

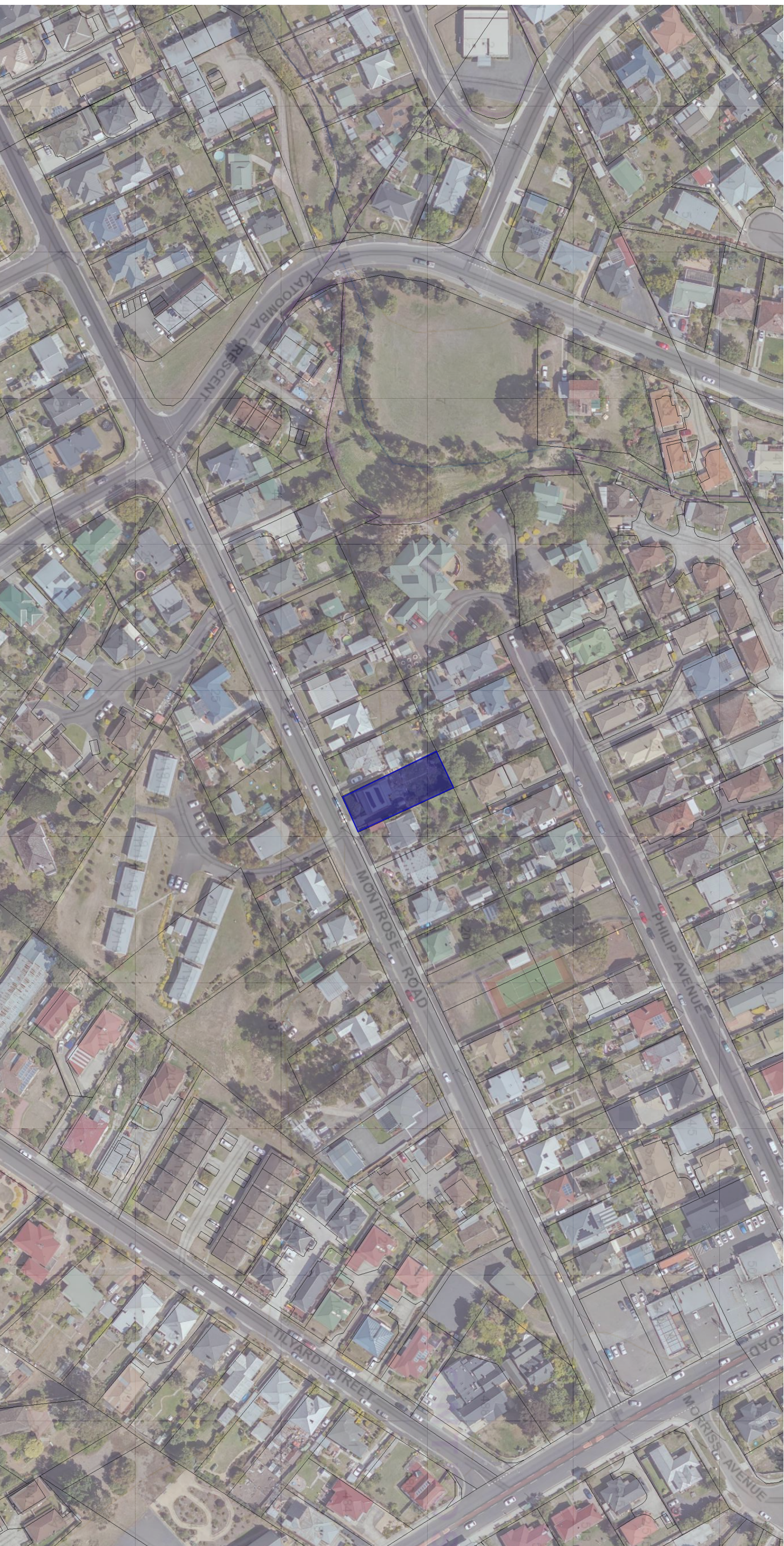
**GLENORCHY PLANNING AUTHORITY
ATTACHMENTS
MONDAY, 20 MARCH 2023**



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www.thelist.tas.gov.au

NEW HOUSE

PROJECT ADDRESS:
OWNER:
DESIGNER:

28 MONTROSE ROAD, MONTROSE, TAS 7010
TRUNG KHANG VO
SIK PONG HO, JAMES
BUILDING SERVICE PROVIDER 799235148
TAS ARCHITECT REGISTRATION NO. 1132

PLANNING SERVICES

APPLICATION No PLN-22-452
DATE RECEIVED 09 January 2023

SITE INFORMATION

PROPERTY ID: 5385528
TITLE REFERENCE: 55401/25
SITE AREA: 613m²
SITE CLASSIFICATION: CLASS M
WIND CLASSIFICATION: N2
WIND REGION: A
TERRAIN CATEGORY: 2.5
SHIELDING CLASSIFICATION: PS
TOPOGRAPHIC CLASSIFICATION: T1
DESIGN WIND GUST SPEED (Vh, u): 40 M/SEC

DRAWING SCHEDULE

10722_DA01 SITE PLAN & NOTES
10722_DA02 PROPOSED FLOOR PLANS
10722_DA03 PROPOSED FLOOR PLANS
10722_DA04 PROPOSED ELEVATIONS
10722_DA05 PROPOSED ELEVATIONS
10722_DA06 PROPOSED SECTIONS

