmania 7248, 90 Main Road, Moonah Hobart 7009 575 575 575 576 577 577 577 577 577 577	Prime Design	PLANNING NOTE: DO NOT SCALE OFF DRAWINGS





APPLICATION No.

PLN-23-307

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ENORCHY CITY COUNCIL PLANNING SERVICES

Project/Drawin PD21120	Date: 12/09/2023	Drafted by: A.G.C.	Drawing: ELEV/	PROP DEVE 3A AQ GLEN Client nar KOOY TRUS	10 Goodin p(l)+ 03 6 Shop 9, 10 p(h)+ 03 6 into@prir		
awing no: 20 -U2-04			ATIONS	OSED NE LOPMENT ORCHY ORCHY ONG DEV T	nan Court, I 332 3790 55-111 Main 6228 4575 nedesigntas.		DATE REC
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Revision: 03		I			me Sign ah Hobart 7009	PLANNING	18/03/2024
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Approved by: Approver

ußis Тe Client name: KOOYONG DEVELOPMENT UNIT GLENORCHY DEVELOPMENT 3A AQUILA STREET, Project: PROPOSED NEW UNIT

p(l)+ 03 6332 3790 Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h)+ 03 6228 4575

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10 Goodman Court, Invermay Tasmania 7248,

REFER TO NCC 2019 P ROOF SHEETING MUST NCC 2019 PART 3.5.1.8 ROOF PENETRATION F CAPPINGS, ANTI CAPILI DETAILS REFER TO NO FOR FIXING, SHEET LA CORROSION PROTECT REFER TO TABLE 3.5.1 MATERIALS. CONTACT BETWEEN DI

ROOF PLAN

FASCIA

FASCIA

GUTTER

1:100

ADDITIONAL ROOF LOAD NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

METAL ROOF METAL SHEETING ROOF ACCORDANCE WITH NCC REFER TO TABLE 3.5.3. SPACING BETWEEN DC BE MORE THAN 12m 4 VALLEY GUTTER

DOWNPIPE POSITIONS S PLAN ARE NOMINAL ONI EXACT LOCATION & NUM REQUIRED ARE TO BE IN MITH NCC 2019 PART 3.5

OF FLOW, RIVET & SEA

GUTTER

5.0° FALL

FASCIA

10.0" FALL

HAVE A WIDTH OF NOT 400mm AND ROOF OV LESS THAN 150mm EAC B) LESS THAN 12.5° DE DESIGNED AS A BOX @ GUTTER.

GUTTER

A) MORE THAN 12.5° DI

GPA Attachment - 3A Aquila Street, 6 Merton Street and 15/245 Tolosa Street, Glenorchy

PARAPET

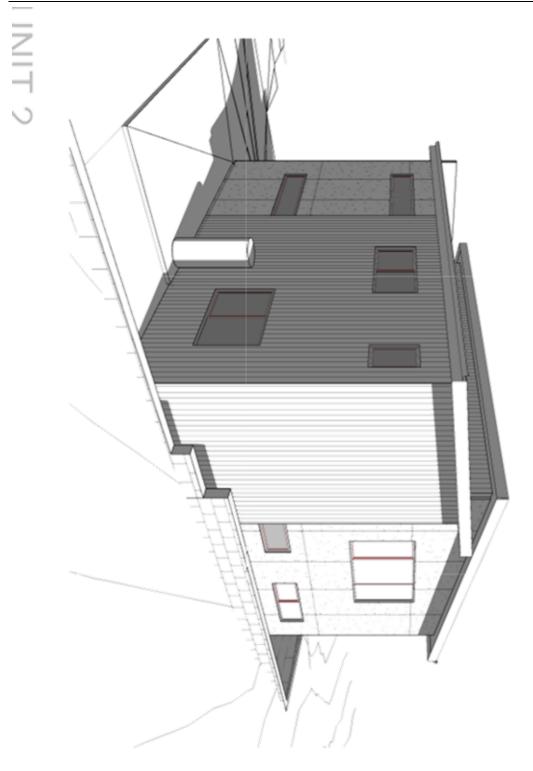
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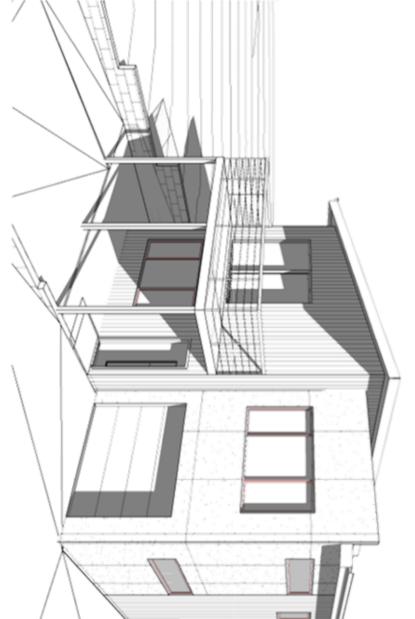
TO BE IN ACCORDANCE NGC 2019 PART 3.5.2.4. WITH FALL NO LESS THA 1:100 FOR BOX GUTTER 1:500 FOR EAVES GUTT GUTTER INSTALLATION

ROOF PLUMBING NOTI

UNLESS FIXED TO MET, EAVES GUTTER TO BE © 1200 CRS MAX.

bddaa Bulono desoners	T UNIT		SHEET LAYING FOR TRANVER NTI CAPILLAR ER TO NGC 20 RATION FLASI C 2019 PART NG MUST OVE RT 3.5.1.8	ING ROOF T E WITH NCC . BLE 3.5.3.1a PROTECTION BLE 3.5.1.1 F INEEN DIFFE	DSITIONS SHOW MINAL ONLY. TION & NUMBER RE TO BE IN AC IN PART 3.5.2.5 WEEN DOWNPIP WEEN DOWNPIP NU 12m & WITHIN TER.	5mm IN TH CONE SEAL M	TERS ON A R N 12.5° DEGR H OF NOT LE ROOF OVER COMM EACH S 112.5° DEGR) TO METAL FA IR TO BE FIXED MAX.		ORDANCE N	ING NOTES:
Project/Drawing no: PD21120 -U2	Date: 12/09/2023	Drawing: ROOF PLAN	5 SEQUENCE, F RSE FLASHING RY BREAKS, FL 2019 PART 3.5.7 5HING DETAILS, T 3.5.1.5-3.5.1.7 TERHANG MIN 3	TO BE INSTALLED C 2019 PART 3.5.1. La FOR ACCEPTAE ON FOR SHEET RO I FOR ACCEPTABIL FERENT ROOFING	ER OF D.P'S ACCORDANCE 2:5 REQUIREME PIPES MUST NO 11N 1.2m FROM	HE DIRECTION WITH AN ALANT.	OOF WITH A F REES - MUST SS THAN HANG OF NOT HANG OF VALLE SIDE OF VALLE	(ED	~		AP
-05	Scale: 1 : 100		S AND AGHING 1.5-3.5.1.7 Smm AS PER	ED IN 5.1.3. "ABLE ROOFING, BILITY OF NG	A L N N N N N N N		ITCH.			DATE RECEIVED .	PLICATION No
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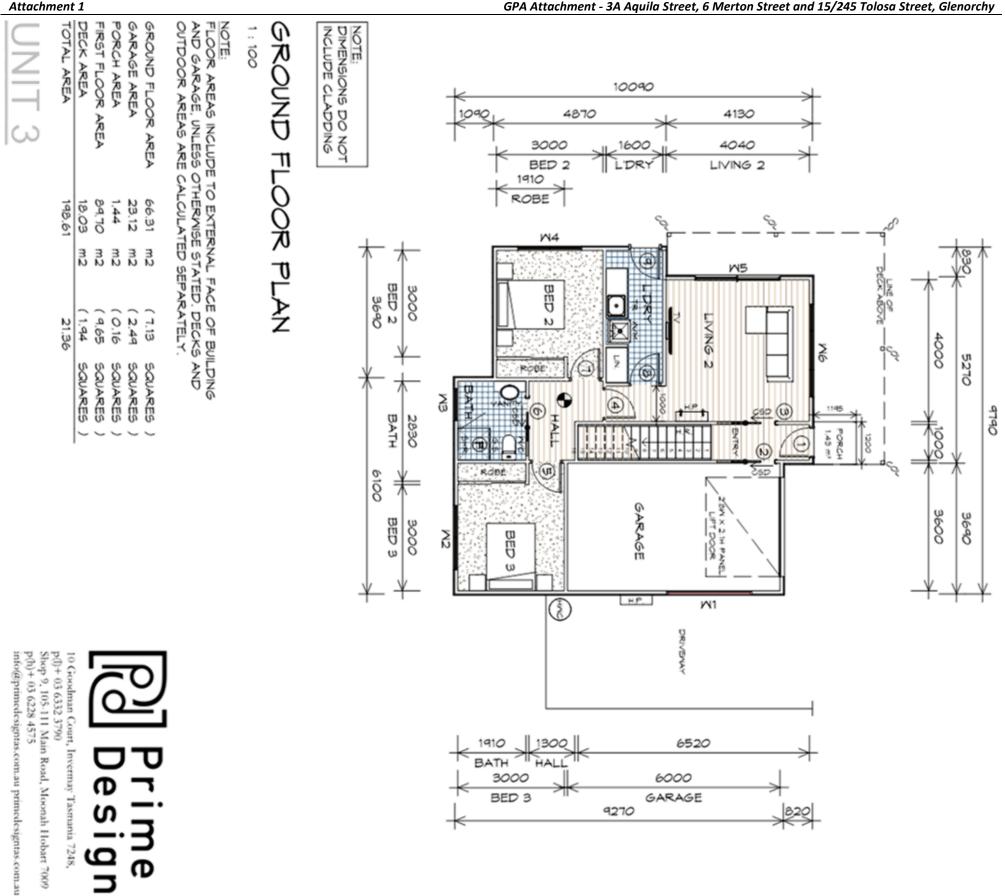






12/09/2023 Project/Drawing no: PD21120 -U2-06	Drafted by: A.G.C. Approved by: Date: Scale:	Drawing: PERSPECTIVES	Project PROPOSED NEW UNIT DEVELOPMENT 3A AQUILA STREET, GLENORCHY Client name: KOOYONG DEVELOPMEN TRUST	10 Goodman Court, Invernay Tasmar p()+ 03 6332 3790 Shop 9, 105-111 Main Road, Moonah p(h)+ 03 628 4575 info@primedesigntas.com.au primede		PLANNING S APPLICATION No PLN DATE RECEIVED 18/
Revision: 03	I		ENT UNIT	me Sign nania 7248, ah Hobart 7009	PLANNING NOTE: DO NOT SCALE OFF DRAWINGS	G SERVICES PLN-23-307 18/03/2024

Attachment 1



LEGEND

EXHAUST FAN-VENT TO

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- θ OUTSIDE AIR.
- 240V UMOKE ALARX
- 8 CAVITY SLIDING DOOR
- 9 SLIDING DOOR
- ° IIN FLOOR WASTE
- SQUARE STOP

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	C HOT WATER CYLINDER	Y RANGE HOOD, VENT TO OUTSIDE AIR	5. GLASS SCREEN	21 COLUMN	HAND RAL	APPLICATION No PLN-23-307	
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JR SCHEDULE

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TYPE	REMARKS
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CAVITY SLIDING DOOR	
CAVITY SLIDING DOOR	
INTERNAL TIMBER DOOR	
INTERNAL TIMBER DOOR	
CAVITY SLIDING DOOR	
INTERNAL TIMBER DOOR	
INTERNAL TIMBER DOOR	
EXTERNAL HALF GLASS	

GROUND FLOOR WINDOW SCHEDUL Π

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TYPE	REMARKS
FIXED WINDOW	OPAQUE
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AMNING MINDOM	OPAQUE
AMNING MINDOM	
SLIDING DOOR	
AMNING MINDOM	

G COMPLETE

RATING

ALUMINIUM WINDOWS DOUBLE GLAZIN WITH FLY SCREENS TO SUIT TBC BAL ALL WINDOW MEASUREMENTS TO BE V

PRIOR TO ORDERING

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2410 2610 1810

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MIDTH 2410 1810 910

MARK

HEIGHT

FRIFIED ON SITE

Drawing: GROUND FLOOR PLAN

Date:

ngi

Client name: KOOYONG DEVELOPMENT UNIT

DEVELOPMENT 3A AQUILA STREET,

GLENORCHY

PROPOSED NEW UNIT

Project:

Drafted by: A.G.C.

Approved by: Approver

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TRUST

PD21120 -U3-01 Project/Drawing no: 12/09/2023 Scale: 1:100 Revision: ß

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PD21120 -U3-02

Project/Drawing no: 12/09/2023

Revision: 03

Drafted by: A.G.C.

p(l)+ 03 6332 3790 Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h)+ 03 6228 4575

into(a)primedesigntas.com.au primedesigntas.com.au

10 Goodman Court,

Invernay Tasmania 7248,

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Client name: KOOYONG DEVELOPMENT UNIT TRUST GLENORCHY

Date:

Scale: 1:100

DEVELOPMENT 3A AQUILA STREET, PROPOSED NEW UNIT Project:

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ALUMINIUM WINDOWS DOUBLE GLAZING WITH FLY SCREENS TO SUIT TBC BAL R ALL WINDOW MEASUREMENTS TO BE V PRIOR TO ORDERING ≦'**⊅**

HEIGHT MIDTH	TYPE	REMARKS
2610	SLIDING DOOR	
2610	AWNING WINDOW	
2410	FIXED WINDOW	OPAQUE
1810	AMNING MINDOW	OPAQUE
910	AWNING WINDOW	OPAQUE
016	AMNING MINDOW	
1810	ANNING WINDOW	
610	AMNING MINDOW	
610	ANNING WINDOW	
	r WIDTH 2610 2610 2610 1810 410 410 410 410 410 410 610	WIDTH 2610 2610 2410 1810 910 910 910 910 910 610 610

FIRST
FLOOR
NND

		FIRST FLOOR DOOR SCHEDULE	
MARK	MIDTH	TYPE R	REMARKS
0	720	INTERNAL TIMBER DOOR	
11	820	INTERNAL TIMBER DOOR	
12	770	CAVITY SLIDING DOOR	
13	820	INTERNAL TIMBER DOOR	
14	720	INTERNAL TIMBER DOOR	

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SQUARE STOP FLOOR WASTE

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SLIDING DOOR

CAVITY SLIDING DOOR 240V SMOKE ALARX

GPA Attachment - 3A Aquila Street, 6 Merton Street and 15/245 Tolosa Street, Glenorchy



		21.36		198.61	POTAL AREA
~	SQUARES	(1.94	m2	18,03	DECK AREA
\sim	SQUARES	(9.65	m 2	89,70	FIRST FLOOR AREA
\sim	SQUARES	(0.16	m2	1,44	PORCH AREA
\sim	SQUARES	(2.49	B2	23.12	SARAGE AREA
\sim	SQUARES	(7.13	8 2	66.31	SROUND FLOOR AREA
		EPARATELY.	ED S	ALCOLA	OUTDOOR AREAS ARE CALCULATED SEPARATELY.
	AND	TED. DECKS	TO TO	THERWIS	AND GARAGE, UNLESS OTHERWISE STATED, DECKS AND
	ILDING	FACE OF BU	RNAL	TO EXTE	FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING

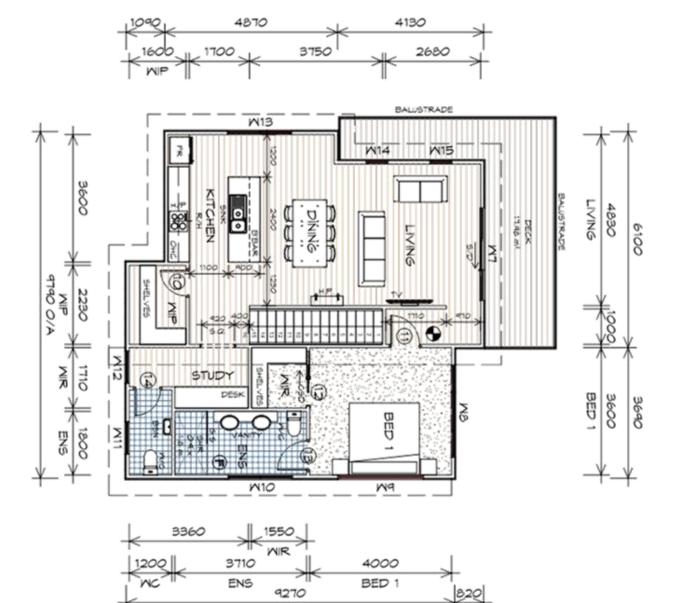
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NOTE

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FIRST

FLOOR PLAN



RDOOR	Х v		đ	20 22	0.9	3	T 70		
OR REMARKS	CHEDULE		HOT WATER CYLINDER	RANGE HOOD, VENT TO OUTSIDE AIR	GLASS SCREEN	COLUMN	HAND RAIL DATE RECEIVED 18/03/202	APPLICATION No	
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LEGEND

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EXHAUST FAN-VENT TO OUTSIDE AIR.