TASMANIAN PLANNING SCHEME
GLENORCHY

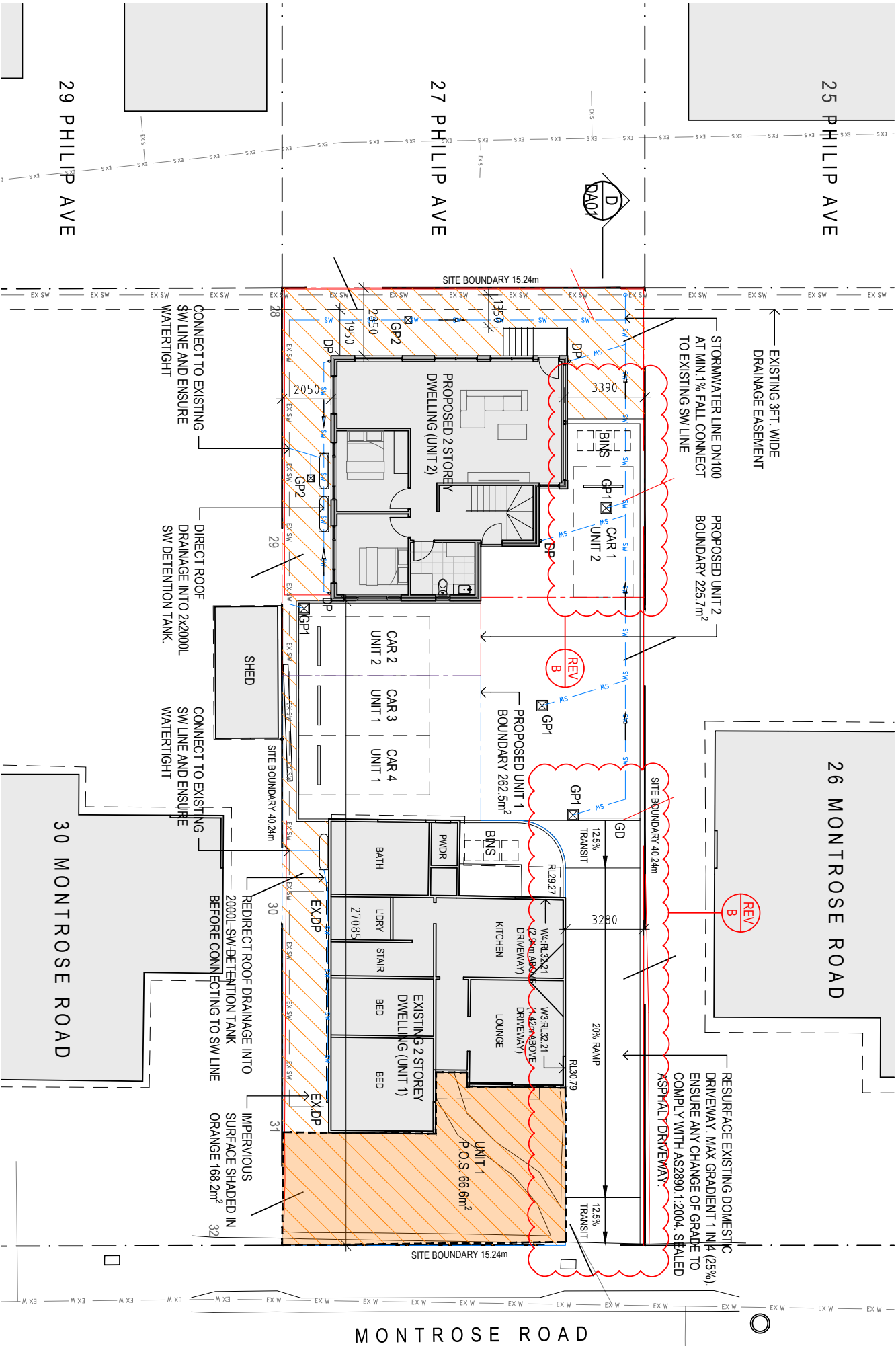
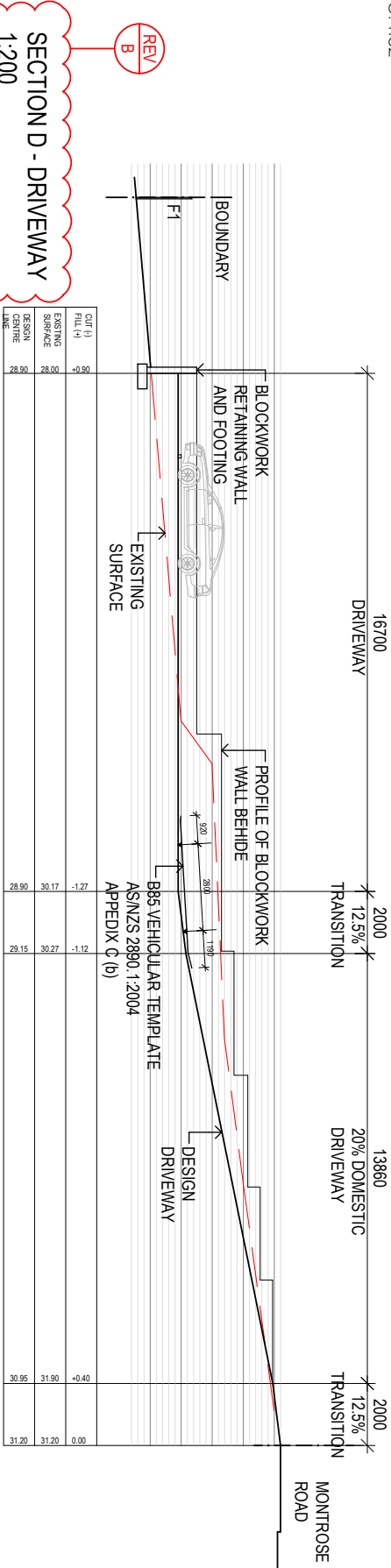
ZONING:
8.0 GENERAL RESIDENTIAL

USE CLASS:
RESIDENTIAL DWELLING (CLASS 1a)

SITE COVERAGE
EXISTING HOUSE 105m²
NEW DWELLING 92m²
= 197 / 613
= 41.60% (<50%)
IMPERVIOUS SURFACE 155.7/613
= 25.40% (>25%)

SITE PLAN
1:200

HYDRAULIC KEY
— EX S — EXISTING TANK WATER SEWER LINE
— EX SW — EXISTING COUNCIL STRAWWATER
— SW — PROPOSED Ø100 UPVC STORMWATER LINE, min 1.5% FALL
P 0890 DOWNPIPE
D GRADED DRAIN TRAFFICABLE
P GRADED DRAIN UPVC PIT
P1 450x450 GRADED UPVC PIT TRAFFICABLE



PROJECT ADDRESS
28 MONTROSE ROAD,
MONTROSE, TAS 7010

PROJECT NUMBER
JHA_007_22

DRAWING TITLE
SITE PLAN & NOTES

REV NO. B

SCALE AS SHOWN @A3

DRAWN BY JH

CHECK BY -

DATE SEPTEMBER 202

PROJECT TITLE
NEW HOUSE

REVISION
A DA RFI 15.12.21
B DA RFI DRIVEWAY 09.01.2

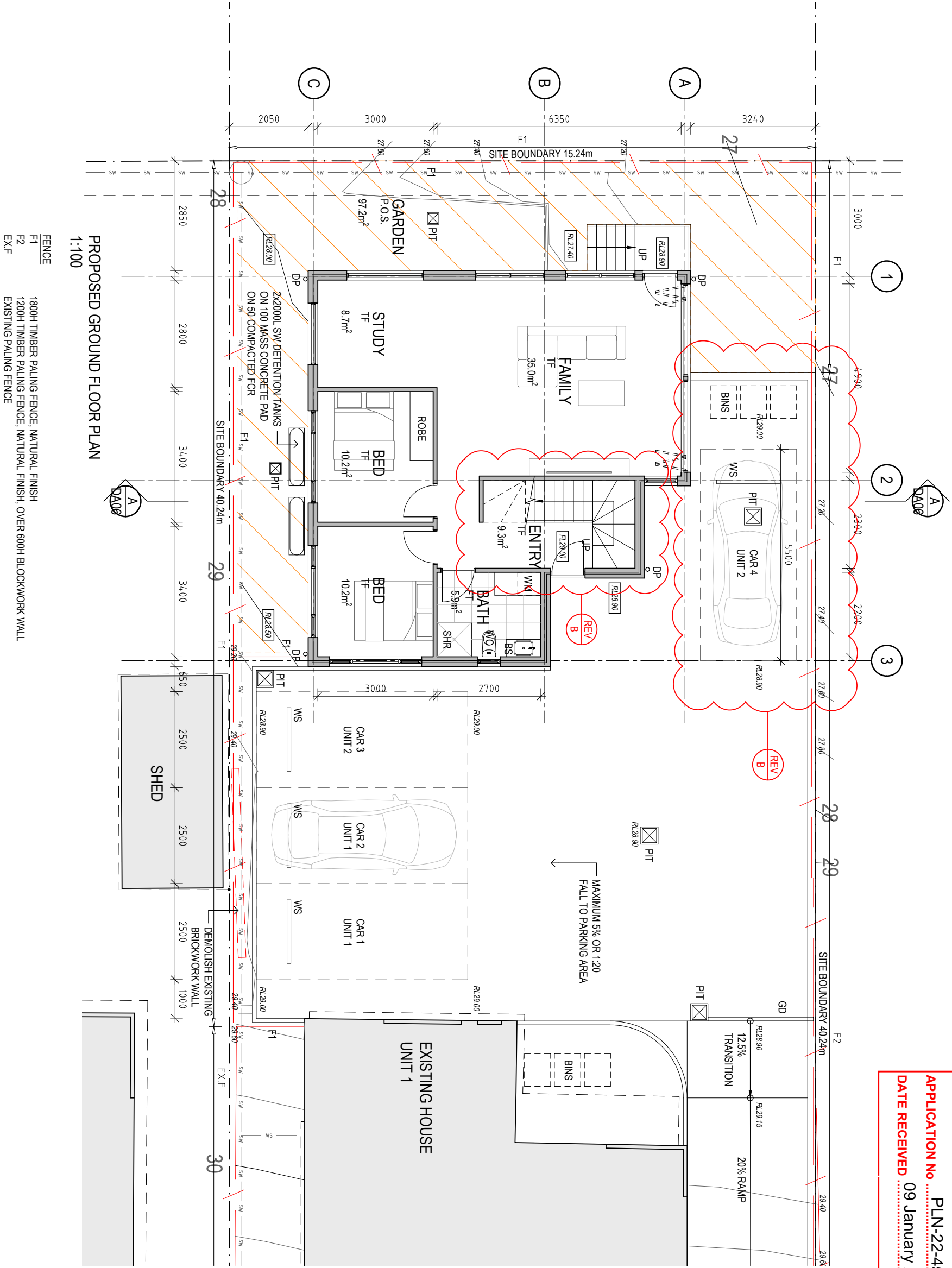
CONTRACTOR SHALL VERIFY ALL
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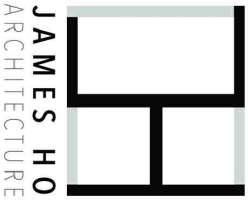
JAMES HO
ARCHITECTURE

PROJECT NORTH

DA



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION NO. PLN-22-452
DATE RECEIVED 09 January 2023



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REVISION	
A	DA RFI 15.12.21
B	DA RFI DRIVEWAY 09.01.22

PROJECT TITLE
NEW HOUSE

PROJECT ADDRESS
28 MONTROSE ROAD,
MONTROSE, TAS 7010

PROJECT NUMBER
JHA_007_22

DRAWING TITLE
PROPOSED PLANS

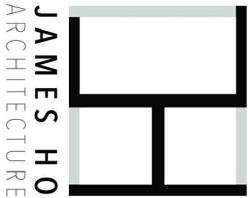
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SCALE	AS SHOWN @A3
DRAWN BY	JH
CHECK BY	-
DATE	SEPTEMBER 2022

DRAWING KEY	
BS	BASIN
C	CONCRETE
CA	CARPET
CDP	CUPBOARD
FT	FLOOR TILE
GB	GARDEN BED
SHR	SHOWER
TF	TIMBER FLOORING
WC	TOILET SUITE
WM	WASHING MACHINE
WS	WHEELSTOP FULLY COMPLY WITH AS/NZS2890.1:2004 2.4.5

PROJECT NORTH



GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-22-452
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PROJECT TITLE
NEW HOUSE

PROJECT ADDRESS
28 MONTROSE ROAD,
MONTROSE, TAS 7010

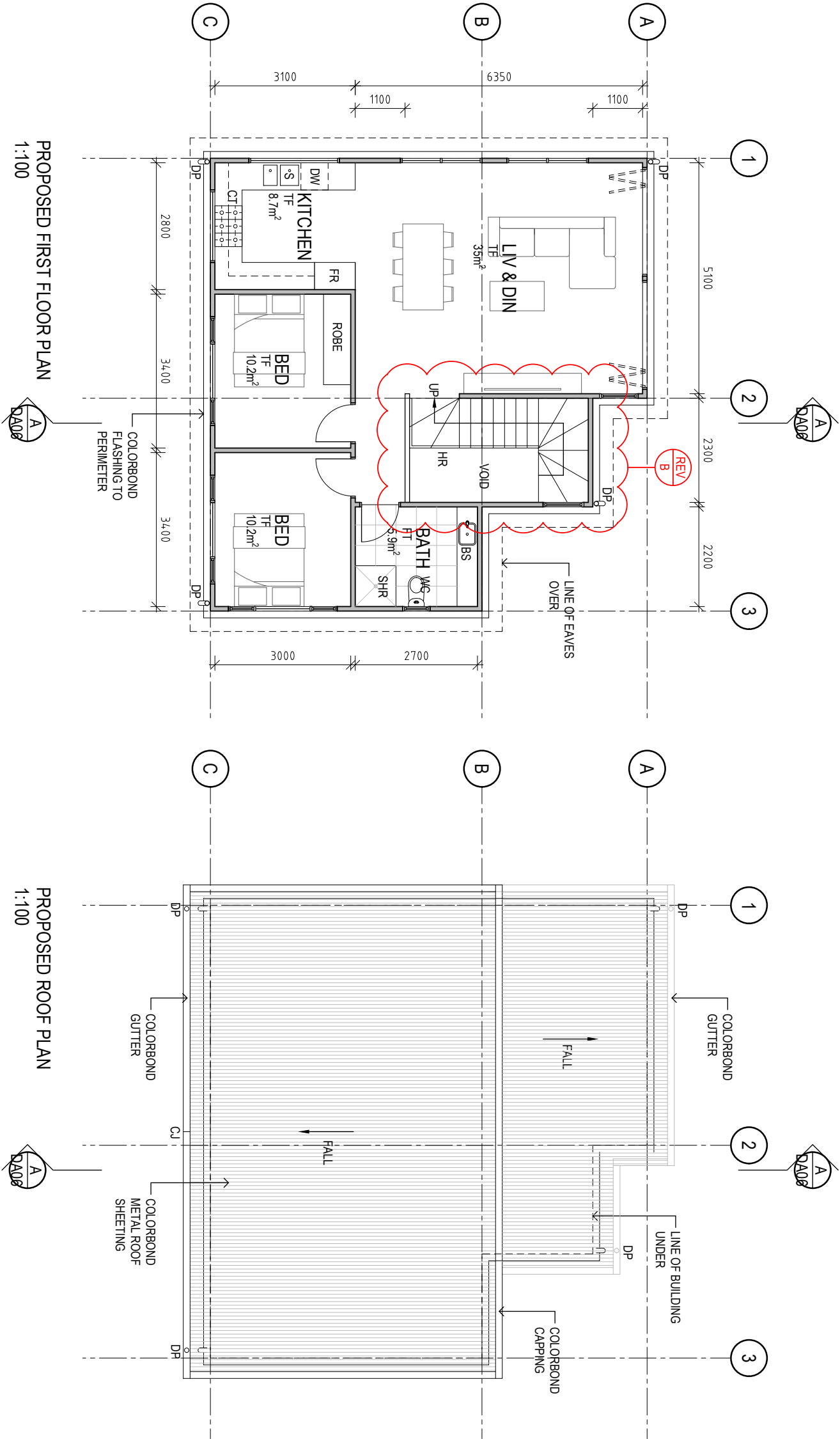
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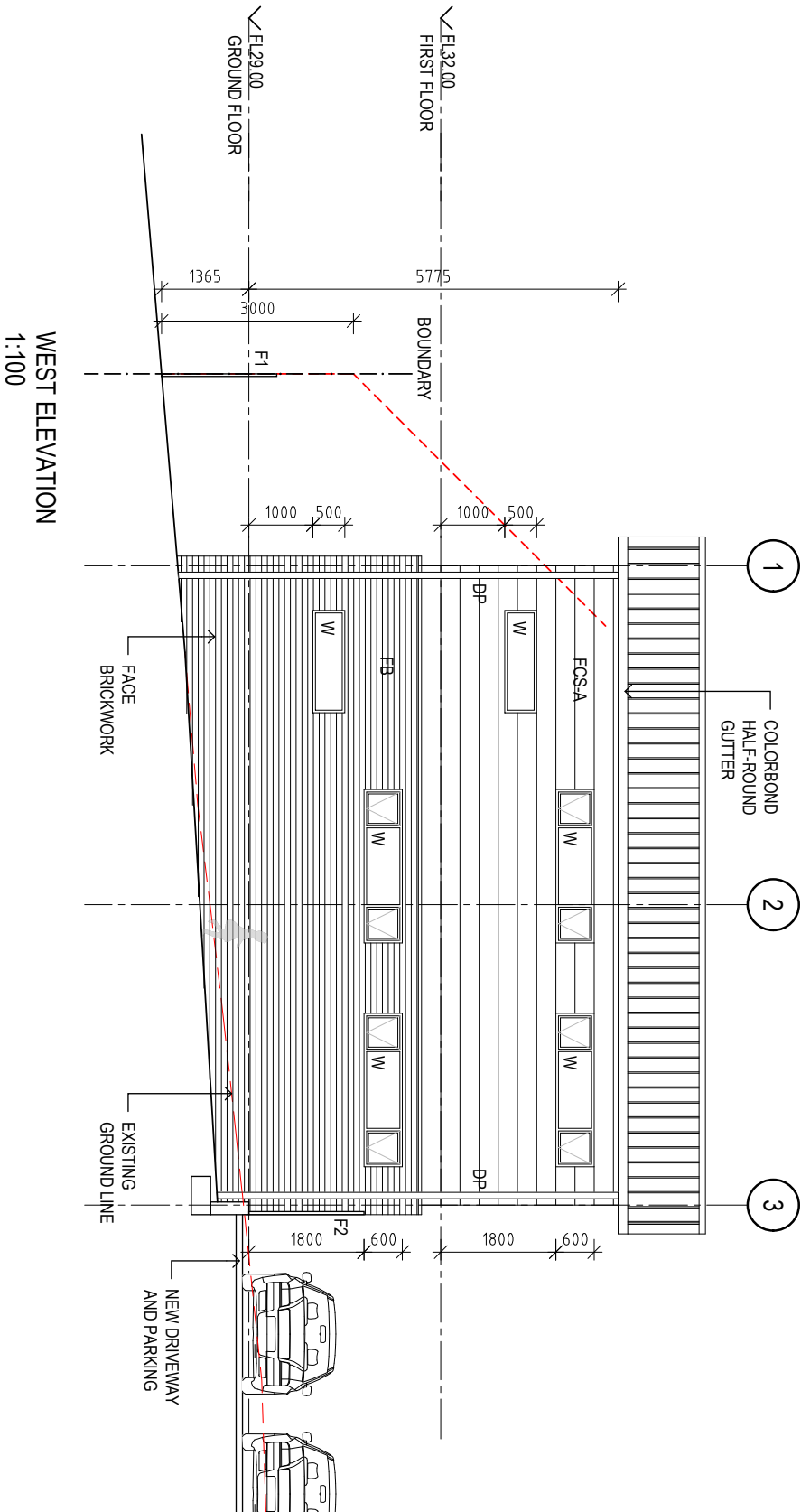
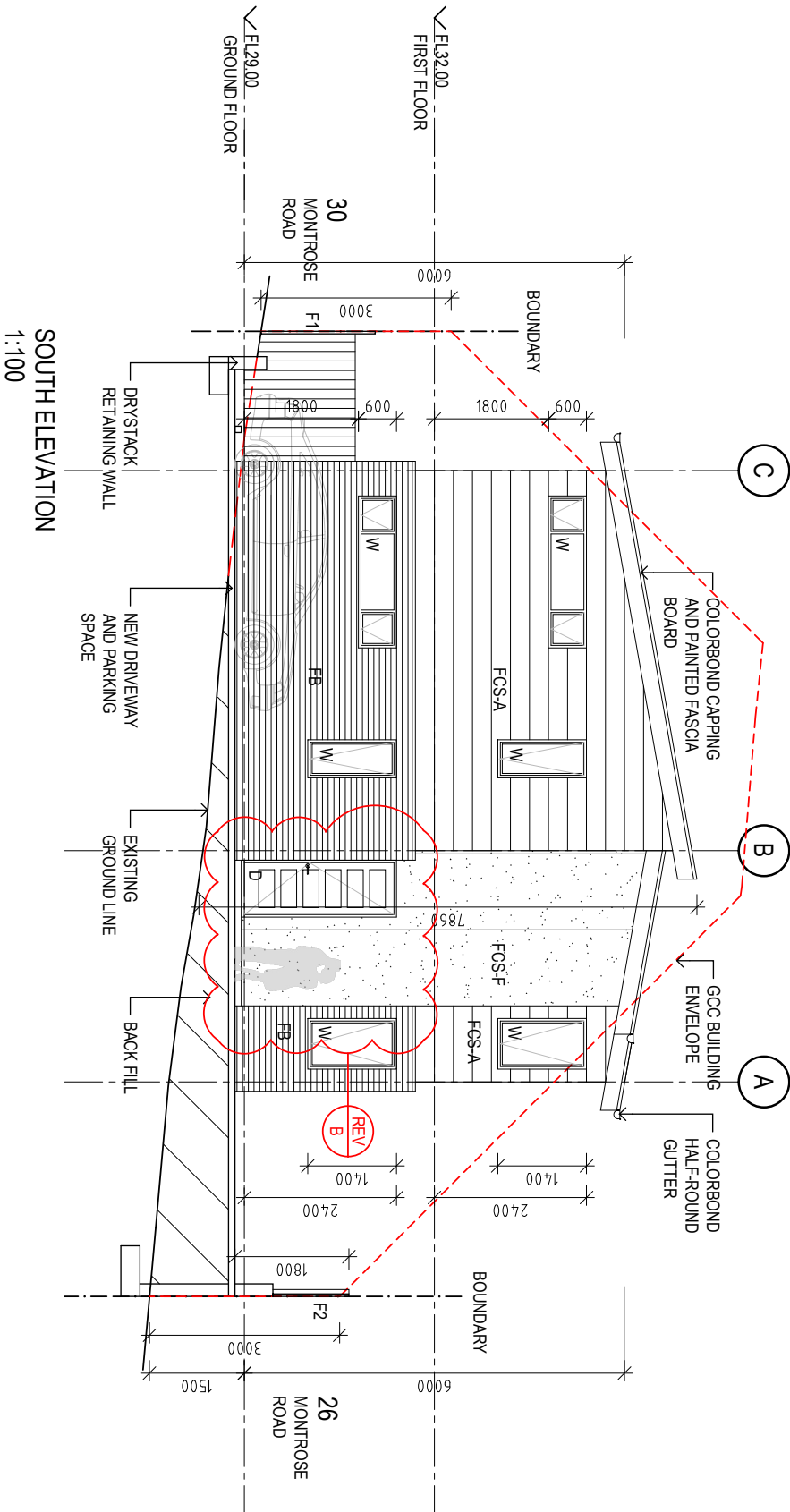
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PROPOSED PLANS