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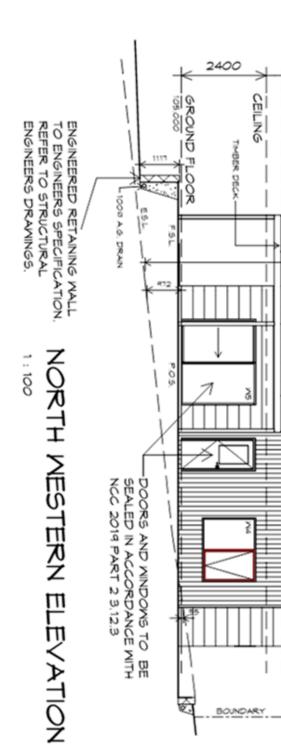
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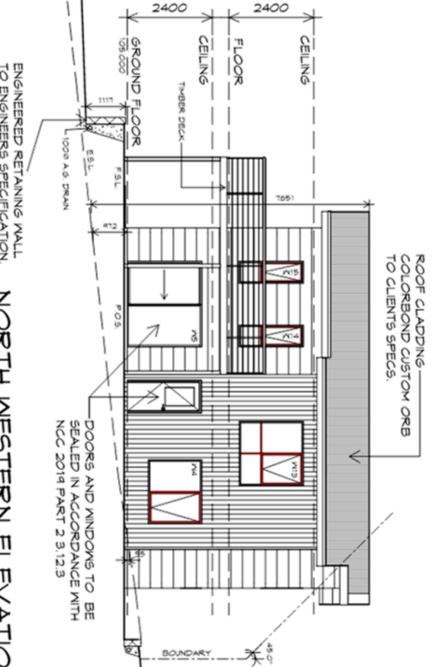
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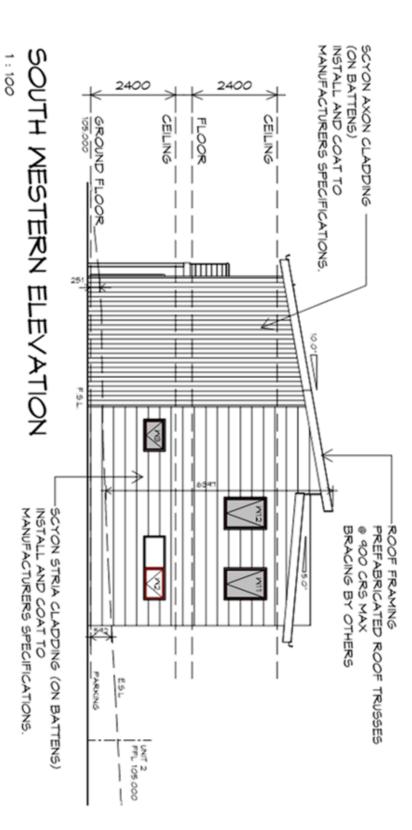
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Drawing: FIRST FLOOR PLAN







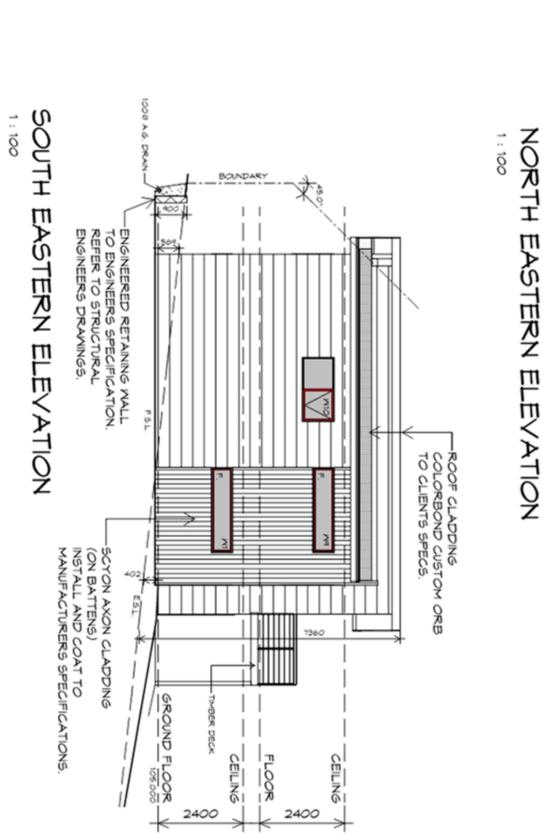


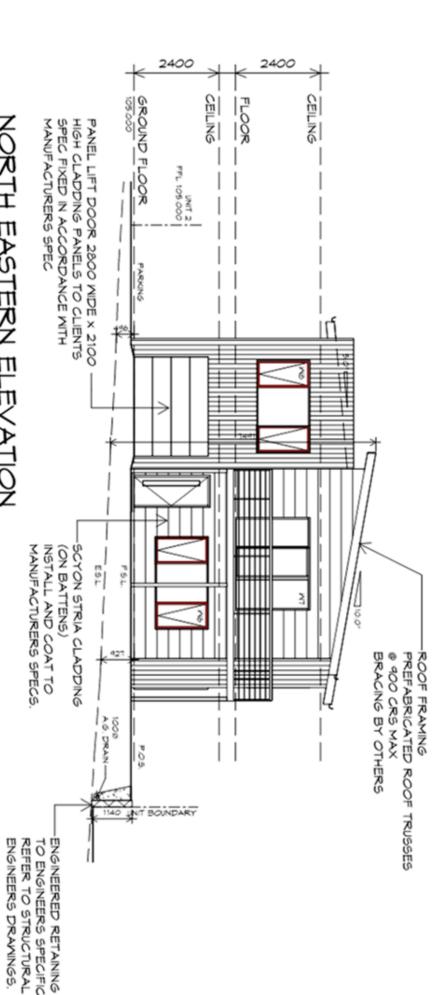
APPLICATION No PLN-23-307

NIT 3

Project/Drawing no: Revision: PD21120 -U3-03 03	Date: Scale: 12/09/2023 1:100	A.G.C. Approved by: A.G.C.	Drawing: ELEVATIONS	LOPMENT UILA STREET ORCHY ONG DEVELC	10 Goodman Court, Invermay Tasmania 7248, p(1) + 03 6332 3790 Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h) + 03 6228 4575 info@primedesigntas.com.au primedesigntas.com.au Project: PROPOSED NEW UNIT	လြ Prime Design	PLANNIN
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Drawing: ELEVATIONS Drafted by: A.G.C. Date: 12/09/2023 Project/Drawing no: PD21120 -U3-	10 Goodman Court, pf()+ 03 6332 3790 Shop 9, 105-111 Maii pf()+ 03 628 4575 info@primedesigntas Project: PROPOSED N DEVELOPMEN 3A AQUILA ST GLENORCHY Client name: KOOYONG DE TRUST	GLENO APPLICAT DATE REC TION.
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p(l)+ 03 6332 3790 Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h)+ 03 6228 4575 info@primedesigntas.com.au primedesigntas.com.au

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10 Goodman Court, Invermay Tasmania 7248, Ð <u>თ</u> ngi

U Зe Client name: KOOYONG DEVELOPMENT UNIT GLENORCHY DEVELOPMENT 3A AQUILA STREET, Project: PROPOSED NEW UNIT ADDITIONAL ROOF LOAD NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

ROOF PLAN

1:100

MATERIALS. FOR FIXING, SHEET LA FREQUENCY FOR TRAI CAPPINGS, ANTI CAPIL DETAILS REFER TO NO CORROSION PROTEC REFER TO TABLE 3.5. CONTACT BETWEEN D ACCORDANCE WITH N REFER TO TABLE 3.5 REFER TO NCC 2019 ROOF SHEETING MUS ROOF PENETRATION METAL ROOF METAL SHEETING RO NCC 2019 PART 3.5.1

WITH NCC 2019 PART ; SPACING BETMEEN DC BE MORE THAN 12m & I VALLEY GUTTER. PLAN ARE NOMINAL (EXACT LOCATION 4 N REQUIRED ARE TO B

GUTTER

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GUTTER

10.0° FALL

5.0° FALL

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OF FLOW, RIVET 4 SE APPROVED SILICONE

GUTTER. B) LESS THAN 12.5° D DESIGNED AS A BOX

VALLEY GUTTERS ON A) MORE THAN 12.5° D HAVE A WIDTH OF NOT 400mm and Roof on LESS THAN 150mm Eac

GPA Attachment - 3A Aquila Street, 6 Merton Street and 15/245 Tolosa Street, Glenorchy

GUTTER

FASCIA

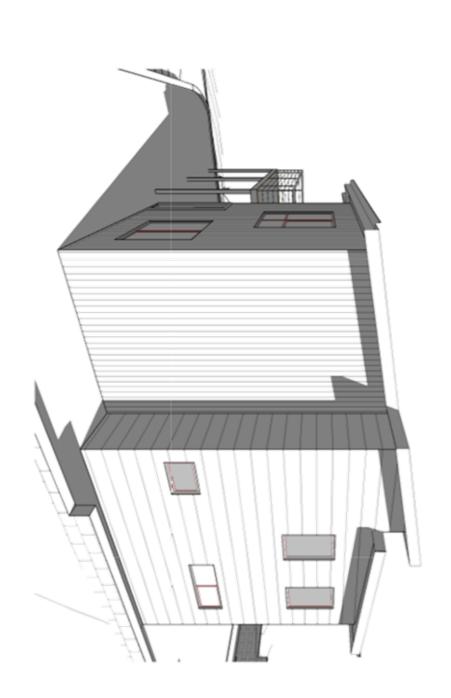
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NCC 2019 PART 3.5.2 WITH FALL NO LESS GUTTER INSTALLATIO 1:100 FOR BOX GUTT 1:500 FOR EAVES GU

UNLESS FIXED TO ME EAVES GUTTER TO B © 1200 CRS MAX.

ROOF PLUMBING NO

T UNIT Date: 12/09/2023 Project/Drawing no PD21120 -U3	SHEET LAYING SEQUENCE, FA FOR TRANVERSE FLASHINGS ANTI CAPILLARY BREAKS, FLA FER TO NCC 2019 PART 3.5.1.9 FER TO NCC 2019 PART 3.5.1.5-3.5.1.7 ING MUST OVERHANG MIN 35 ART 3.5.1.8	F ITING ROOF TO BE INSTALLED CE WITH NCC 2019 PART 3.5.1 ABLE 3.5.3.1a FOR ACCEPTAU I PROTECTION FOR SHEET RC ABLE 3.5.1.1 FOR ACCEPTABI ETWEEN DIFFERENT ROOFING	<u>OMINAL ONLY.</u> OMINAL ONLY. ATION & NUMBER OF D.P'S RE TO BE IN ACCORDANCE D19 PART 3.5.2.5 REQUIREMEN TWEEN DOWNPIPES MUST NO: IAN 12m & WITHIN 1.2m FROM , TER.	N 12.5° DEGREES, MUST BE S A BOX GUTTER. S 15mm IN THE DIRECTION IVET 4 SEAL WITH AN SILICONE SEALANT.	NN A ROOF WITH , • DEGREES - MUS (OT LESS THAN OVERHANG OF N EACH SIDE OFVA	D to metal fascia er to be fixed max.	NOTES: APP ANCE WITH DAT 5.2.4. S THAN JTTERS AUTTER	
AN Scale: 23 1 : 100 -U3-05 03	.: FASTENER NGS AND FLASHING 5.1.5-3.5.1.7 LS 1.7 N 35mm AS PER	LLED IN 3.5.1.3. PTABLE T ROOFING, TABILITY OF	۹ ۳ ۳	LA		NGS	GLENORCHY CITY COUNCIL PLANNING SERVICES PLANNING PLN-23-307 LICATION No PLN-23-307 18/03/2024 E RECEIVED 18/03/2024	





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Attachment 1



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HAND RAIL

DATE RECEIVED APPLICATION No

PLANNING SERVICES

PLN-23-307 18/03/2024

NATO CEAN

- 0 240V SMOKE ALARM
- 8 CAVITY SLIDING DOOR
- 9 SLIDING DOOR

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FLOOR WASTE RANGE HOOD

GLASS SCREEN

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020	2	820	820	820	820	820	820	820	MIDTH	GROUN
	EXTERNAL HALF GLASS	INTERNAL TIMBER DOOR	INTERNAL TIMBER DOOR	INTERNAL TIMBER DOOR	CAVITY SLIDING DOOR	INTERNAL TIMBER DOOR	CAVITY SLIDING DOOR	EXTERNAL ENTRY DOOR	TYPE	GROUND FLOOR DOOR SCHEDULE
									REMARKS	'n

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GPA Attachment - 3A Aquila Street, 6 Merton Street and 15/245 Tolosa Street, Glenorchy

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0	CAVITY SLIDING DOOR	
0	INTERNAL TIMBER DOOR	
0	CAVITY SLIDING DOOR	
0	INTERNAL TIMBER DOOR	
0	INTERNAL TIMBER DOOR	

	GROU	GROUND FLOOR DOOR SCHEDULE	μ
MARK	MIDTH	TYPE	REMARKS
1	820	EXTERNAL ENTRY DOOR	
2	820	CAVITY SLIDING DOOR	
4	820	INTERNAL TIMBER DOOR	
ςı	820	CAVITY SLIDING DOOR	
9	820	INTERNAL TIMBER DOOR	
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A.G.C. Approved by: Approver by: Approver Description: Project/Drawing no: Revision: PD21120 -U4-01 03	Client name: Scale: KOOYONG DEVELOPMENT UNIT Date: Scale: TRUST 08.01.2024 1 : 100	Project: Drawing: PROPOSED NEW UNIT DEVELOPMENT 3A AQUILA STREET, GLENORCHY	ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT TBC BAL RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING
Revision: 03		Z	

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Drafted by: A.G.C.

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			OPAQUE			REMARKS	

2410 1810 910 1810 2610

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2100 1500

GROUND FLOOR WIND

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TYPE	REMARKS
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NOTE: DO NOT SCALE OFF DRAWINGS

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UNIT 4		DECK AREA	PORCH AREA	GROUND FLOOR AREA	FLOOR AREAS INCLUDE T AND GARAGE, UNLESS OT OUTDOOR AREAS ARE CA		FIRST FLOOP		NCLUDE CLADDING	NOTE																								
				65.52 m2	E TO EXTERNAL FACE OTHERWISE STATED. CALCULATED SEPAR		R PLAN							*	1300 1300	*	170		570	>	3	75	*	->	<	30 2680	-	* *						
		01		(7.04 SQUARES) (2.37 SQUARES)	L FACE OF BUILDING TATED, DECKS AND SEPARATELY,							3600	[KITCHEN	0	V. [avaa]	*		, DINING .			Ē			W11	10.00 m'	1987 L	BALUSTRADE	4830	6100	
												1		TM 6M			68								fe		OtM					1000 BED 1	0696	
p(h)+ 03-6228-4575 info@primedesignta	Shop 9, 105-111 Ma	10 Goodman Court, n/0+ 03 6332 3700	(d	פ)					¥		¥.	l		< 300	306	0) ຫ -> 371		8 155 MIR	10.000			400								4	<u> </u>	
p(h)+ 03-6228-4575 nfo@primedesigntus.com.au primedesigntas.com.au	Shop 9, 105-111 Main Road, Moonah Hobart 7009	10 Goodman Court, Invernay Tasmania 7248, n0+ 03 6332 3700	Design	Prime										+ + +				EN	5	8	970	190		BED	> 1	;	1 82 	* +						
A.G.C.	Drafted by:	KOOYONG TRUST	GLENORCHY	3A AQUILA STR	Project: PROPOSE	MITH FLY SCREENS TO SUIT TECT ALL MINDOW MEASUREMENTS TO PRIOR TO ORDERING	ALUMINIUM WINDOWS DOUBLE GLAZING		W12 12		9 DIM		N NG	ARK			70			10 12		X ARX		ŝ	NON PNICH		NO RISERS		5/0 SLIDI	CSD CAVI	240v	P EXHAUST	LEGEND	
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FLOOR WASTE	RANGE HOOD	GLASS SCREEN	COLUMN	HAND RAL	PLANNING SERVICES APPLICATION No PLN-23-307 DATE RECEIVED 18/03/2024	
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OR WINDOW SCHEDULE

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FIXED WINDOW	
ANNING WINDOW	
SLIDING DOOR	
AMNING MINDOW	
AMNING MINDOW	
AWNING WINDOW	

E VERIFIED ON SITE

Drawing: FIRST FLOOR PLAN

Project/Drawing no: PD21120 -U4-02 Revision: 03

bddaa

08.01.2024

Date:

Attachment 1

Scale: 1:100

NOTE: DO NOT SCALE



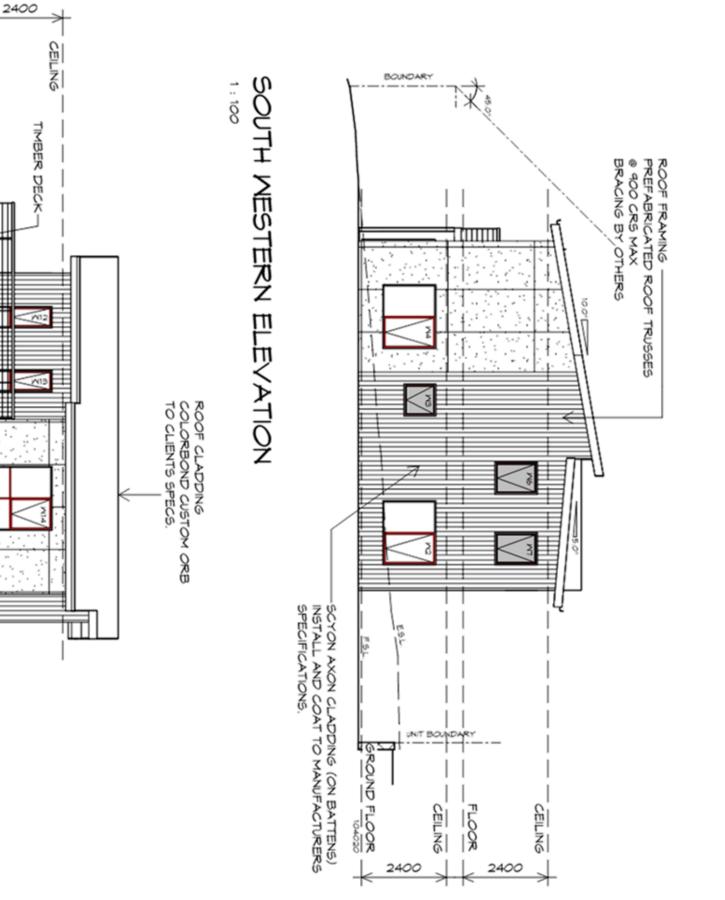
NORTH WESTERN ELEVATION 1.13

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH NCC 2019 PART 2 3.12.3

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GROUND FLOOR

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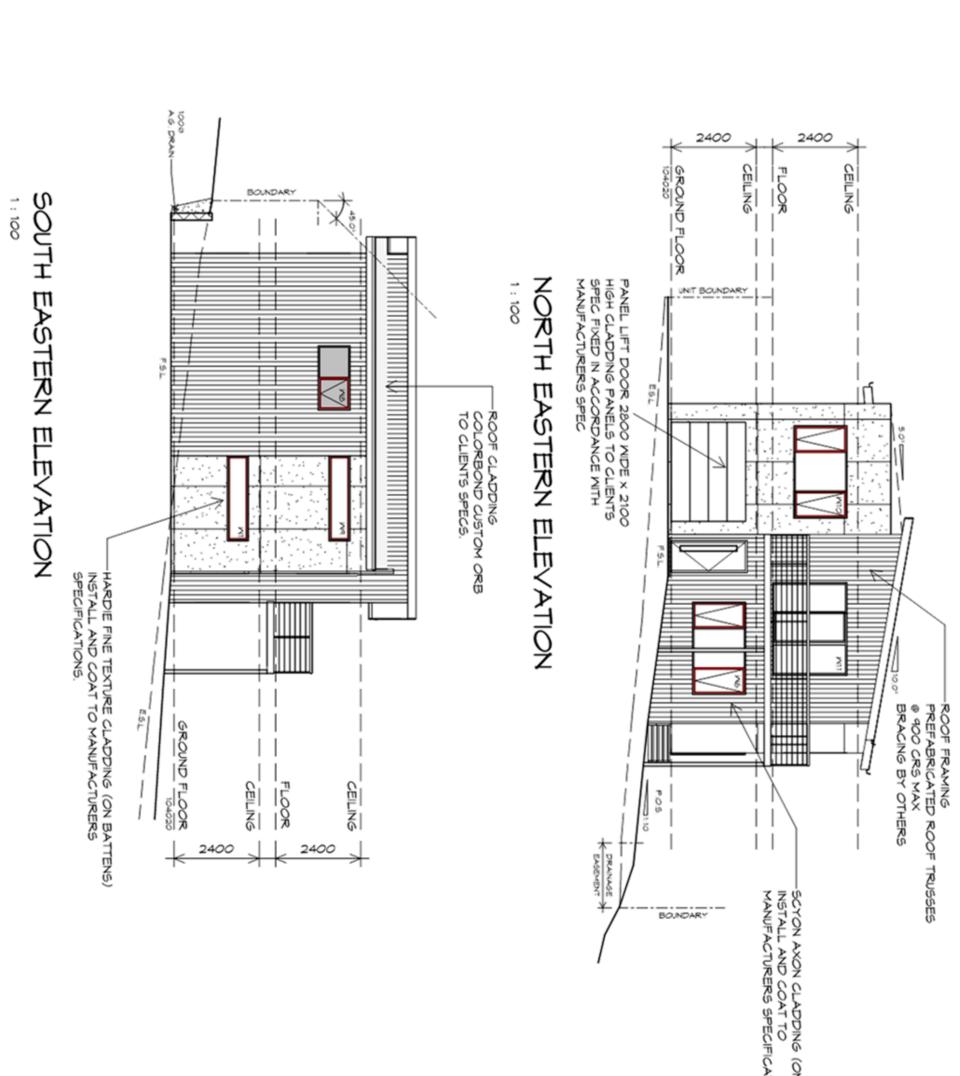
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Attachment 1



	Date: 08.01.; Project/Dr PD211	Drafted by: A.G.C.	Drawing: ELEV	Project PROP DEVE 3A AC GLEN Client na KOOY TRUS	10 Good p(1) + 03 Shop 9, 1 p(h) + 03 info@pti	ത	ATIONS.	N PATTEN			
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				-	009 9m.au		NOTE: DO NOT SCALE OFF DRAWINGS	-		<u> </u>	

info@primedesigntas.com.au primedesigntas.com.au

Drafted by: A.G.C.

Approved by: Approver

BUILDING DESIGN

TRUST

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Тe

DEVELOPMENT 3A AQUILA STREET,

PROPOSED NEW UNIT

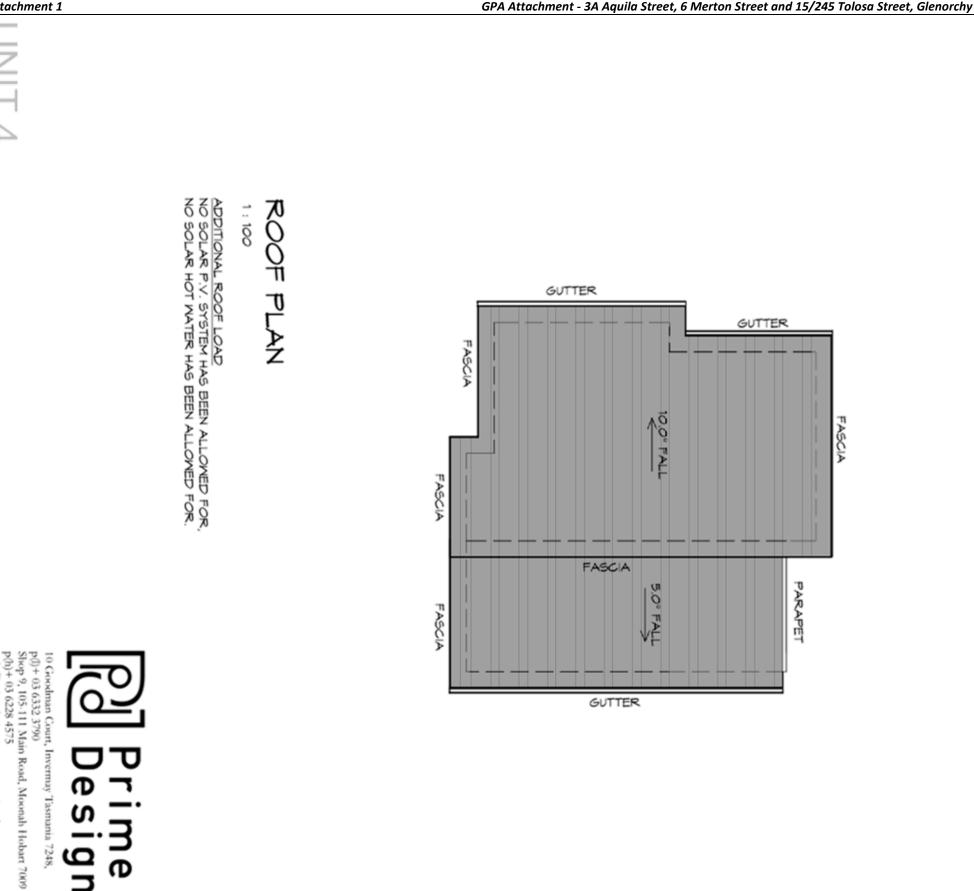
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GLENORCHY

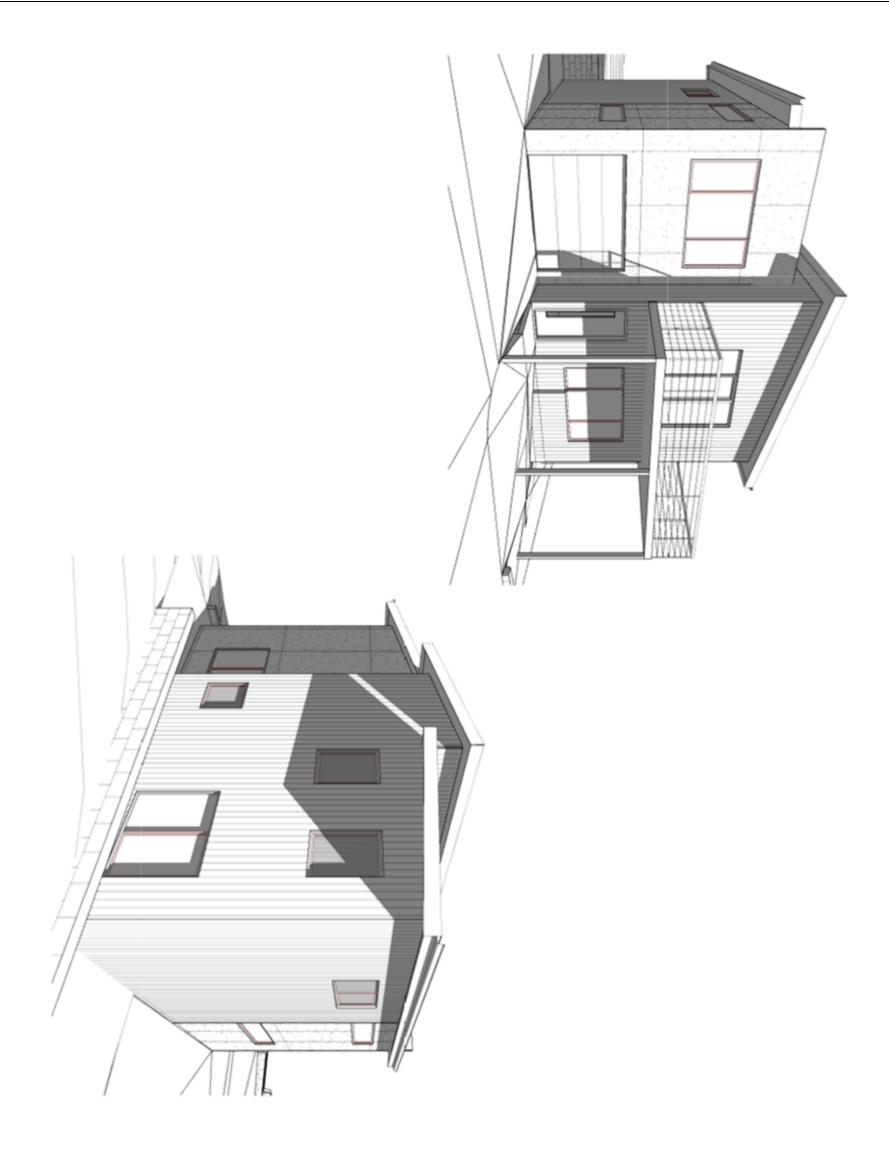
Client name: KOOYONG DEVELOPMENT UNIT



	EVELOPMENT UNIT	NEW UNIT NT TREET,	SHEET LAYI FOR TRAN ANTI CAPILL FER TO NCC FER TO NCC FER TO NCC TRATION FL ICC 2019 PA ICC 2019 PA ICC 2019 PA ING MUST C ART 3.5.1.8	METAL ROOF METAL SHEETING ROOF TO BE ACCORDANCE WITH NCC 2019 F REFER TO TABLE 3.5.3.1a FOR CORROSION PROTECTION FOR REFER TO TABLE 3.5.1.1 FOR A CONTACT BETWEEN DIFFERENT MATERIALS.	DOMNPIPE POSITIONS SHOW PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER REQUIRED ARE TO BE IN ACC WITH NCC 2019 PART 3.5.2.5 SPACING BETWEEN DOMNPIP BE MORE THAN 12m & WITHIN VALLEY GUTTER.	LAP GUTTERS 75mm IN THE DIRE OF FLOW, RIVET & SEAL WITH AN APPROVED SILICONE SEALANT.	VALLEY GUTTERS ON A ROOF A) MORE THAN 12.5° DEGREES HAVE A WIDTH OF NOT LESS T 400mm AND ROOF OVERHANG LESS THAN 150mm EACH SIDE GUTTER. B) LESS THAN 12.5° DEGREES, DESIGNED AS A BOX GUTTER.	1:500 FOR EAVES GUTTER UNLESS FIXED TO METAL FA EAVES GUTTER TO BE FIXED © 1200 CRS MAX.	MBING NOTES STALLATION CCORDANCE PART 3.5.2.4. NO LESS THA BOX GUTTER
Project/Drawing no: PD21120 -U4-05	Date: Scale: 08.01.2024 1 : 100	ROOF PLAN	IT LAYING SEQUENCE, FASTENER TRANVERSE FLASHINGS AND XAPILLARY BREAKS, FLASHING O NCC 2019 PART 3.5.1.5-3.5.1.7 ON FLASHING DETAILS. 019 PART 3.5.1.5-3.5.1.7 MUST OVERHANG MIN 35mm AS PER 1.5.1.8	TO BE INSTALLED IN 2019 PART 3.5.1.3. a FOR ACCEPTABLE NN FOR SHEET ROOFING, FOR ACCEPTABILITY OF FOR ACCEPTABILITY OF	SHOWN ON THIS NLY. MBER OF D.P'S IN ACCORDANCE 3.5.2.5 REQUIREMENTS, 3.5.2.5 REQUIREMENTS, WITHIN 1.2m FROM A	HE DIRECTION WITH AN ALANT.	N A ROOF WITH A PITCH: DEGREES - MUST OT LESS THAN OVERHANG OF NOT ACH SIDE OFVALLEY DEGREES, MUST BE X GUTTER.	r Fascia Xed	PLANNING PLANNING APPLICATION No MITH DATE RECEIVED
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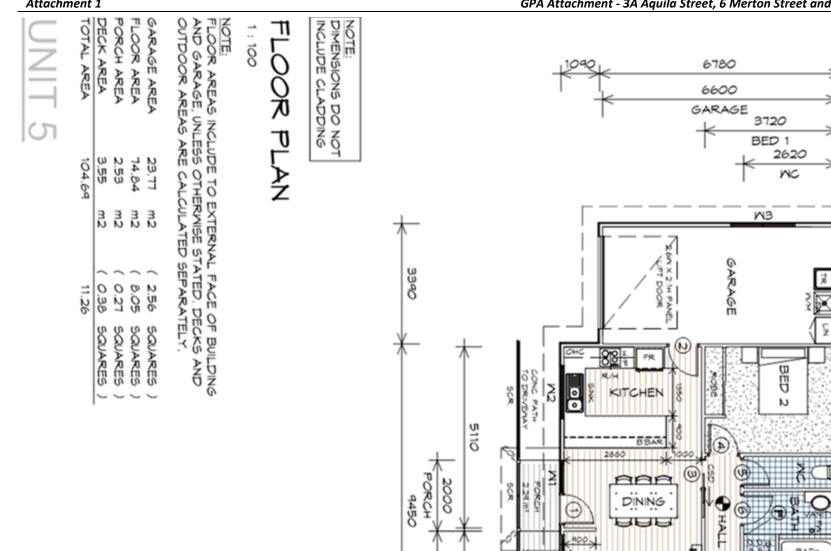
APPLICATION No PLN-23-307 DATE RECEIVED 18/03/2024

GLENORCHY CITY COUNCIL PLANNING SERVICES



Project/Drawing no: Revision: PD21120 -U4-06 03	Date: Scale: 08.01.2024	C. y	Drawing: PERSPECTIVES	info@primedesigntas.com.au primedesigntas.c Project: PROPOSED NEW UNIT DEVELOPMENT 3A AQUILA STREET, GLENORCHY Client name: KOOYONG DEVELOPMENT UN TRUST	Prime Desig	
ion:				UNIT	1е gn ^{1248,}	PLANNING NOTE: DO NOT SCALE OFF DRAWINGS

Attachment 1



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240V SMOKE ALARM	EXHAUST FAN-VENT TO OUTSIDE AIR.

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RANGE HOOD, HOT WATER COLUMN

CALINDER

DATE RECEIVED **APPLICATION No**

PLANNING SERVICES

PLN-23-307 18/03/2024

VENT TO OUTSIDE AIR

- 680 SLIDING DOOR CAVITY SLIDING DOOR
- ° "N FLOOR WASTE

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1.7m HIGH PRIVACY SCREEN

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- 0.0 GLASS SCREEN
- NO RISERS
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ω	820	CAVITY SLIDING DOOR	
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DEVELOPMENT 3A AQUILA STREET, PROPOSED NEW UNIT

p(l)+ 03 6332 3790 Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h)+ 03 6228 4575

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Court,

Invermay Tasmania 7248,

TRUST

Client name: KOOYONG DEVELOPMENT UNIT

GLENORCHY

nto@primedesigntas.com.au primedesigntas.com.au

Drafted by: A.G.C.

Approved by: Approver

GPA Attachment - 3A Aquila Street, 6 Merton Street and 15/245 Tolosa Street, Glenorchy

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A REAL PROPERTY AND A REAL	Revision: 03	Scale: 1 : 100

Drawing: FLOOR PLAN

Project

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT TBC BAL RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING
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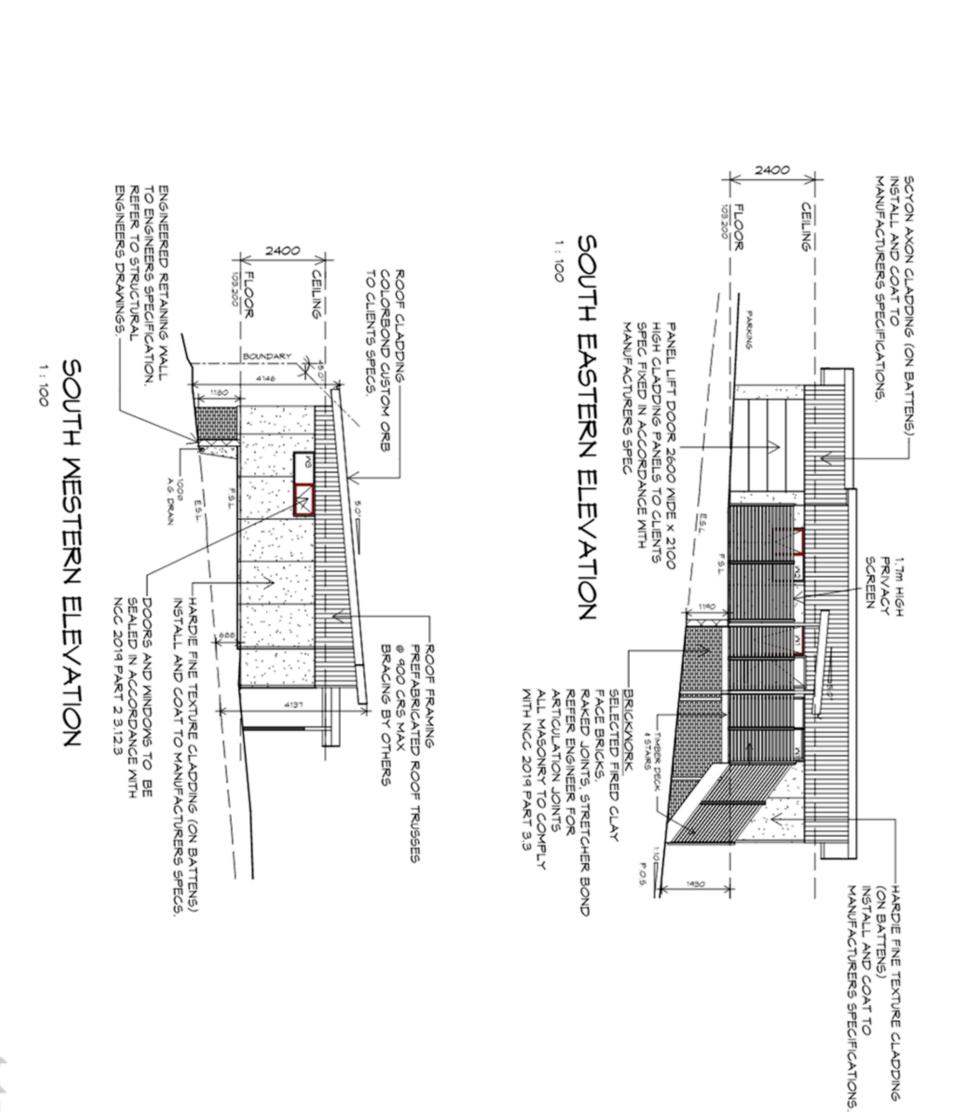
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Ē	FIXED WINDOW	OPAQUE
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NOTE: DO NOT SCALE OFF DRAWINGS