REV NO.	B
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DATE	SEPTEMBER 2022

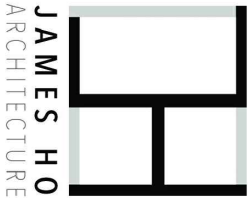
DRAWING KEY	
BS	BASIN
CA	CARPET
CPD	CUPBOARD
CT	COOKTOP
DP	DOWNPIPE
DW	DISHWASHER
FT	FLOOR TILE
FR	FRIDGE
S	SINK
SHR	SHOWER
TF	TIMBER FLOORING
WC	TOILET SUITE
WM	WASHING MACHINE

PROJECT NORTH





GLENORCHY CITY COUNCIL
PLANNING SERVICES
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28 MONTROSE ROAD,
MONTROSE, TAS 7010

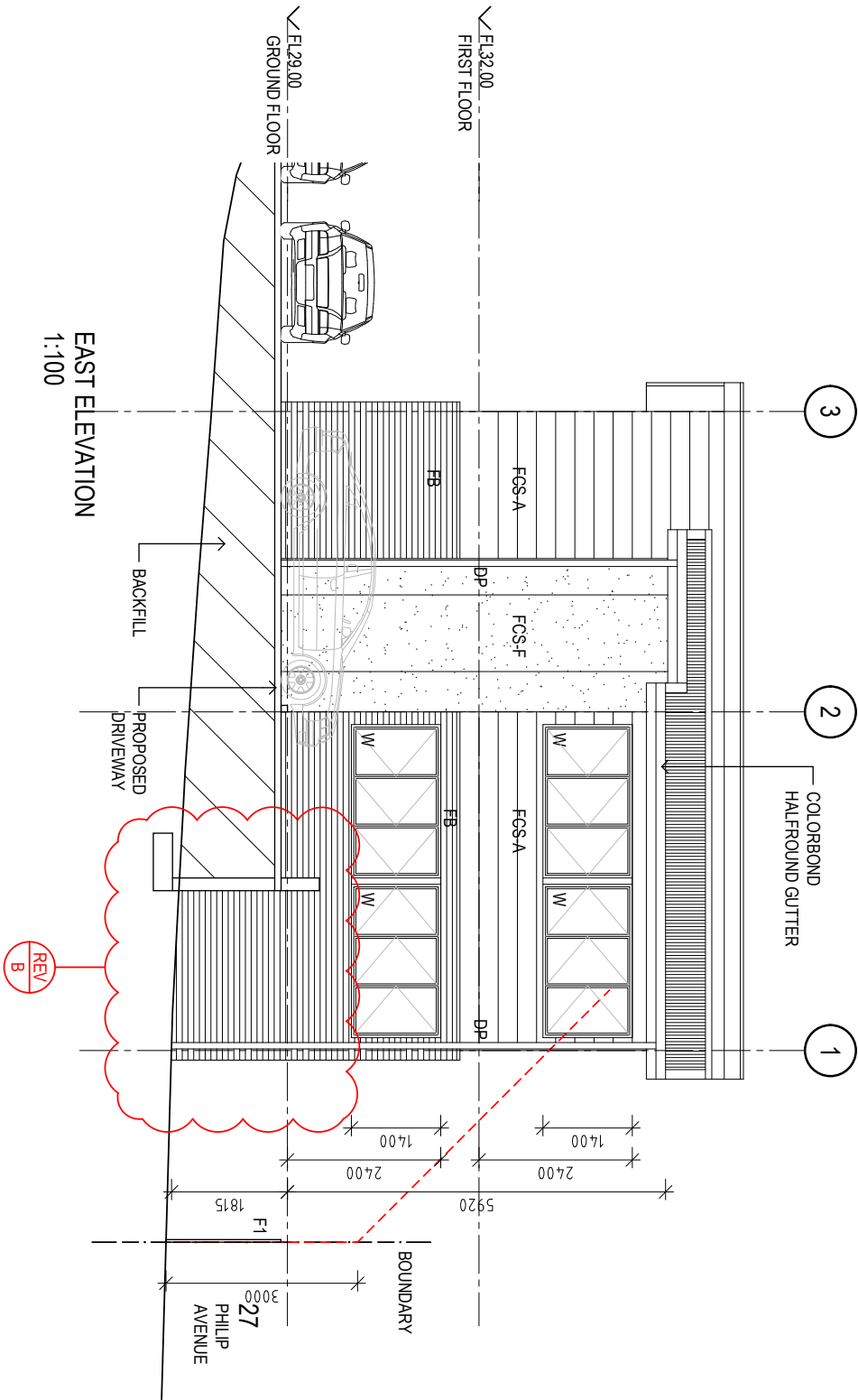
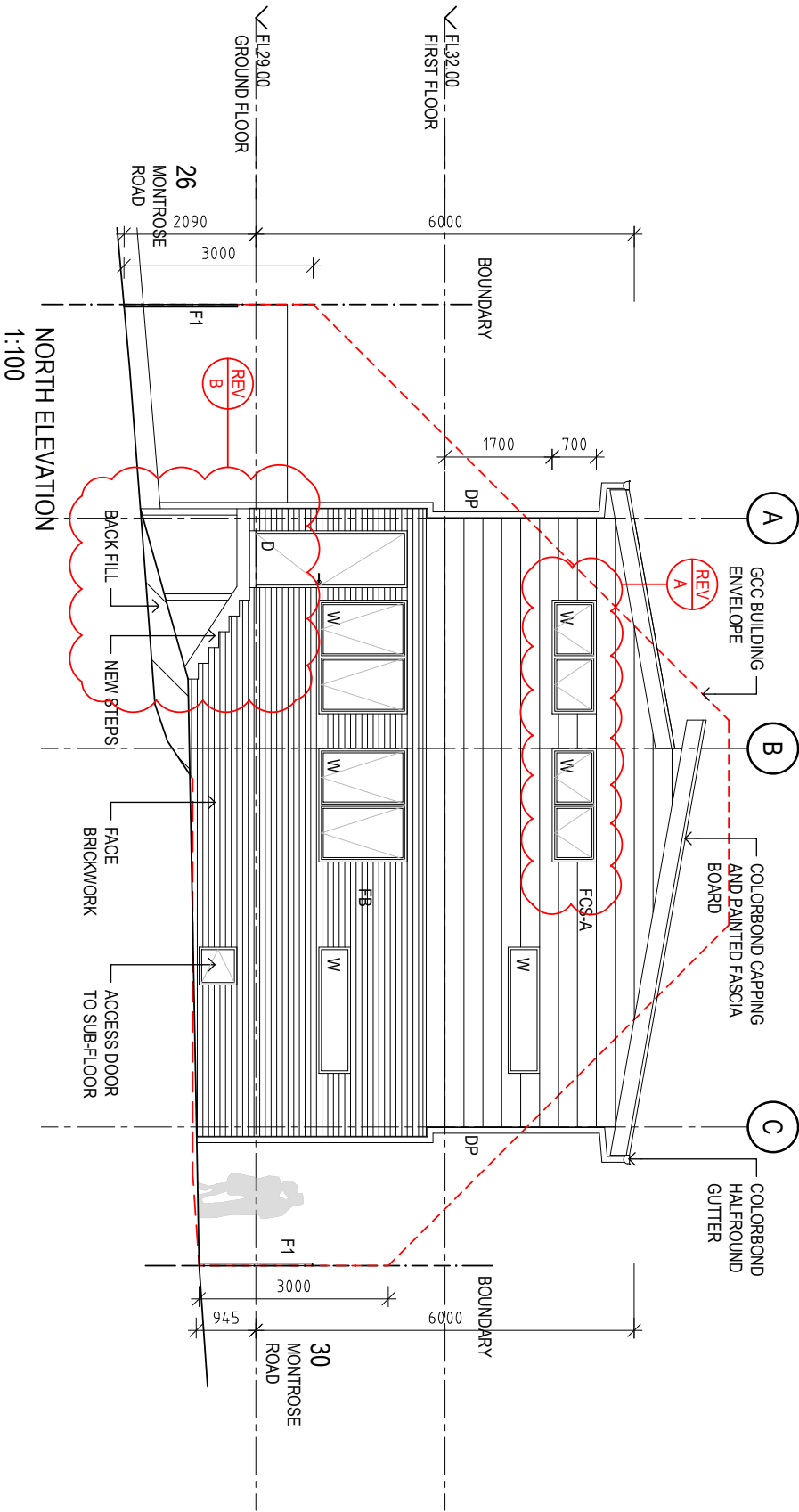
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JHA_007_22

DRAWING TITLE
PROPOSED ELEVATIONS

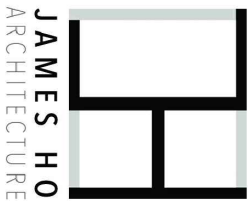
REV NO.	B
SCALE	AS SHOWN @A3
DRAWN BY	JH
CHECK BY	-
DATE	SEPTEMBER 2022

DRAWING KEY	
D	DOOR
DP	DOWNPIPE
FB	FACE BRICKWORK
FCS-A	JAMES HARDIE SCYON AXON GROVE CLADDING SYSTEM
FCS-S	JAMES HARDIE STRIA 325MD CLADDING SYSTEM
W	POWERCOATED ALUMINIUM PAINTED WINDOWS





GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-22-452
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PROJECT TITLE
NEW HOUSE

PROJECT ADDRESS
28 MONTROSE ROAD,
MONTROSE, TAS 7010

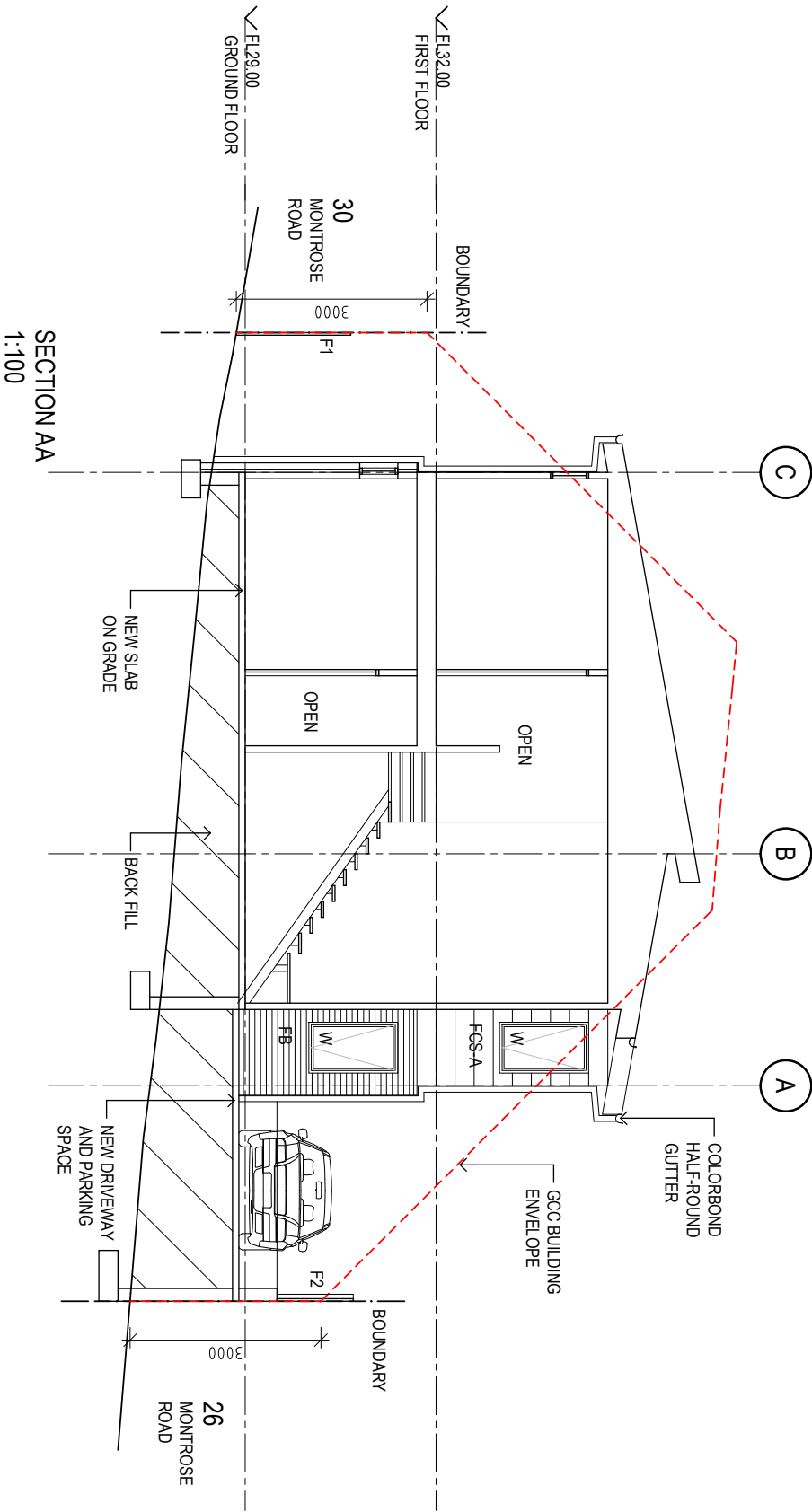
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PROPOSED ELEVATIONS

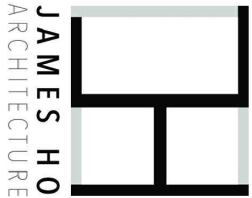
REV NO.	B
SCALE	AS SHOWN @A3
DRAWN BY	JH
CHECK BY	-
DATE	SEPTEMBER 2022

DRAWING KEY	
D	DOOR
DP	DOWNPIPE
FB	FACE BRICKWORK
FCS-F	JAMES HARDIE FINE TEXTURE CLADDING SYSTEM
FCS-S	JAMES HARDIE STRIA 325WID CLADDING SYSTEM
W	POWERCOATED ALUMINIUM FINED WINDOWS





GLENORCHY CITY COUNCIL
PLANNING SERVICES
APPLICATION No PLN-22-452
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B	DA RFI DRIVEWAY	09.01.22

PROJECT TITLE
NEW HOUSE

PROJECT ADDRESS
28 MONTROSE ROAD,
MONTROSE, TAS 7010

PROJECT NUMBER
JHA_007_22

DRAWING TITLE
PROPOSED SECTIONS

REV NO.	B
SCALE	AS SHOWN @A3
DRAWN BY	JH
CHECK BY	-
DATE	SEPTEMBER 2022

DRAWING KEY	
D	DOOR
DP	DOWNPIPE
FB	FACE BRICKWORK
FCS-F	JAMES HARDIE FINE TEXTURE CLADDING SYSTEM
FCS-S	JAMES HARDIE STRIA 325WID CLADDING SYSTEM
W	POWDERCOATED ALUMINIUM FINED WINDOWS





Submission to Planning Authority Notice

Council Planning Permit No.	PLN-22-452	Council notice date	2/11/2022
TasWater details			
TasWater Reference No.	TWDA 2022/01783-GCC	Date of response	4/11/2022
TasWater Contact	Ethar Rababah	Phone No.	0499 860 609
Response issued to			
Council name	GLENORCHY CITY COUNCIL		
Contact details	gccmail@gcc.tas.gov.au		
Development details			
Address	28 MONTROSE RD, MONTROSE	Property ID (PID)	5385528
Description of development	Multiple Dwellings x 2		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
JAMES HO ARCHITECTURE	Site plan and notes	-	September 2022
Conditions			
<p>SUBMISSION TO PLANNING AUTHORITY NOTICE OF PLANNING APPLICATION REFERRAL</p> <p>Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p>CONNECTIONS, METERING & BACKFLOW</p> <ol style="list-style-type: none"> 1. A suitably sized water supply with metered connection and sewerage system and connection to the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. 3. Prior to commencing construction /use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. <p>DEVELOPMENT ASSESSMENT FEES</p> <ol style="list-style-type: none"> 4. The applicant or landowner as the case may be, must pay a development assessment fee of \$226.71 to TasWater, as approved by the Economic Regulator and the fee will be indexed, until the date paid to TasWater. <p>The payment is required within 30 days of the issue of an invoice by TasWater.</p>			
Advice			
<p>General</p> <p>For information on TasWater development standards, please visit https://www.taswater.com.au/building-and-development/technical-standards</p> <p>For application forms please visit https://www.taswater.com.au/building-and-development/development-application-form</p>			



Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit www.taswater.com.au/Development/Service-location for a list of companies.
- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

Declaration

The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

NEW HOUSE

PROJECT ADDRESS:
OWNER:
DESIGNER:

28 MONTROSE ROAD, MONTROSE, TAS 7010
TRUNG KHANG VO
SIK PONG HO, JAMES
BUILDING SERVICE PROVIDER 799235148
TAS ARCHITECT REGISTRATION NO. 1132

SITE INFORMATION

PROPERTY ID: 5385528
TITLE REFERENCE: 55401/25
SITE AREA: 613m²
SITE CLASSIFICATION: CLASS M
WIND CLASSIFICATION: N2
WIND REGION: A
TERRAIN CATEGORY: 2.5
SHIELDING CLASSIFICATION: PS
TOPOGRAPHIC CLASSIFICATION: T1
DESIGN WIND GUST SPEED (V_n, u): 40 M/SEC

DRAWING SCHEDULE

10722_DA01 SITE PLAN & NOTES
10722_DA02 PROPOSED FLOOR PLANS
10722_DA03 PROPOSED FLOOR PLANS
10722_DA04 PROPOSED ELEVATIONS
10722_DA05 PROPOSED ELEVATIONS
10722_DA06 PROPOSED SECTIONS