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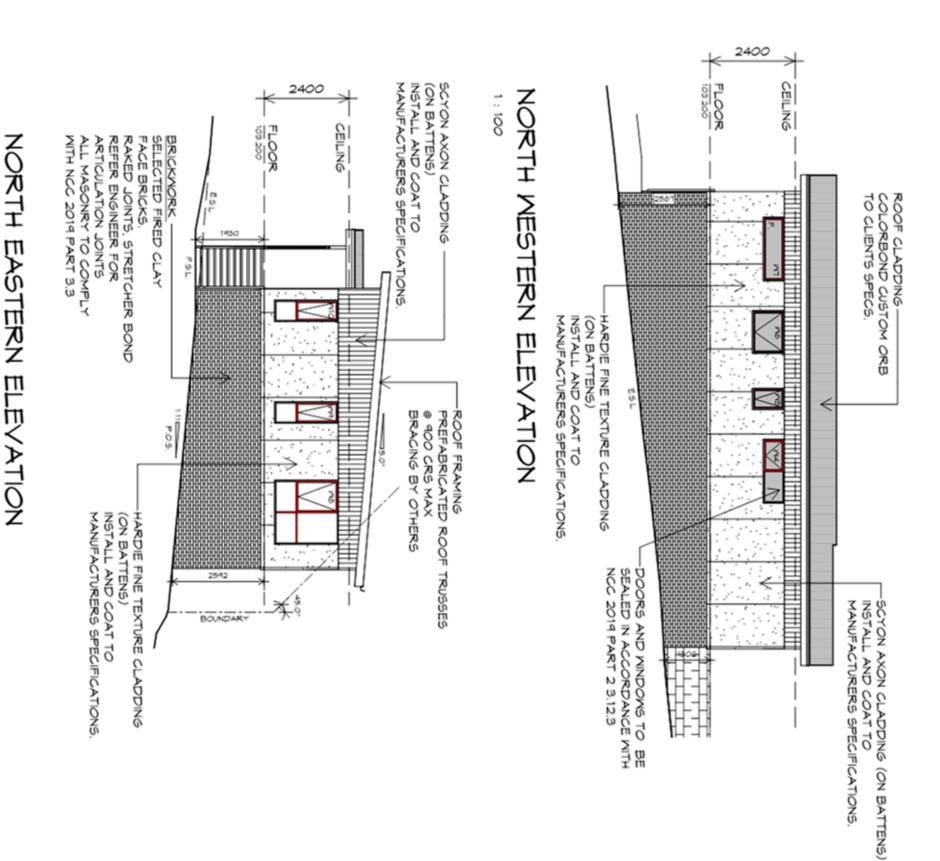
GLENORCHY CITY COUNCIL PLANNING SERVICES

PLN-23-307 18/03/2024

Project/Drawing PD21120 -	Date: 12/09/202	Drafted by: A.G.C.	Drawing: ELEVA	DEVEL 3A AQU GLENC Client nam KOOYO TRUST	10 Goodman Court, p(l)+ 03 6332 3790 Shop 9, 105-111 Mai p(h)+ 03 6228 4575 info@primedesignta Project:	ත	
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APPLICATION No DATE RECEIVED

PLANNING SERVICES

PLN-23-307 18/03/2024

Approved by: Approver Scale: 1 : 100 Revision: 03 03	Project PROPOSED NEW UNIT DEVELOPMENT A AQUILA STREET, GLENORCHY Cient name: KOOYONG DEVELOPMENT UNIT TRUST	PLANNING
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p(l)+ 03 6332 3790 Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h)+ 03 6228 4575 10 Goodman Court, nfo@primedesigntas.com.au primedesigntas.com.au Invermay Tasmania 7248, ወ nfils Drafted by: A.G.C.

Approved by: Approver

TRUST Client name: KOOYONG DEVELOPMENT UNIT 3A AQUILA STREET, PROPOSED NEW UNIT GLENORCHY Project:

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me

METAL ROOF METAL SHEETING ROOF TO ACCORDANCE WITH NCC 20 REFER TO TABLE 3.5.3.18 F CORROSION PROTECTION 1 REFER TO TABLE 3.5.1.1 FC CONTACT BETWEEN DIFFER REFER TO NCC 2019 PAR ROOF SHEETING MUST OV DETAILS REFER TO NCC CAPPINGS, ANTI CAPILLA ROOF PENETRATION FLAS FREQUENCY FOR TRANVE FOR FIXING. SHEET LAYIN MATERIALS. NCC 2019 PART 3.5.1.8

ADDITIONAL ROOF LOAD NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

1 : 100

ROOF PLAN

DOMNPIPE POSITIONS SHOP PLAN ARE NOMINAL ONLY. EXACT LOCATION & NUMBER REQUIRED ARE TO BE IN AC WITH NCC 2019 PART 3.5.2.1 SPACING BETWEEN DOWNPI BE MORE THAN 12M & WITHI VALLEY GUTTER.

OF FLOW, RIVET & SEAL V APPROVED SILICONE SEA

DESIGNED AS A BOX GUT B) LESS THAN 12.5° DEGR GUTTER.

LESS THAN 150mm EACH S

VALLEY GUTTERS ON A RO A) MORE THAN 12.5° DEGR HAVE A WIDTH OF NOT LES 400mm AND ROOF OVERH

UNLESS FIXED TO METAL EAVES GUTTER TO BE FIX @ 1200 CR5 MAX.

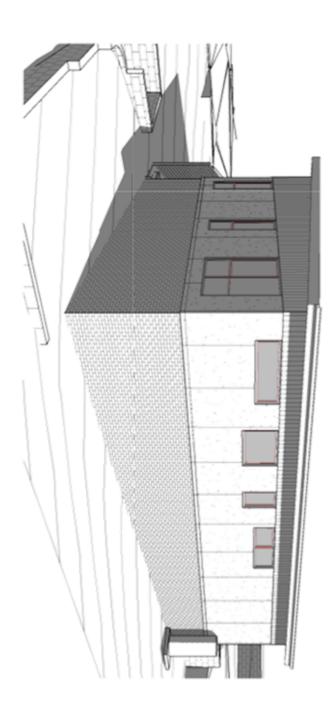
NCC 2019 PART 3.5.2.4. WITH FALL NO LESS THAN 1:100 FOR BOX GUTTERS 1:500 FOR EAVES GUTTER

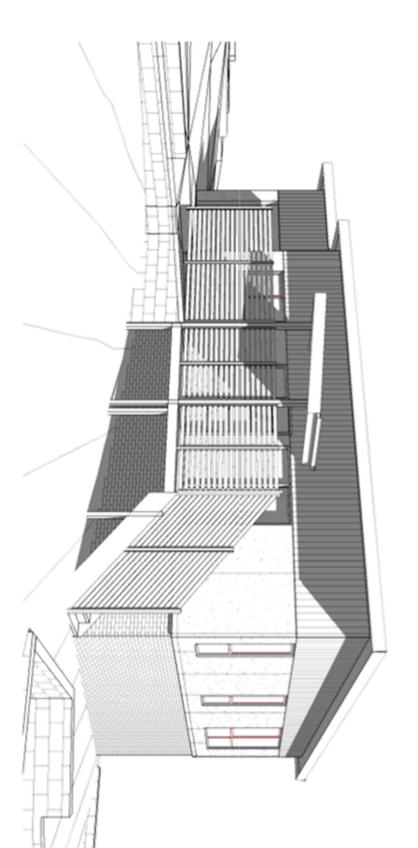
GUTTER INSTALLATION

ROOF PLUMBING NOTES:

GUTTER

NOTES:	PLANNING SERVICES PLN-23-307 APPLICATION No 18/03/2024
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NON A ROOF WITH A P 15° DEGREES - MUST NOT LESS THAN F OVERHANG OF NOT NEACH SIDE OFVALLE	
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ONS SHOWN ON THIS	P
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IT LAYING SEQUENCE, FA TRANVERSE FLASHINGS CAPILLARY BREAKS, FLA O NCC 2019 PART 3.5.1.9 O NFLASHING DETAILS. 019 PART 3.5.1.5-3.5.1.7 MUST OVERHANG MIN 351,5.1.8	r, Fastener Ngs and Flashing 1.5.1.5-3.5.1.7 LS 1.7 1.7 1.3 1.7
Drawing: ROOF	PLAN
T UNIT Date: 12/09/2023	Scale: 023 1 : 100
Project/Drawing no PD21120 -UE	20 -U5-04 03





Drafted by: Approved by: A.G.C. Approver Date: Scale: 12/09/2023 Project/Drawing no: PD21120 -U5-05	10 Goodman Court, Invernay p(1)+ 03 6332 3790 Shop 9, 105-111 Main Road, M p(h)+ 03 6238 4575 info@primedesigntas.com.au p Project: PROPOSED NEW UI DEVELOPMENT 3A AQUILA STREET GLENORCHY Client name: KOOYONG DEVELO TRUST	
d by: ver Revision: 03	rime esign may Tasmania 7248, 1, Moonah Hobart 7009 Au primedesigntas.com.au UNIT ET, ET, ET,	PLANNING NOTE: DO NOT SCALE OFF DRAWINGS

Approved by: Approver BUILDING DESIGI à

Drafted by: A.G.C.

p(l)+ 03 6332 3790 Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h)+ 03 6228 4575

nfo@primedesigntas.com.au primedesigntas.com.au

10 Goodman Court,

Invermay Tasmania 7248,

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Client name: KOOYONG DEVELOPMENT UNIT TRUST

GLENORCHY 3A AQUILA STREET, PROPOSED NEW UNIT Project

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WITH FLY SCREENS TO SUIT TBC BAL ALL WINDOW MEASUREMENTS TO BE PRIOR TO ORDERING ALUMINIUM WINDOWS DOUBLE GLAZIN ₽ P RATING. VERIFIED ON SITE

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	900	610	AMNING MINDOM	OPAQUE
МĜ	900	1210	AWNING WINDOW	OPAQUE
	600	1810	AWNING WINDOW	OPAQUE
	1800	1810	AWNING WINDOW	
	1800	610	AMNING MINDOM	
OLM	1800	610	AWNING WINDOW	
M11	2100	2110	SLIDING DOOR	

TYPE
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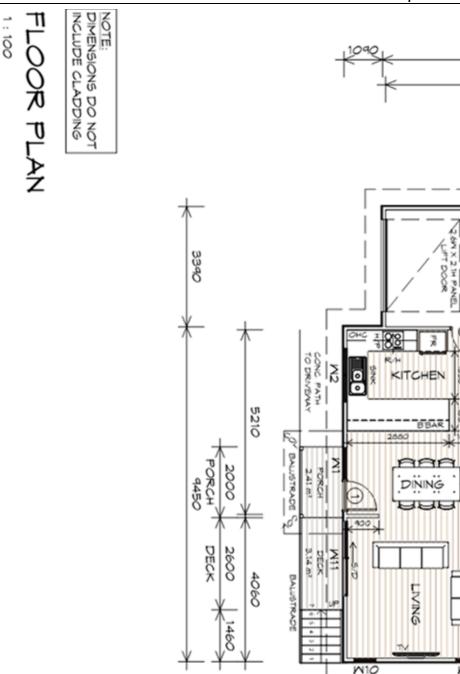
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CAVITY SLIDING DOOR	820	Ĺ
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EXTERNAL ENTRY DOOR	820	1
INTERNAL TIMBER DOOR	820	1
TYPE	MIDTH	MARK
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CAVITY SLIDING DO	820	L
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AND GARAGE, UNLESS OTHERWISE STATED, DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING

NOTE

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I EXHAUST FAN-VENT TO OUTSIDE AIR

COLUMN

- 240V UNOKE ALARX
- 66 CAVITY SLIDING DOOR

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- g SLIDING DOOR
- °FN FLOOR WASTE
- 00 GLASS SCREEN
- 4 NO RISERS

186

250

RISER HT

TREAD DEPTH

STARS

GOING NON

SLIP TO COMPLY NCC 2019

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Revision: 03	-01	Project/Drawing no: PD21120 -U6-01
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Drawing: FLOOR PLAN

REVARKS

NOTE: DO NOT SCALE OFF DRAWINGS

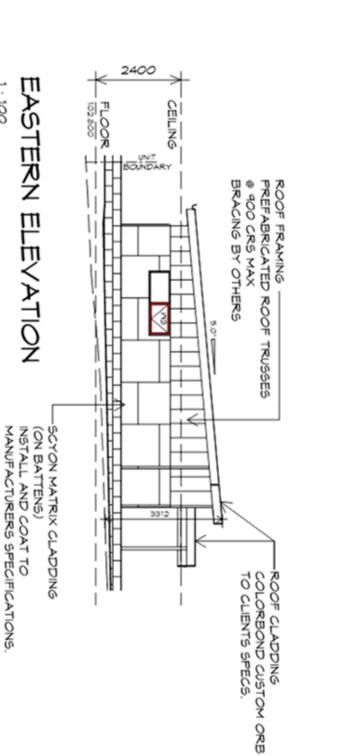
RANGE HOOD, VENT TO OUTSIDE AIR HOT WATER CYLINDER DATE RECEIVED APPLICATION No 18/03/2024

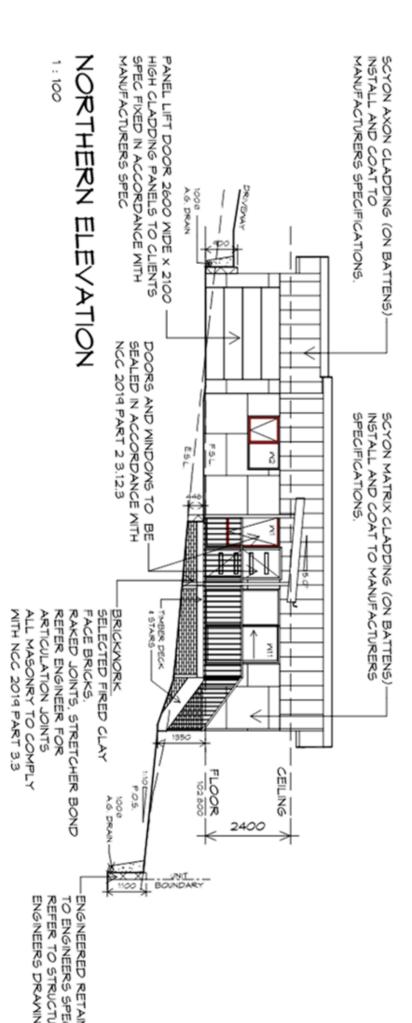
PLN-23-307

Attachments - Glenorchy Planning Authority - 13 May 2024









APPLICATION No PLN-23-307

GLENORCHY CITY COUNCIL PLANNING SERVICES

DATE RECEIVED

18/03/2024

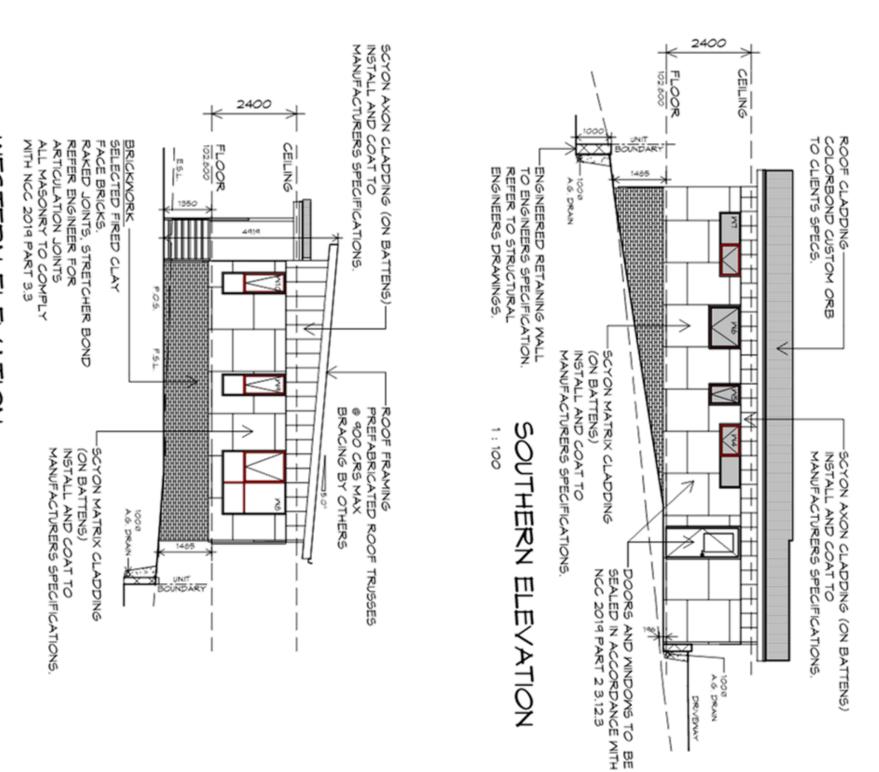
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	Project/Drawing no: PD21120 -U6-02	Date: Scale: 12/09/2023 1:100	A.G.C. Approved by: A.G.C. Approver	Drawing: ELEVATIONS	DEVELOPMENT 3A AQUILA STREET, GLENORCHY Client name: KOOYONG DEVELOPMEN TRUST	oodman Court, Invermay 03 6332 3790 9, 105-111 Main Road, N + 03 6228 4575 gprimedesigntas.com.au p et:	ල Pri De	CIFICATION. IRAL 165.	¥.	
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GLENORCHY CITY COUNCIL PLANNING SERVICES

Project/Dr PD211	Date: 12/09/202	Drafted by: A.G.C.	Drawing: ELEVA	Project: PROPO DEVEL 3A AQ GLEN(Client nan KOOY TRUST	10 Goodman (p()+ 03 6332 Shop 9, 105-11 p(h)+ 03 6228 info@primede		
awing no: 20 -U6	2023		ATIONS		man Court, 5332 3790 65-111 Ma 6628 4575		APPLIC. DATE R
6-03	Scale 1:	Appro	s	D NEW L MENT STREE: HY DEVEL			ATION N
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Revision: 03		I		IT (nia 724		23-307 3/2024
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Approved by: Approver d d d BUILDING DESIG

nfo@primedesigntas.com.au primedesigntas.com.au

Drafted by: A.G.C.

TRUST

p(l)+ 03 6332 3790 Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h)+ 03 6228 4575

10 Goodman Court, Invermay Tasmania 7248,

Ð nfils

Client name: KOOYONG DEVELOPMENT UNIT

GLENORCHY

DEVELOPMENT 3A AQUILA STREET,

PROPOSED NEW UNIT

Project:

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> FOR FIXING, SHEET LAYI FREQUENCY FOR TRANV CAPPINGS, ANTI CAPILLA DETAILS REFER TO NCC ROOF PENETRATION FLA REFER TO NCC 2019 PAI ROOF SHEETING MUST O NCC 2019 PART 3.5.1.8 CORROSION PROTECT REFER TO TABLE 3.5.1 CONTACT BETWEEN DI ACCORDANCE WITH NC REFER TO TABLE 3.5.3 MATERIALS. METAL SHEETING ROOM

SPACING BETWEEN DOY BE MORE THAN 12m 4 M VALLEY GUTTER. PLAN ARE NOMINAL ON EXACT LOCATION & NUN WITH NCC 2019 PART 3 REQUIRED ARE TO BE

METAL ROOF

OF FLOW, RIVET & SEAL APPROVED SILICONE 5

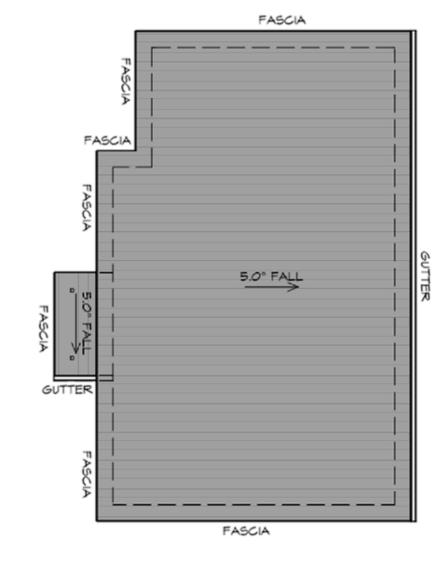
B) LESS THAN 12.5° DEC DESIGNED AS A BOX & GUTTER.

VALLEY GUTTERS ON A A) MORE THAN 12.5° DI HAVE A WIDTH OF NOT 400mm and Roof ov LESS Than 150mm Eac

UNLESS FIXED TO MET, EAVES GUTTER TO BE I200 CR5 MAX.

GUTTER INSTALLATION TO BE IN ACCORDANCE NGC 2019 PART 3.5.2.4. WITH FALL NO LESS THA 1:100 FOR BOX GUTTER: 1:500 FOR EAVES GUTTE

ROOF PLUMBING NOTE



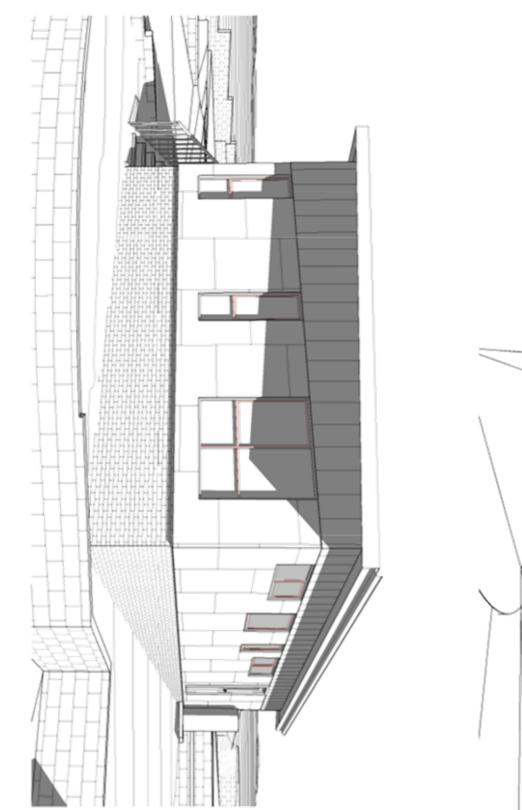
ADDITIONAL ROOF LOAD NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

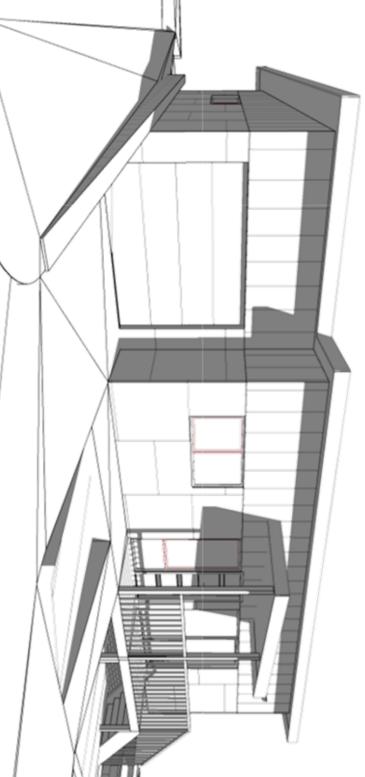
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ROOF PLAN

APPLICATION No TREEVED 18032024 PASCIA REDES THAN HANG OF NOT SUDE OFVALLEY REES THAN HANG OF NOT SUDE OFVALLEY REES FLAN ALANT. ALENT. ALANT. ALANT. ALENT. ALANT. ALANT. ALANT. ALANT. ALANT. ALANT. ALANT. ALANT. ALANT. ALANT. ALENT. ALANT. ALENT. ALANT. ALANT. ALENT. ALANT. ALANT. ALANT. ALANT. ALENT. ALA
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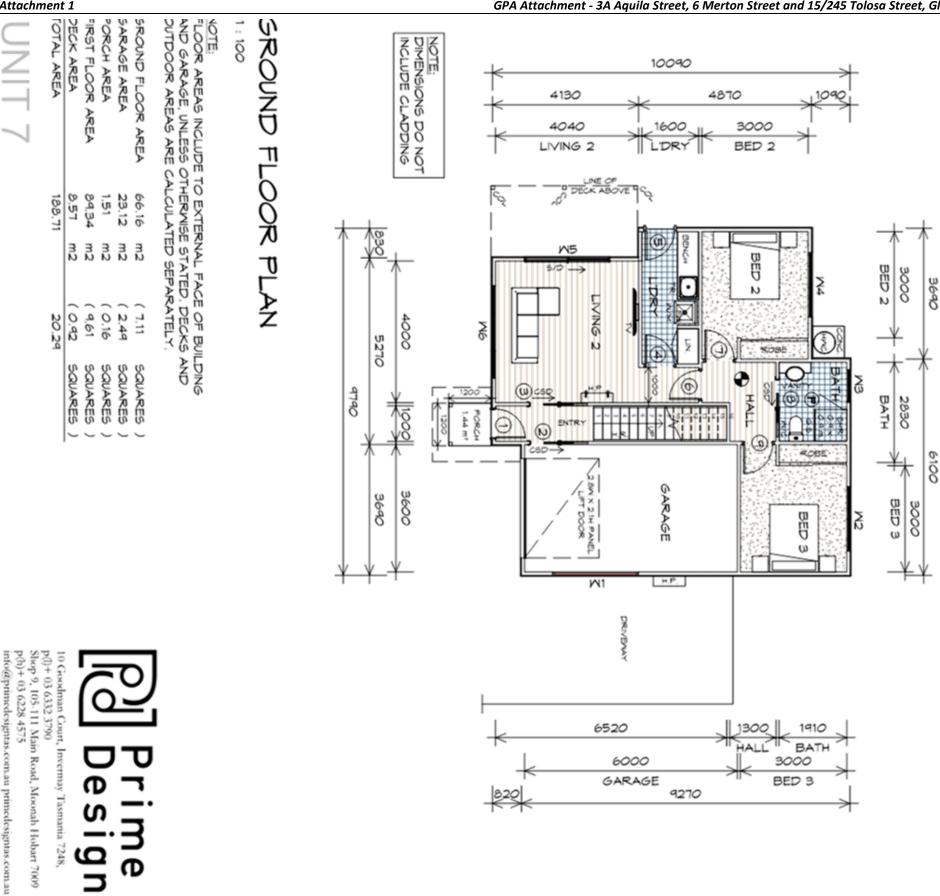
GLENORCHY CITY COUNCIL PLANNING SERVICES APPLICATION No PLN-23-307

DATE RECEIVED 18/03/2024

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PD21120 -L	Date: 12/09/2023 Project/Drawing no:	Drafted by: A.G.C.	Drawing: PERSPECTIVES	AQUILA ENORCH Mame OYONG UST	Project: PROPOSED	10 Goodman Court, 1 p(1)+ 03 6332 3790 Shop 9, 105-111 Mair p(h)+ 03 6228 4575 info@primedesigntas	ල	
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Attachment 1



LEGEND

- I EXHAUST FAN-VENT TO OUTSIDE AIR.
- € 240V SMOKE ALARM
- g CAVITY SLIDING DOOR
- 9 SLIDING DOOR
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	GROU	GROUND FLOOR DOOR SCHEDULE	'n
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N	820	CAVITY SLIDING DOOR	
ω	820	CAVITY SLIDING DOOR	
4	820	INTERNAL TIMBER DOOR	
UI UI	820	EXTERNAL HALF GLASS	
9	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
0	820	CAVITY SLIDING DOOR	
<i>ه</i>	820	INTERNAL TIMBER DOOR	

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	GROU	GROUND FLOOR DOOR SCHEDULE	ŕπ
ÅR.K	MIDTH	TYPE	REMARKS
	820	EXTERNAL ENTRY DOOR	
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	820	CAVITY SLIDING DOOR	
	820	INTERNAL TIMBER DOOR	
	820	EXTERNAL HALF GLASS	
	820	INTERNAL TIMBER DOOR	
	820	INTERNAL TIMBER DOOR	
	820	CAVITY SLIDING DOOR	
	820	INTERNAL TIMBER DOOR	

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R	GROU	GROUND FLOOR DOOR SCHEDULE
	820	EXTERNAL ENTRY DOOR
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	820	INTERNAL TIMBER DOOR
	820	EXTERNAL HALF GLASS
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	820	INTERNAL TIMBER DOOR
	820	CAVITY SLIDING DOOR
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16 NO 601NG NON SLIP TO COMPLY NCC 2019

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	HOT WATER CYLINDER	SQUARE STOP	RANGE HOOD, VENT TO OUTSIDE AIR	GLASS SCREEN	COLUMN	HAND RAIL	DATE RECEIVED 18/03/2024	AP	•
	YLINDER	v		Ż			TE RECEIVED	APPLICATION No PLN-23-307	
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DRAWI	VGS	5							

GROUND FLOOR WINDOW SCHEDUL Π

	F
TYPE	REMARKS
FIXED WINDOW	OPAQUE
AMNING WINDOW	
AMNING MINDOW	OPAQUE
AMNING WINDOW	
SLIDING DOOR	
AMNING WINDOW	

ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE	WITH FLY SCREENS TO SUIT TBC BAL RATING.	ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE
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2410 2610 1810

1500 2100 1500

900

MIDTH 2410 1810 910

MARK

HEIGHT

NOTE: DO NOT SCALE OFF

Attachments - Glenorchy Planning Authority - 13 May 2024

DDDD PD21120 -U7-01 Date: Project/Drawing no: 15.01.2024 Scale: 1:100 Revision: 65

Client name: KOOYONG DEVELOPMENT UNIT

3A AQUILA STREET,

GLENORCHY

PROPOSED NEW UNIT

Drawing: GROUND FLOOR PLAN

Project:

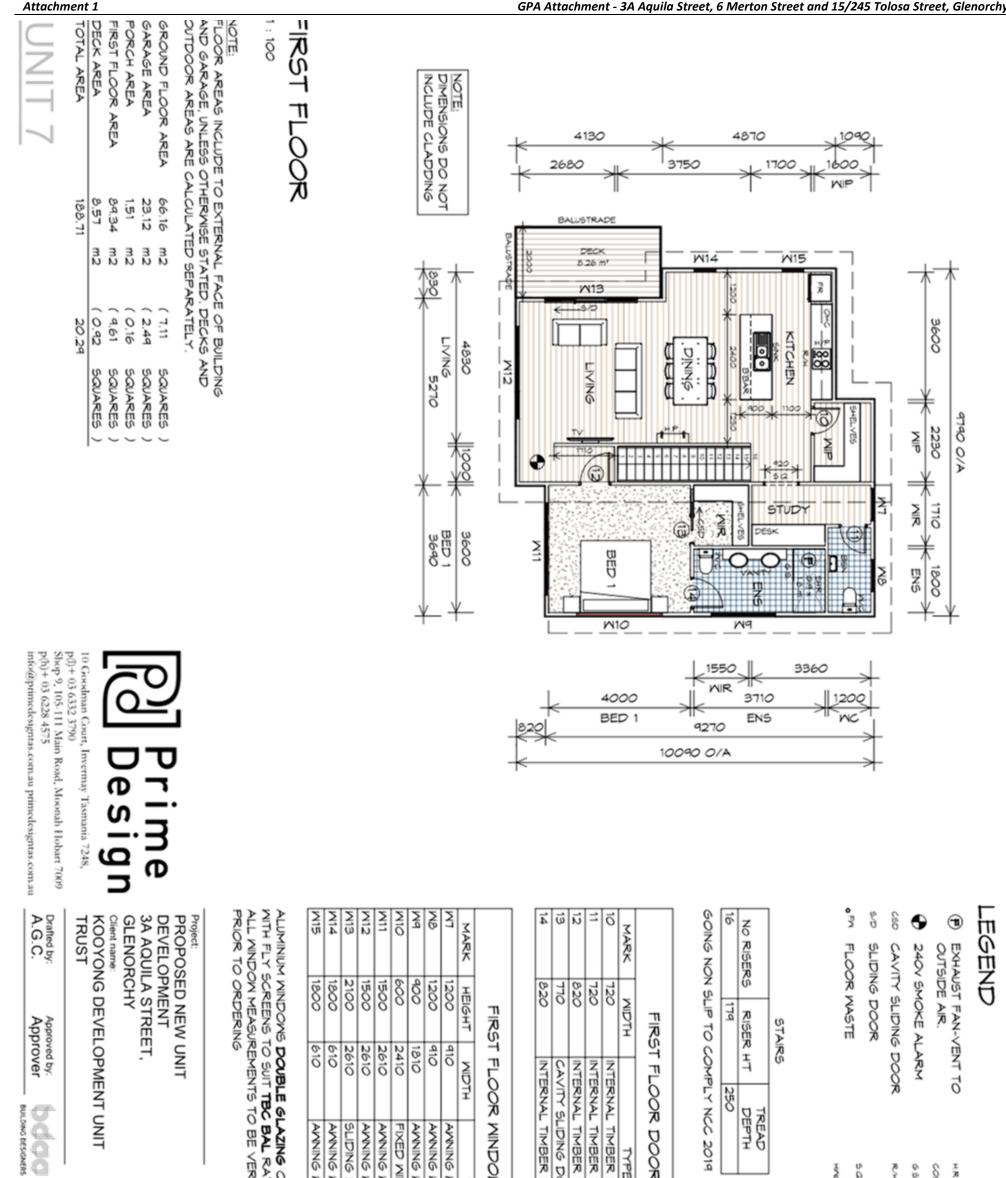
PRIOR TO ORDERING

Drafted by: A.G.C.

Approved by: Approver

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	HOT WATER CYLINDER	SQUARE STOP	RANGE HOOD, VENT TO OUTSIDE AIR	GLASS SCREEN	COLUMN	HAND RAIL DATE RECEIVED
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APPLICATION No

PLANNING SERVICES

PLN-23-307 18/03/2024

OR SCHEDULE

NOTE: D

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TYPE	REMARKS
- TIMBER DOOR	
- TIMBER DOOR	
- TIMBER DOOR	
LIDING DOOR	
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Attachments - Glenorchy Planning Authority - 13 May 2024

-		
	TYPE	REMARKS
	AMINING MINDOM	
	AMNING MINDOM	OPAQUE
	AMNING MINDOM	OPAQUE
	FIXED WINDOW	OPAQUE
	AMNING MINDOM	
	AMNING MINDOM	
	SLIDING DOOR	
	AMNING WINDOW	
	AMNING MINDOM	

TYPE	REMARKS
6 MINDOM	
6 MINDOM	OPAQUE
6 MINDOM	OPAQUE
MINDOM	OPAQUE
6 MINDOM	
6 MINDOW	
6 DOOR	
6 MINDOW	
6 MINDOM	

Drawing: FIRST FLOOR PLAN

KG COMPLETE RATING. VERIFIED ON SITE



Revision:

65

PD21120 -U7-02

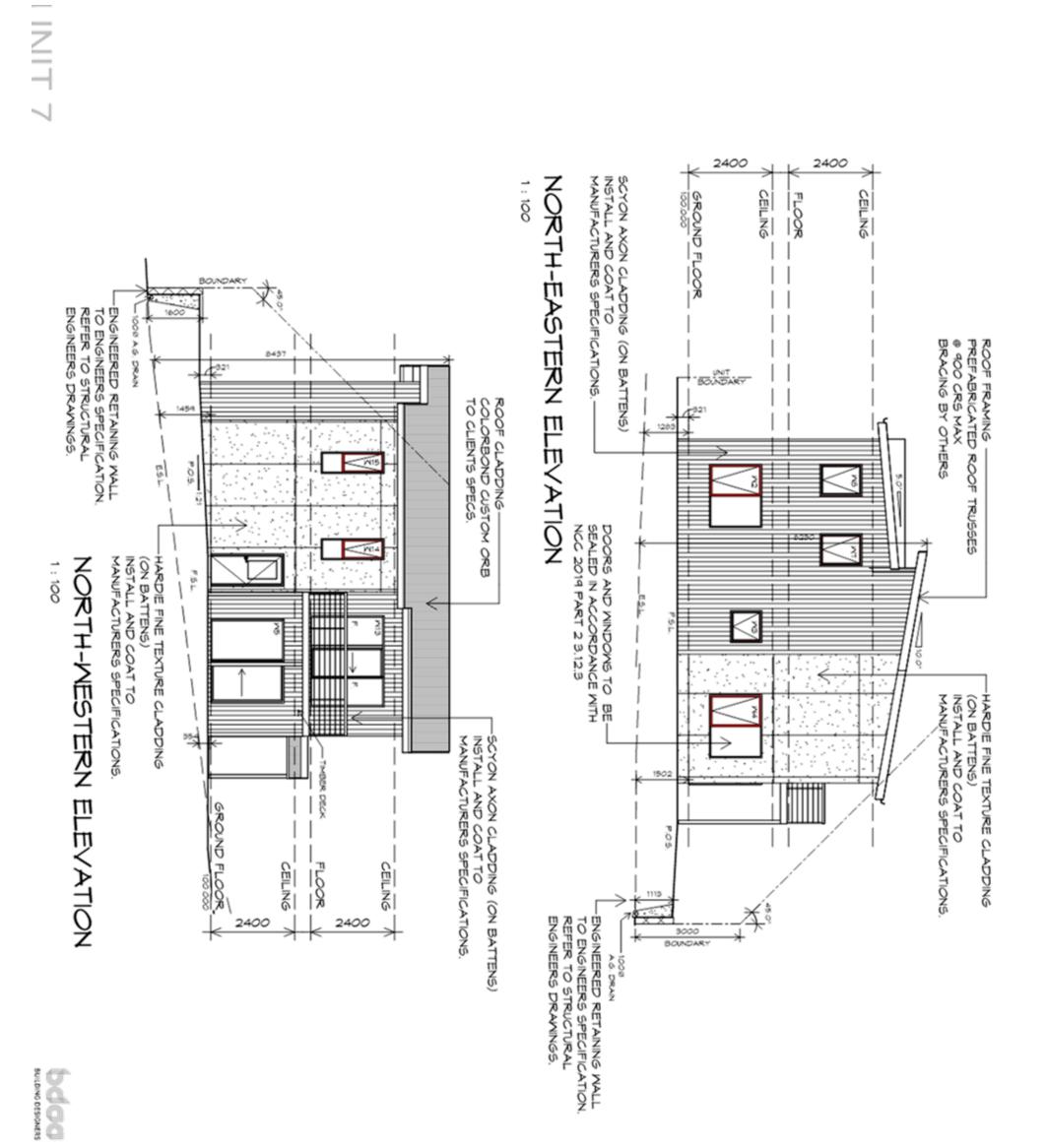
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Date: 15.01.2024