TASMANIAN PLANNING SCHEME
GLENORCHY

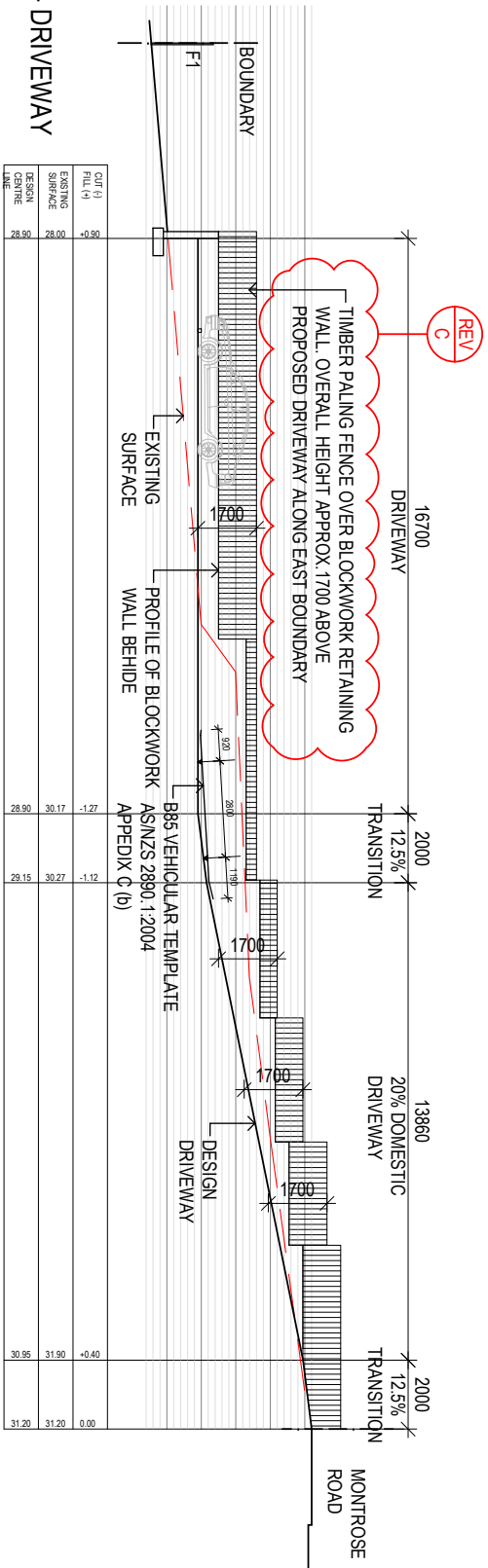
ZONING:
8.0 GENERAL RESIDENTIAL

USE CLASS:
RESIDENTIAL DWELLING (CLASS 1a)

SITE COVERAGE
EXISTING HOUSE 105m²
NEW DWELLING 92m²
= 41.60% (<50%)
IMPERVIOUS SURFACE 155.7/613
= 25.40% (>25%)

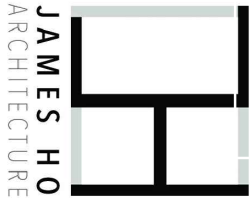
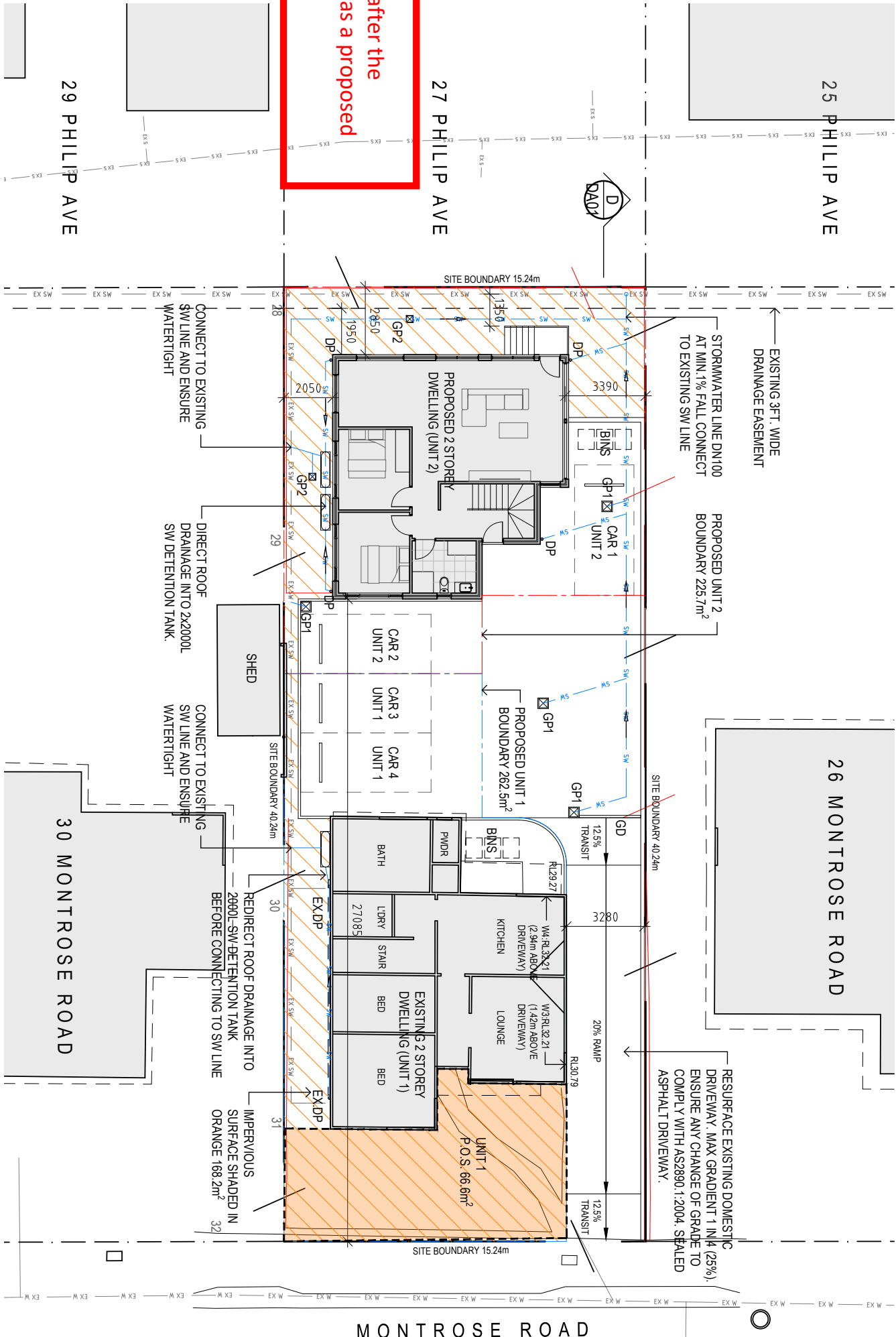
These plans have been received after the application has been advertised, as a proposed modification.

SECTION D - DRIVEWAY
1:200



HYDRAULIC KEY
EX S EXISTING TANK/SEWER LINE
EX SW EXISTING COUNCIL STRAWWATER
SW PROPOSED 100UPVC STORMWATER LINE, min 1.5% FALL
P 090 DOWNPIPE
D GRADED DRAIN TRAFFICABLE
P GRADED DRAIN TRAFFICABLE
P1 450/450 GRADED UPVC PIT TRAFFICABLE

SITE PLAN
1:200



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REVISION

A DA RFI 15.12.21
B DA RFI DRIVEWAY 09.01.22
C DA RFI 03.02.22

PROJECT TITLE
NEW HOUSE

PROJECT ADDRESS
28 MONTROSE ROAD,
MONTROSE, TAS 7010

PROJECT NUMBER
JHA_007_22


DRAWING TITLE
SITE PLAN & NOTES

REV NO. C
SCALE AS SHOWN @A3
DRAWN BY JH
CHECK BY -
DATE SEPTEMBER 2022

PROJECT NORTH



DA



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REVISION

A

DA RFI

15.12.22

B

DA RFI DRIVEWAY

09.01.21

C

DA RFI

03.02

PROJECT TITLE

NEW HOUSE

PROJECT ADDRESS

28 MONTROSE ROAD,
MONTROSE, TAS 7010

PROJECT NUMBER

JHA_007_22

DRAWING TITLE

PROPOSED PLANS

REV NO.