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APPLICATION No PLN-23-307

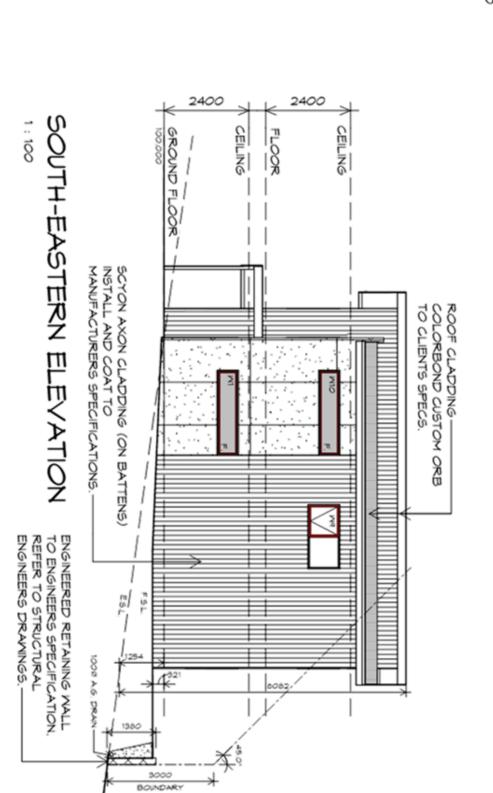
GLENORCHY CITY COUNCIL PLANNING SERVICES

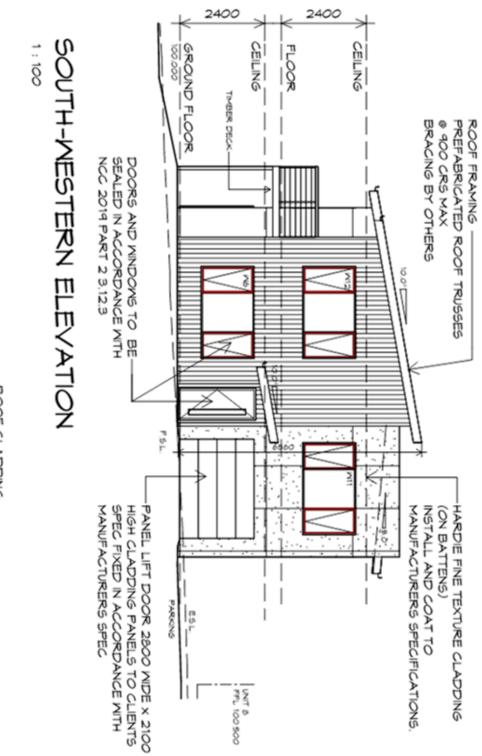
DATE RECEIVED

18/03/2024

Project/Drawing no: Revision: PD21120 -U7-03 05	Date: Scale: 15.01.2024 1 : 100	A.G.C. Approved by: A.G.C.	Drawing: ELEVATIONS	PROPOSED NEW UNIT DEVELOPMENT 3A AQUILA STREET, GLENORCHY Client name: KOOYONG DEVELOPMENT UNIT TRUST	A 10 + 0	ကြ Prime Design	PLANNING
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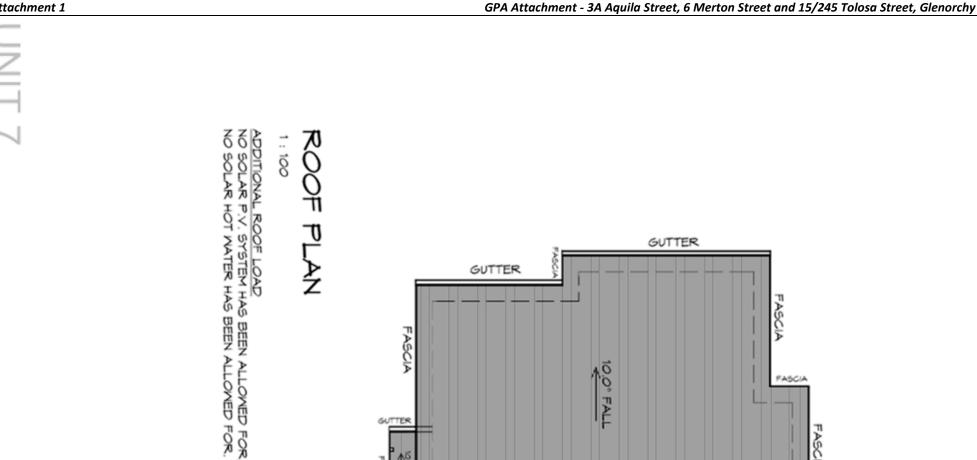


ENORCHY CITY COUNCIL PLANNING SERVICES

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Attachment 1

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Drafted by: A.G.C.

Approved by: Approver

TRUST



FOR FIXING, SHEET LAY FREQUENCY FOR TRAN CAPPINGS, ANTI CAPILL DETAILS REFER TO NCC ROOF PENETRATION FL METAL ROOF METAL SHEETING ROOF ACCORDANCE WITH NC CORROSION PROTECT REFER TO TABLE 3.5. CONTACT BETWEEN D ROOF SHEETING MUST REFER TO NCC 2019 F MATERIALS. NCC 2019 PART 3.5.1.8

WITH NCC 2019 PART 3. SPACING BETWEEN DOY BE MORE THAN 12m & M VALLEY GUTTER. REQUIRED ARE TO BE EXACT LOCATION & NU PLAN ARE NOMINAL O

OF FLOW, RIVET & SEA APPROVED SILICONE :

GUTTER. B) LESS THAN 12.5° DE DESIGNED AS A BOX (

FASCIA

GUTTER

5.0° FALL

VALLEY GUTTERS ON A A) MORE THAN 12.5° DE HAVE A WIDTH OF NOT 400mm and ROOF OVE LESS THAN 150mm EACH

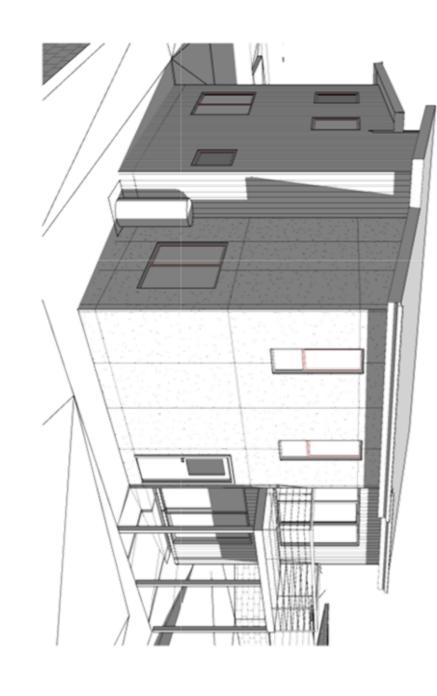
UNLESS FIXED TO MET. EAVES GUTTER TO BE © 1200 CRS MAX.

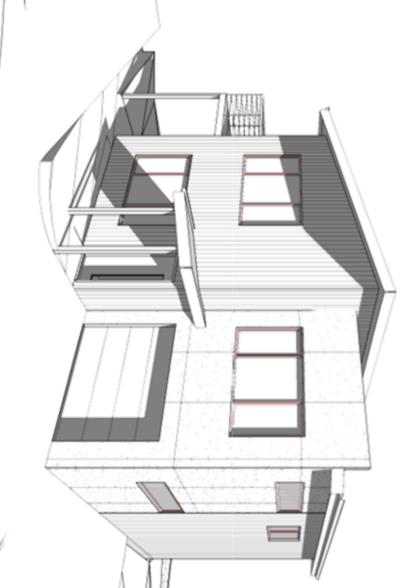
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FASCIA

NCC 2019 PART 3.5.2.4 WITH FALL NO LESS TH 1:100 FOR BOX GUTTE GUTTER INSTALLATION ROOF PLUMBING NOT

F UNIT Date: Project/Drawing no PD21120 -U7	HEET LAYING SEQUENCE OR TRANVERSE FLASHIN (TI CAPILLARY BREAKS) ER TO NCC 2019 PART 3. ER TO NCC 2019 PART 3. RATION FLASHING DETAIL C 2019 PART 3.5.1.5-3.5. NG MUST OVERHANG MIN RT 3.5.1.8	ING ROOF TO BE INSTA E WITH NCC 2019 PART : BLE 3.5.3.1a FOR ACCE PROTECTION FOR SHEE BLE 3.5.1.1 FOR ACCEP INEEN DIFFERENT ROOM	<u>SITIONS</u> SHOWN ON THIS MINAL ONLY. ION & NUMBER OF D.P'S E TO BE IN ACCORDANC 7 PART 3.5.2.5 REQUIRE NEEN DOWNPIPES MUST I NEEN DOWNPIPES MUST I NEEN DOWNPIPES MUST I N 12m & WITHIN 1.2m FRO	12.5° DEGREES, MUST B A BOX GUTTER. 75mm IN THE DIRECTION ET & SEAL WITH AN LICONE SEALANT.	A ROOF WITH, DEGREES - MUS T LESS THAN VERHANG OF N CH SIDE OFVA	TO METAL FASCIA R TO BE FIXED MAX.	ING NOTES: NLLATION ORDANCE WITH RT 3.5.2.4. DX GUTTERS DX GUTTERS
AN Scale: 24 1 : 100 -U7-05 05	ILE, FASTENER IINGS AND S. FLASHING 3.5.1.5-3.5.1.7 NLS 5.1.7 5.1.7 IIN 35mm AS PER	LLED IN 3.5.1.3. PTABLE T ROOFING. TABILITY OF FING				NGS	GLENORCHY CITY COUNCIL PLANNING SERVICES APPLICATION No PLN-23-307 APPLICATION No 18/03/2024 DATE RECEIVED

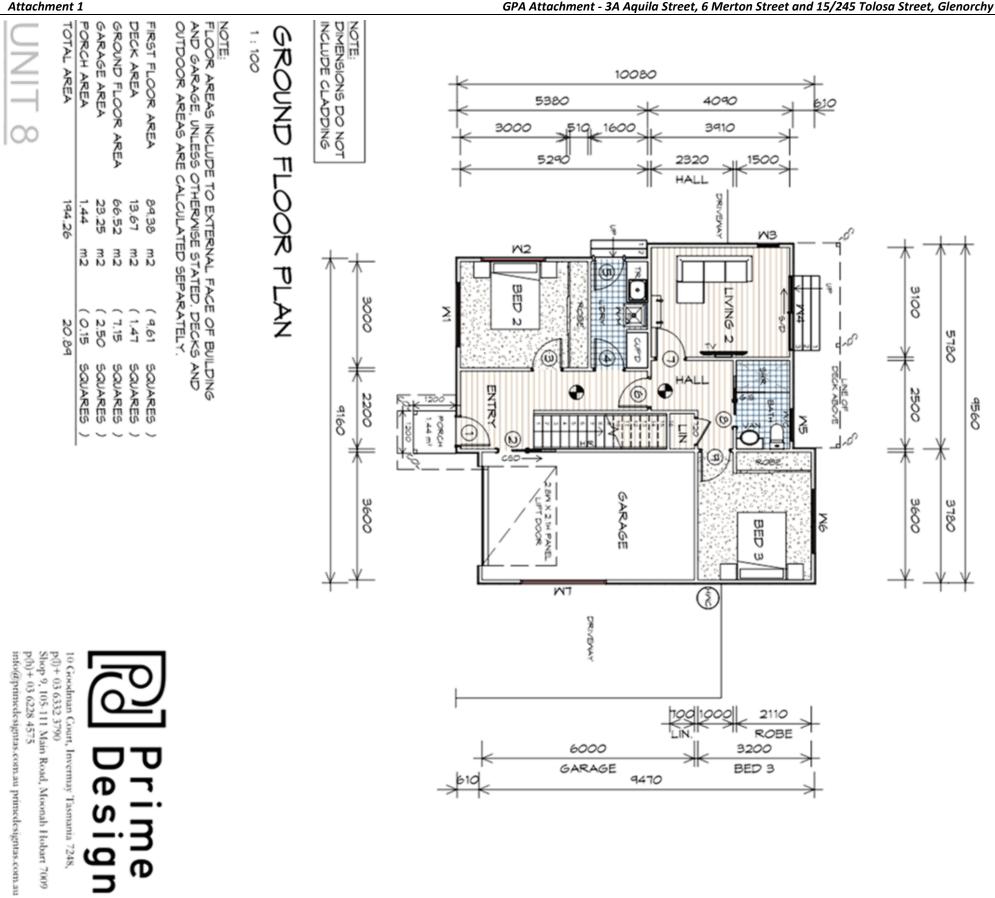






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Revision: 05	I		NT UNIT	nia 7248, i Hobart 7009	PLANNING NOTE: DO NOT SCALE OFF DRAWINGS	2024	COUNCIL VICES 3-307

Attachment 1



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- T EXHAUST FAN-VENT TO OUTSIDE AIR.
- 0 240V SMOKE ALARM
- 68 CAVITY SLIDING DOOR
- ģ SLIDING DOOR
- ŝ FLOOR WASTE

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	16	NO RISERS	
	179	RISER HT	STARS
	250	TREAD DEPTH	

GOING NON SLIP TO COMPLY NCC 2019

	GROU	GROUND FLOOR DOOR SCHEDULE	m
MARK	MIDTH	TYPE	7
1	820	EXTERNAL ENTRY DOOR	
N	820	CAVITY SLIDING DOOR	
ω	820	INTERNAL TIMBER DOOR	
4	820	INTERNAL TIMBER DOOR	
ŋ	820	EXTERNAL HALF GLASS	
6	820	INTERNAL TIMBER DOOR	
L	820	INTERNAL TIMBER DOOR	
ø	720	CAVITY SLIDING DOOR	
٩	820	INTERNAL TIMBER DOOR	

MARK	MIDTH	TYPE
	820	EXTERNAL ENTRY D
	820	CAVITY SLIDING DO
~	820	INTERNAL TIMBER D
-	820	INTERNAL TIMBER D
ų.	820	EXTERNAL HALF GL
•	820	INTERNAL TIMBER D
	820	INTERNAL TIMBER D
Ŷ	720	CAVITY SLIDING DO
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FIXED MIN	2410	600	ΓV
AWNING N	1810	1500	MG
AWNING M	010	00b	ß
SLIDING D	2110	2100	
AWNING M	610	1800	
FIXED MIN	1810	400	ž
AWNING M	1810	900 900	Ň
	MIDTH	HEIGHT	MARK
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L TIMBER	INTERNAL	820	P
SLIDING DO	CAVITY S	720	œ
L TIMBER	INTERNAL	820	L

	GROUN		GROUND FLOOR WINDOW SCHEDULE	JLE
ARK K	HEIGHT	MIDTH	TYPE	REMARKS
	900	1810	AMNING MINDOM	OPAQUE
	400	1810	FIXED WINDOW	
	1800	610	AMNING MINDOM	
	2100	2110	SLIDING DOOR	
	900	010	AMNING MINDOM	OPAQUE
	1500	1810	AMNING MINDOM	
	600	2410	FIXED WINDOW	OPAQUE

	GROOM		GROOND FLOOR MINDON BOHEDOLE	
۲	HEIGHT	MIDTH	TYPE	REMARKS
	900	1810	AMNING MINDOW	OPAQUE
	400		FIXED WINDOW	
			AMNING MINDOM	
	2100	2110	SLIDING DOOR	
	900		AMNING MINDOM	OPAQUE
	1500	1810	AMNING MINDOM	
	600		FIXED WINDOW	OPAQUE

	GROUN		GROUND FLOOR WINDOW SCHEDULE	LE
ARK	HEIGHT	MIDTH	TYPE	REMARKS
	900	1810	AMNING MINDOM	OPAQUE
	400	1810	FIXED WINDOW	
	1800	610	AMNING MINDOM	
	2100	2110	SLIDING DOOR	
	900	010	AWNING WINDOW	OPAQUE
		1810	AWNING WINDOW	
	600	2410	FIXED WINDOW	OPAQUE

	TYPE	REMARKS
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BUILDING DESIGNERS	bdaa		T UNIT	
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Drafted by: A.G.C.

Approved by: Approver

TRUST

Client name: KOOYONG DEVELOPMENT UNIT

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3A AQUILA STREET,

GLENORCHY

PROPOSED NEW UNIT

Project

Drawing: GROUND FLOOR PLAN

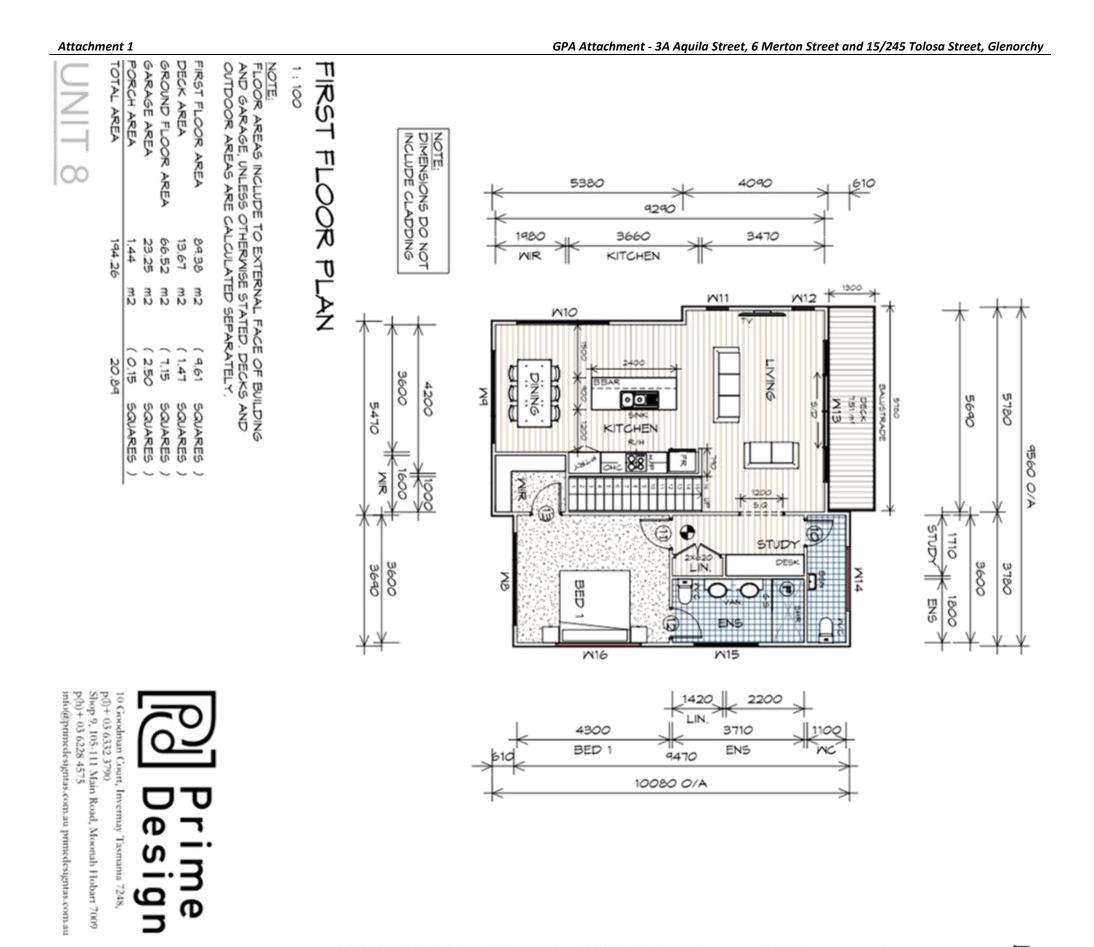
ALUMINIUM WINDOWS DOUBLE GLAZIN WITH FLY SCREENS TO SUIT TBC BAL ALL WINDOW MEASUREMENTS TO BE V PRIOR TO ORDERING

NG Complete L Rating. : Verified on site

NOTE: DO NOT SCALE OFF DRAWINGS

REMARKS

95 8 20 Ş ŝ HOT WATER CYLINDER RANGE HOOD, VENT TO OUTSIDE AIR HAND RAIL GLASS SCREEN COLUMN DATE RECEIVED APPLICATION No PLANNING SERVICES PLN-23-307 18/03/2024



-EGEND

EXHAUST FAN-VENT TO OUTSIDE AIR.

HAND RAIL

DATE RECEIVED APPLICATION No

PLANNING SERVICES

PLN-23-307 18/03/2024

COLLAN NACIO

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- 240Y UNONE ALARY
- 680 0 CAVITY SLIDING DOOR

ф ў5 8 HR.

GLASS SCREEN

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RANGE HOOD, VENT TO OUTSIDE AIR

- ŝ SLIDING DOOR
- ŝ FLOOR WASTE

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HOT WATER CYLINDER

0	NO RISERS	
179	RISER HT	STAIRS
250	TREAD DEPTH	

GOING NON SLIP TO COMPLY NCC 20 1 2

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Project/Drawing no: PD21120 -U8-02	Date: 15.01.2024	
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Drafted by: A.G.C.

Approved by: Approver

TRUST

Client name: KOOYONG DEVELOPMENT UNIT

FIRST FLOOR PLAN

3A AQUILA STREET,

GLENORCHY

PROPOSED NEW UNIT

Project:

VERIFIED ON SITE

PRIOR TO ORDERING

RATING.

ALUMINIUM WINDOWS DOUBLE GLAZING WITH FLY SCREENS TO SUIT TBC BAL I ALL WINDOW MEASUREMENTS TO BE V 5 COMPLETE

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FIXED WINDOW	MINDOM	7	DOUBLE SLIDING	AWNING WINDOW	TTE				
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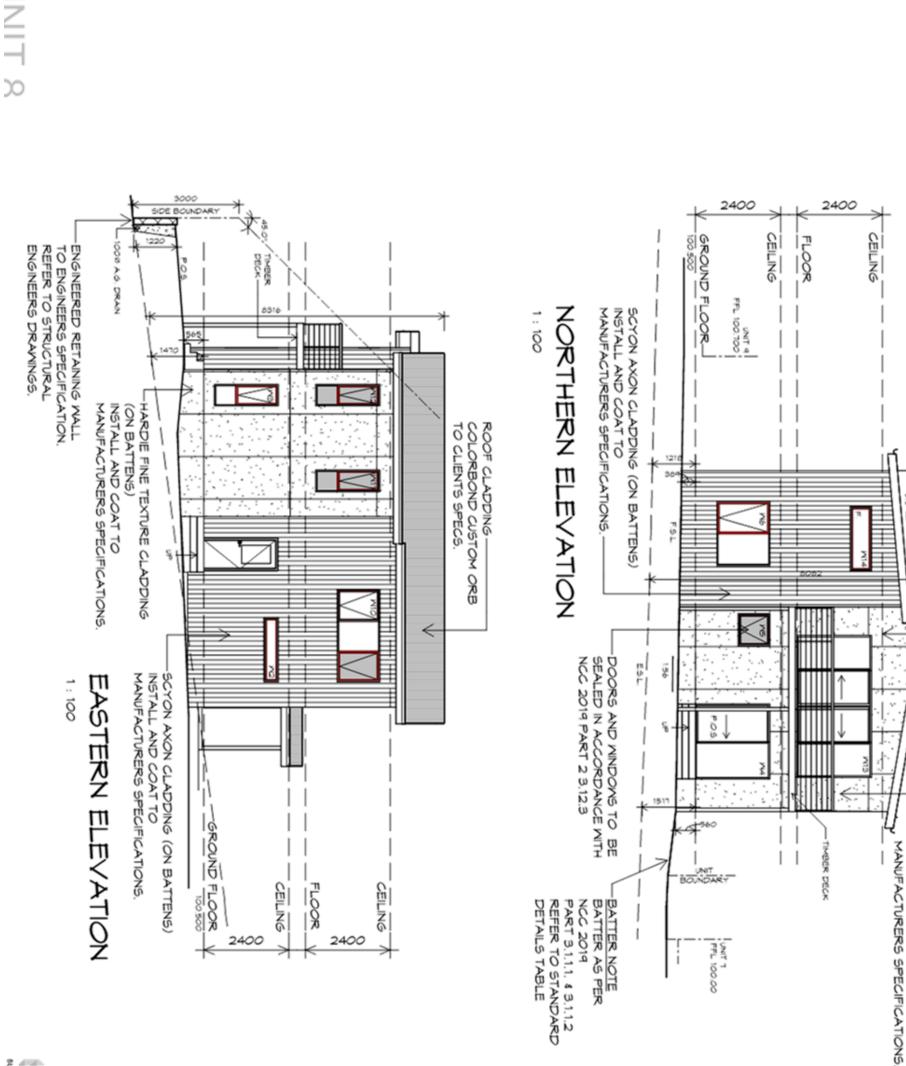
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NOTE: DO NOT SCALE OFF DRAWINGS

Attachments - Glenorchy Planning Authority - 13 May 2024





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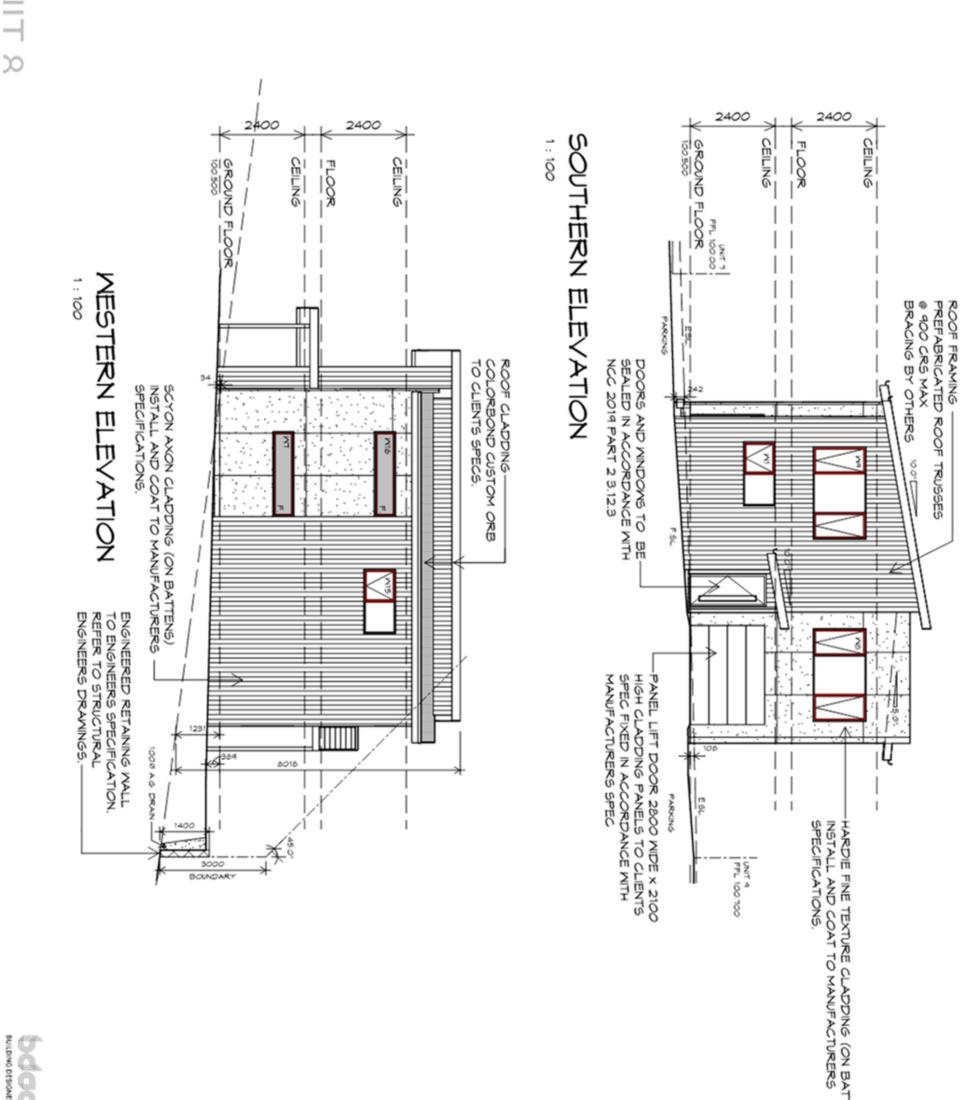
APPLICATION No PLN-23-307

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PLANNING SERVICES

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Drafted by: A.G.C. Approved by: Approver ğ BUILDING DESI

Client name: KOOYONG DEVELOPMENT UNIT

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GLENORCHY

DEVELOPMENT 3A AQUILA STREET,

Project: PROPOSED NEW UNIT

info@primedesigntas.com.au primedesigntas.com.au

p(1)+ 03 6332 3790 Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h)+ 03 6228 4575 10 Goodman Court, Invermay Tasmania 7248,

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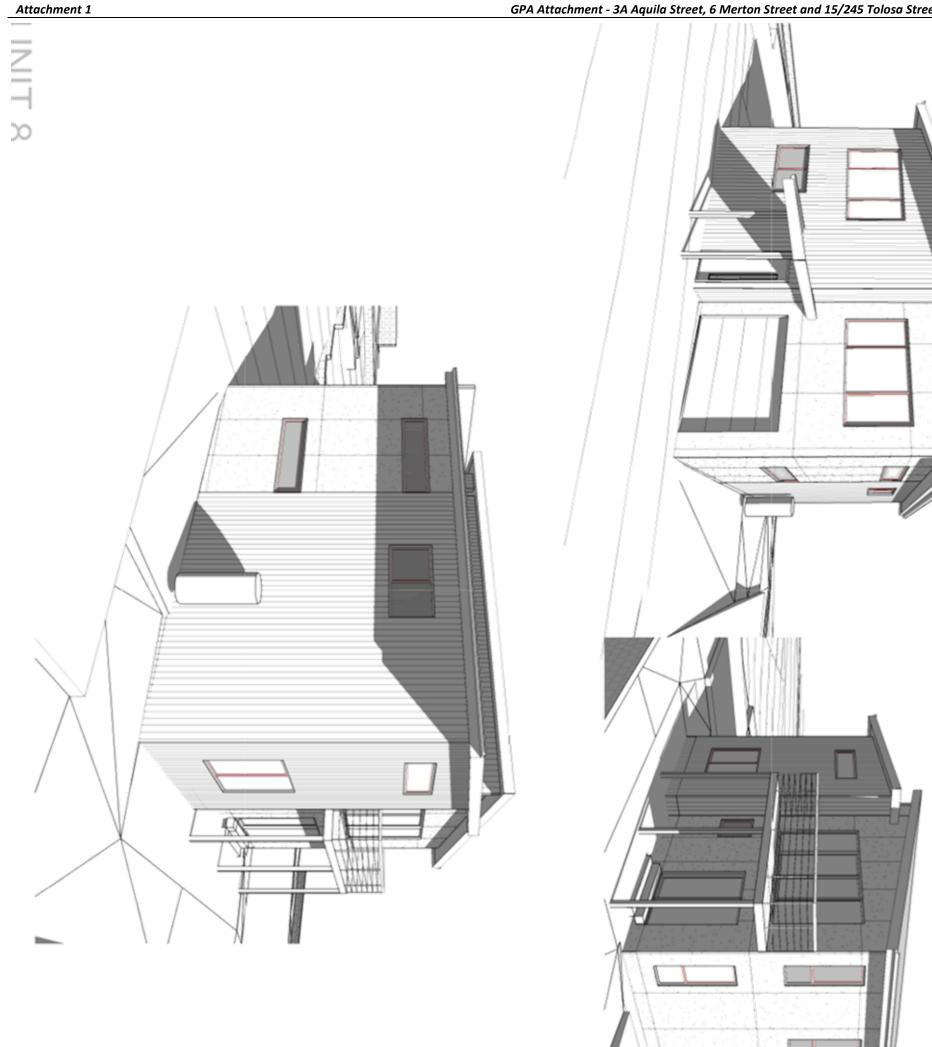
ADDITIONAL ROOF LOAD

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ROOF PLAN

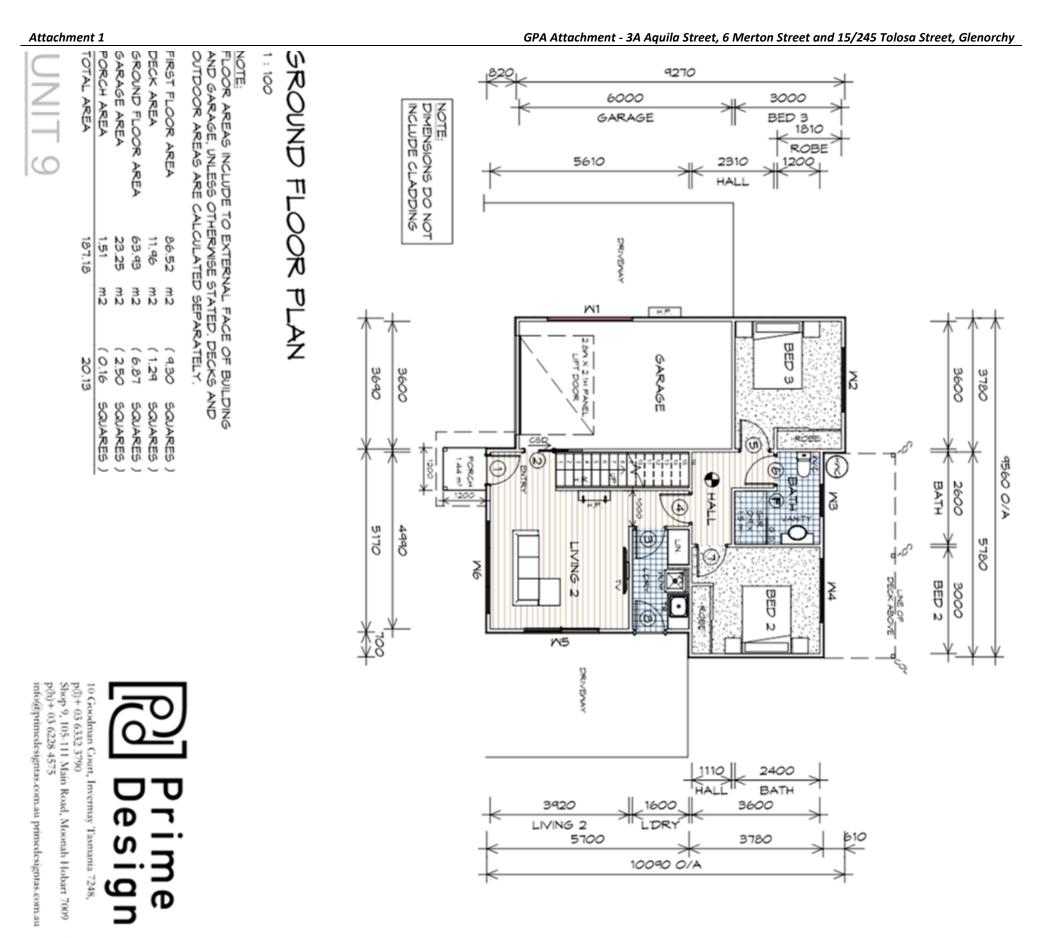
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GLENORCHY CITY COUNCIL PLANNING SERVICES APPLICATION No PLN-23-307

		Project: PROPOSED NEW UI DEVELOPMENT 3A AQUILA STREET GLENORCHY Client name: KOOYONG DEVELO TRUST Drawing: PERSPECTIVES	10 Goodman Court, Invernay Ta p(1)+ 03 6332 3790 Shop 9, 105-111 Main Road, Moo p(h)+ 03 6228 4575 info@primedesigntas.com.au pri	λ	
Revision: 05	ver	UNIT ET, .OPMENT UNIT	Tasmania 7248, Moonah Hobart 7009		ANNING TO NOT SCALE OFF DRAWINGS



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	Project/Drawing no: PD21120 -U9-01	Date: 08.01.2024
		Scale: 1 : 100
	Revision: 05	\otimes

Drafted by: A.G.C.

Approved by: Approver

TRUST

Client name: KOOYONG DEVELOPMENT UNIT

Drawing: GROUND FLOOR PLAN

3A AQUILA STREET,

GLENORCHY

PROPOSED NEW UNIT

Project:

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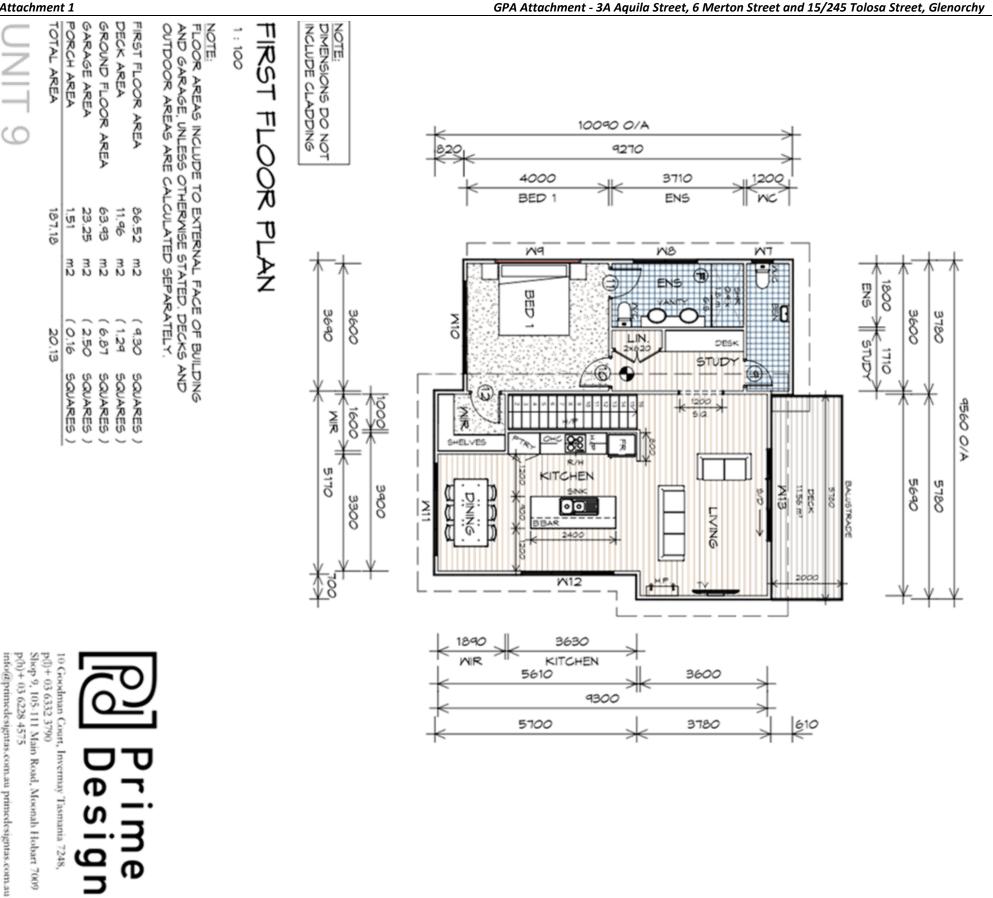
Attachments - Glenorchy Planning Authority - 13 May 2024

HOT WATER CYLINDER RANGE HOOD, VENT TO OUTSIDE AIR COLUMN HAND RA GLASS SCREEN PATE RECEIVED **APPLICATION No** PLN-23-307 18/03/2024

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Attachment 1



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Attachments - Glenorchy Planning Authority - 13 May 2024

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Client name: KOOYONG DEVELOPMENT UNIT

Date:

Drafted by: A.G.C.

Approved by: Approver

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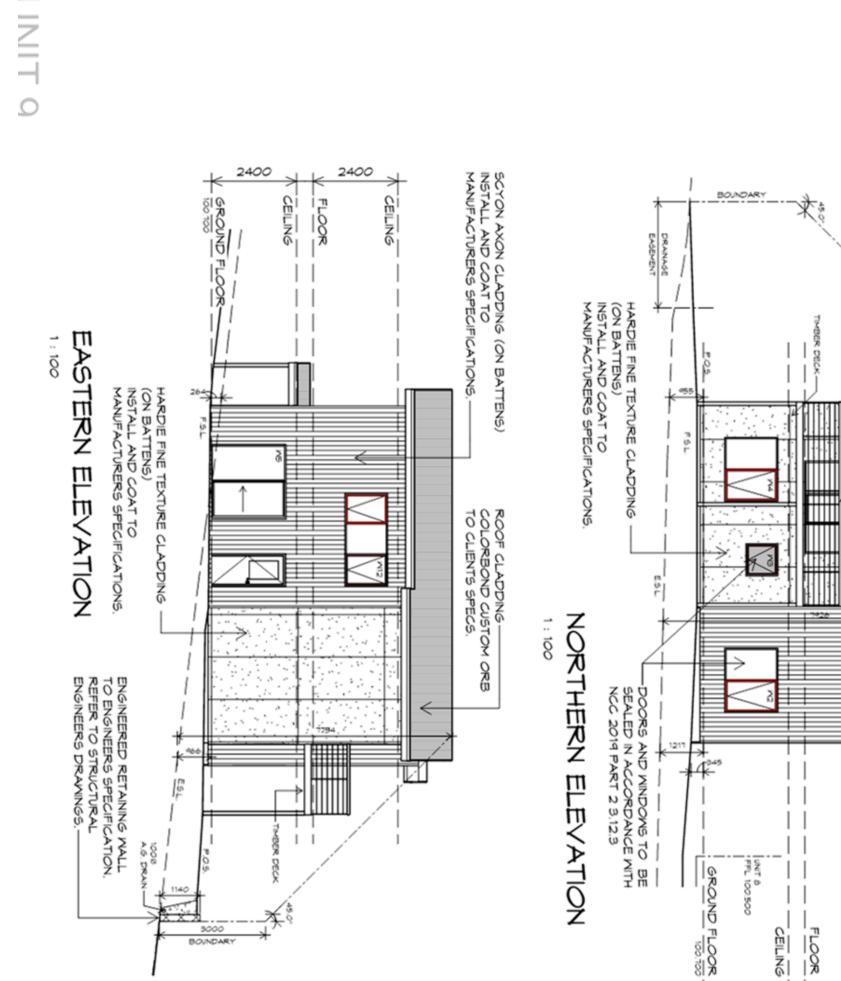
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DEVELOPMENT 3A AQUILA STREET,

Project: PROPOSED NEW UNIT

Drawing: FIRST FLOOR PLAN



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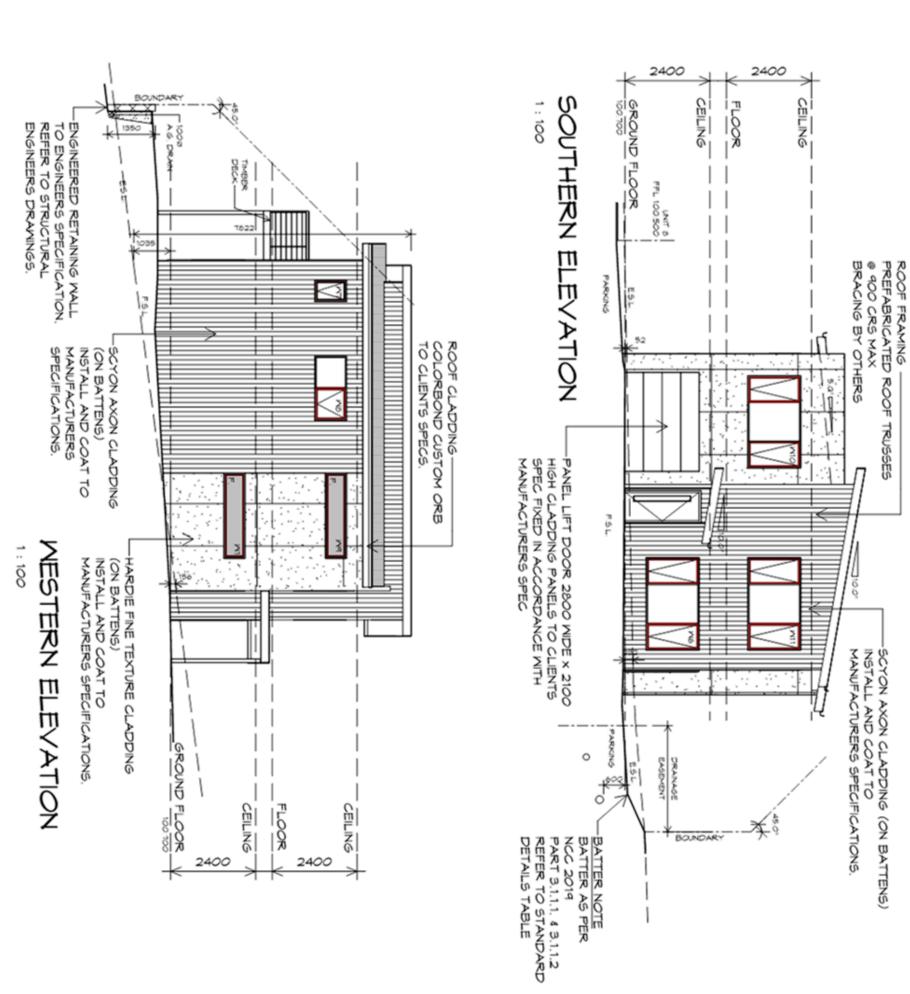
APPLICATION No PLN-23-307

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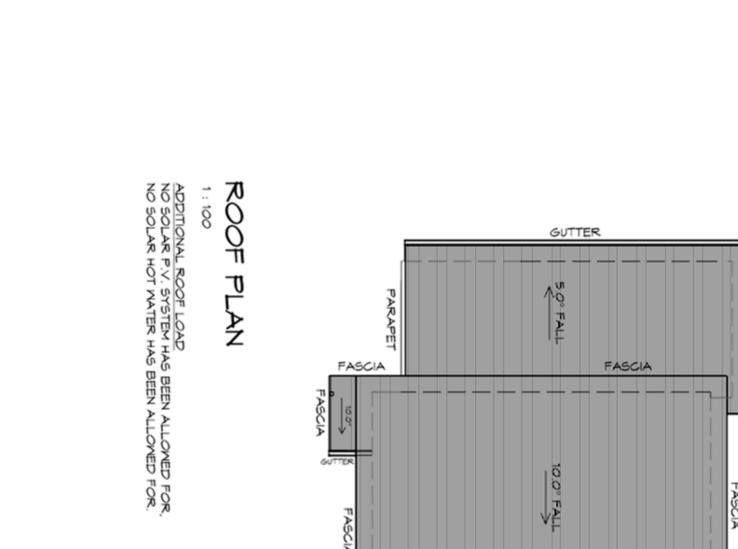
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GLENORCHY CITY COUNCIL PLANNING SERVICES

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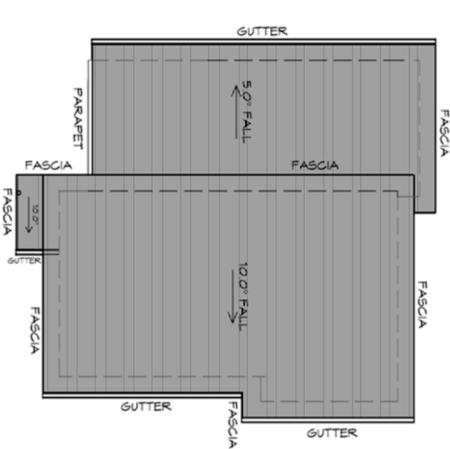
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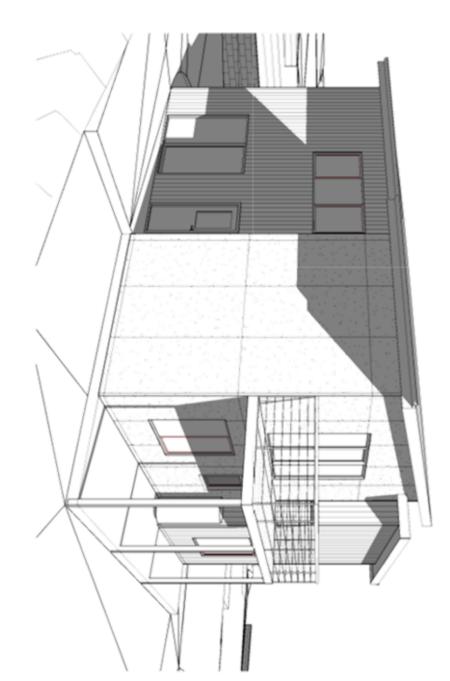
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Approved by: Approver

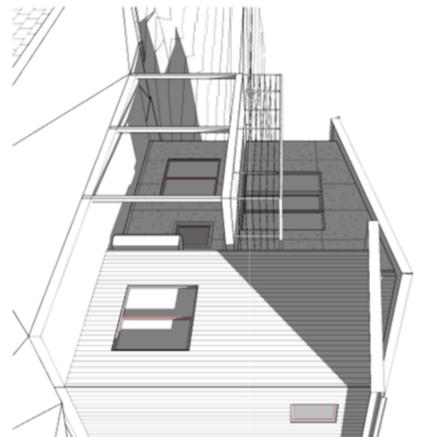


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Drawing: PERSPECTIVES Drafted by: A.G.C. Approved by: A.G.C. Approver Date: Scale: 08.01.2024 Project/Drawing no: Revision: PD21120 -U9-06 05	10 Goodman Court, Invermay Tasmania 7248, p(I) + 03 6332 3790 Shop 9, 105-111 Main Road, Moonah Hobart 7009 p(h) + 03 6228 4575 info@primedesigntas.com.au primedesigntas.com.au Project: PROPOSED NEW UNIT DEVELOPMENT 3A AQUILA STREET, GLENORCHY Client name: KOOYONG DEVELOPMENT UNIT TRUST	Prime Design		PLANNING SERVICES APPLICATION No PLN-23-307 DATE RECEIVED 18/03/2024
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Amended Submission to Planning Authority Notice

Council Planning Permit No.	PLN-23-307			Council notice date	20/11/2023		
TasWater details							
TasWater Reference No.	I WDA 2023/01607-6CC			TWDA 2023/01607-GCC Date of response Amendment date			
TasWater Contact	Phil Papps		Phone No.	Amendment date 09/02/2024 0474 931 272			
Response issued to	0						
Council name	GLENORCHY CITY	COUNCIL					
Contact details	gccmail@gcc.tas.gov.au						
Development deta							
Address	3A AQUILA ST, GLENORCHY			Property ID (PID) 2753102			
Description of development	Multiple Dwellin	gs x 9					
Schedule of drawi	ngs/documents			_			
Prepar	ed by	Drawing/d	Revision No.	Date of Issue			
Prime Design Site Plan / PD21120-01			1120-01	08	15/01/2024		
rare	Civil Plans / C503			lans / C503 1 20/1			
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Conditions							

Pursuant to the *Water and Sewerage Industry Act* 2008 (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:

CONNECTIONS, METERING & BACKFLOW

- A suitably sized water supply with metered connections and sewerage system and connections to each lot of the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit.
- Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections to existing mains must be carried out by TasWater at the developer's cost.
- Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater.

ASSET CREATION & INFRASTRUCTURE WORKS

4. The developer must design and construct an extension to TasWater's sewerage network to TasWater's satisfaction which is required to service the proposed development.

<u>Advice:</u> In accordance with TasWater's 'Developer Charges Policy' for developments located within Serviced Land where insufficient capacity is available within an existing system, the developer pays the costs of Extension, including connection, to that system to the level of capacity required to service the development.

- 5. Prior to the issue of TasWater's Engineering Design Approval the applicant must submit written consent from adjoining landowners for works to be undertaken upon their land.
- 6. Plans submitted with the application for Engineering Design Approval must, to the satisfaction of

Page 1 of 3 Version No: 0.2



TasWater show, all existing, redundant and/or proposed property services and mains.

- 7. Prior to applying for a Permit to Construct the new infrastructure the developer must obtain from TasWater Engineering Design Approval for new TasWater infrastructure. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water and sewerage to TasWater's satisfaction.
- 8. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All infrastructure works must be inspected by TasWater and be to TasWater's satisfaction.
- 9. In addition to any other conditions in this permit, all works must be constructed under the supervision of a suitably qualified person in accordance with TasWater's requirements.
- 10. Prior to the issue of a Certificate of Water and sewerage Compliance (Building and/or Plumbing) all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure required to service the development, are to be completed generally as shown on, and in accordance with, the plans listed in the schedule of drawings/documents, and are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.
- 11. After testing, to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.
- 12. At practical completion of the water and sewerage works and prior to applying to TasWater for a Certificate of Water and Sewerage Compliance (Building and/or Plumbing), the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:
 - a. Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved.
 - A request for a joint on-site inspection with TasWater's authorised representative must be made.
 - c. Security for the twelve (12) month defects liability period to the value of 10% of the works must be lodged with TasWater. This security must be in the form of a bank guarantee.
 - d. Work As Constructed drawings and documentation must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater.

Upon TasWater issuing a Certificate of Practical Completion, the newly constructed infrastructure is deemed to have transferred to TasWater.

- 13. After the Certificate of Practical Completion has been issued, a 12-month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12-month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". TasWater will release any security held for the defect's liability period.
- 14. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.
- 15. Ground levels over the TasWater assets and/or easements must not be altered without the written

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Page 2 of 3 Version No: 0.2



approval of TasWater.

DEVELOPER CHARGES

- 16. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$9,839.20 to TasWater for water infrastructure for 5.6 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
- 17. Prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing), the applicant or landowner as the case may be, must pay a developer charge totalling \$12,738.25 to TasWater for sewerage infrastructure for 7.25 additional Equivalent Tenements, indexed by the Consumer Price Index All groups (Hobart) from the date of this Submission to Planning Authority Notice until the date it is paid to TasWater.
- 18. In the event Council approves a staging plan, prior to TasWater issuing a Certificate(s) for Certifiable Work (Building) and/or (Plumbing) for each stage, the developer must pay the developer charges commensurate with the number of Equivalent Tenements in each stage, as approved by Council.

DEVELOPMENT ASSESSMENT FEES

19. The applicant or landowner as the case may be, must pay a development assessment fee of \$389.86 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit <u>https://www.taswater.com.au/building-and-development/technical-standards</u>

For application forms please visit <u>https://www.taswater.com.au/building-and-development/development-application-form</u>

Developer Charges

For information on Developer Charges please visit the following webpage -

https://www.taswater.com.au/building-and-development/developer-charges

Water Submetering

As of July 1 2022, TasWater's Sub-Metering Policy no longer permits TasWater sub-meters to be installed for new strata developments. Please ensure plans submitted with the application for Certificate(s) for Certifiable Work (Building and/or Plumbing) reflect this. For clarity, TasWater does not object to private sub-metering arrangements. Further information is available on our website (<u>www.taswater.com.au</u>) within our Sub-Metering Policy and Water Metering Guidelines.

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

TasWater Contact Details							
Phone	13 6992	Email	development@taswater.com.au				
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au				

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