C

SCALE

AS SHOWN @A3

DRAWN BY

JH

CHECK BY

-

DATE

SEPTEMBER 2022

DRAWING KEY

BS

BASIN

C

CONCRETE

CA

CARPET

CPD

CURBARD

FT

FLOOR TILE

GB

GARDENBED

LB

LETTERBOX

SHR

SHOWER

TF

TIMBER FLOORING

WC

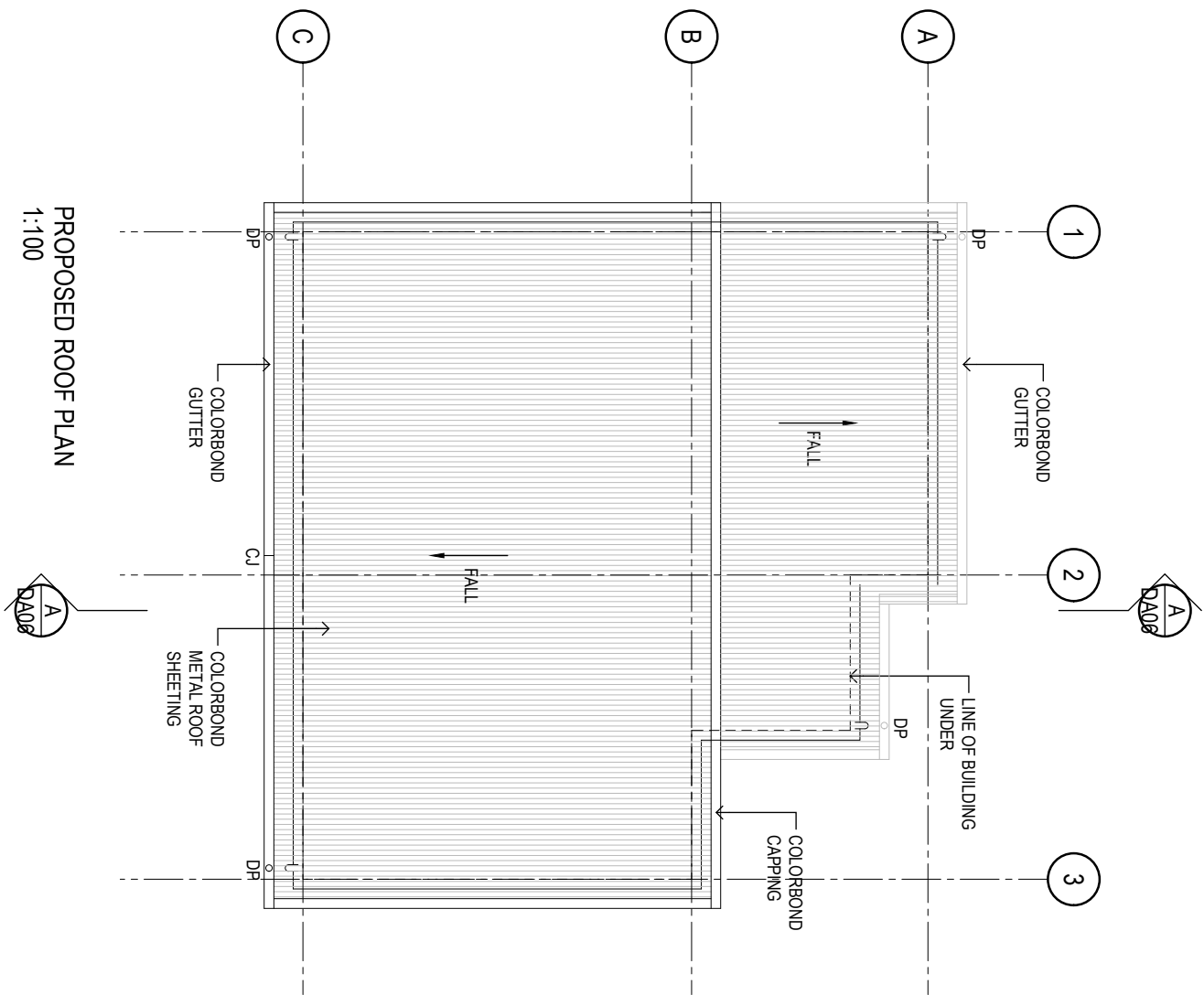
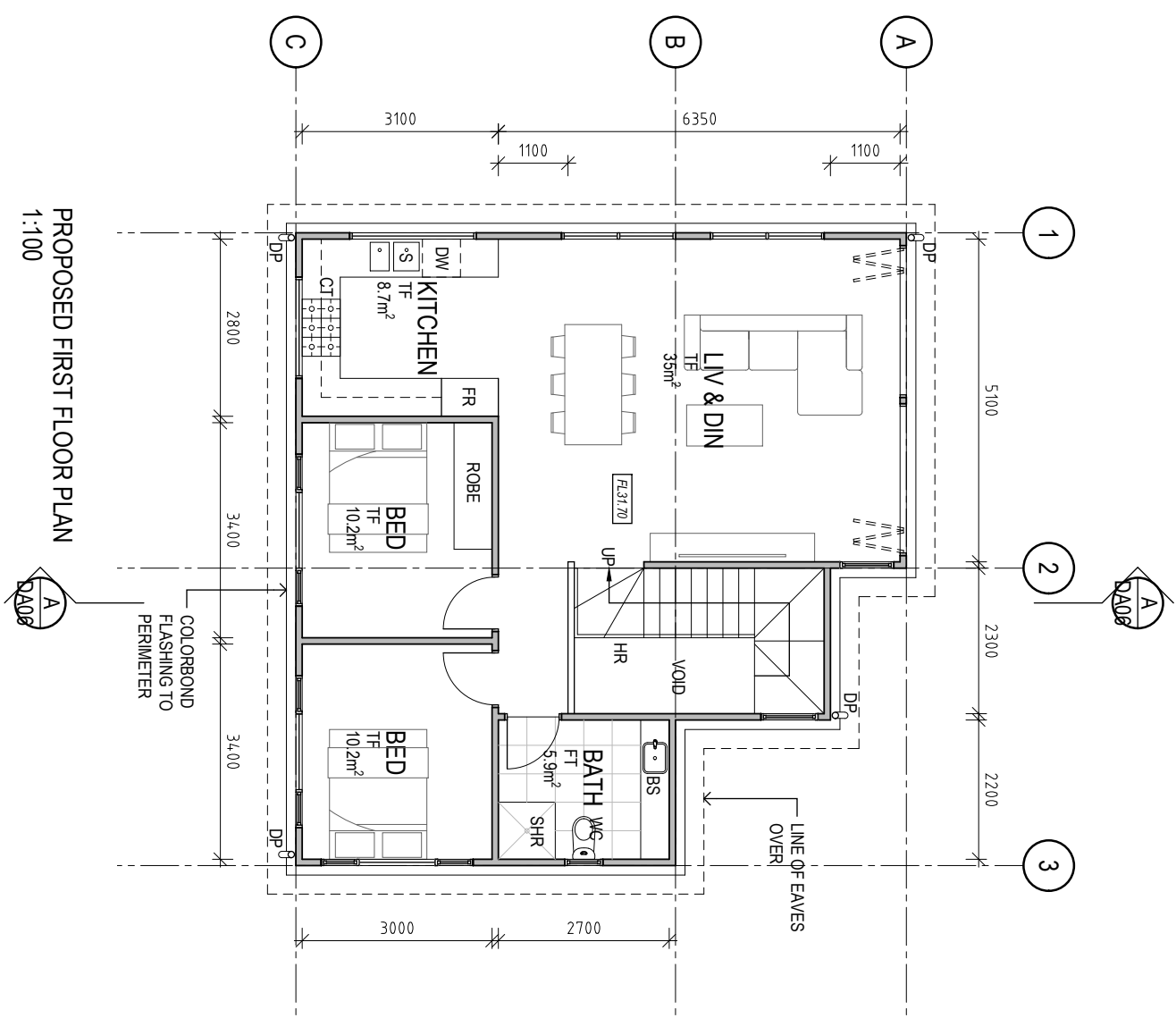
TOILET SUITE

WM

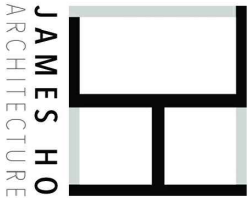
WASHING MACHINE

WS

WHEELSTOP FULLY COMPLY WITH AS/NZS2901:2004 2.4



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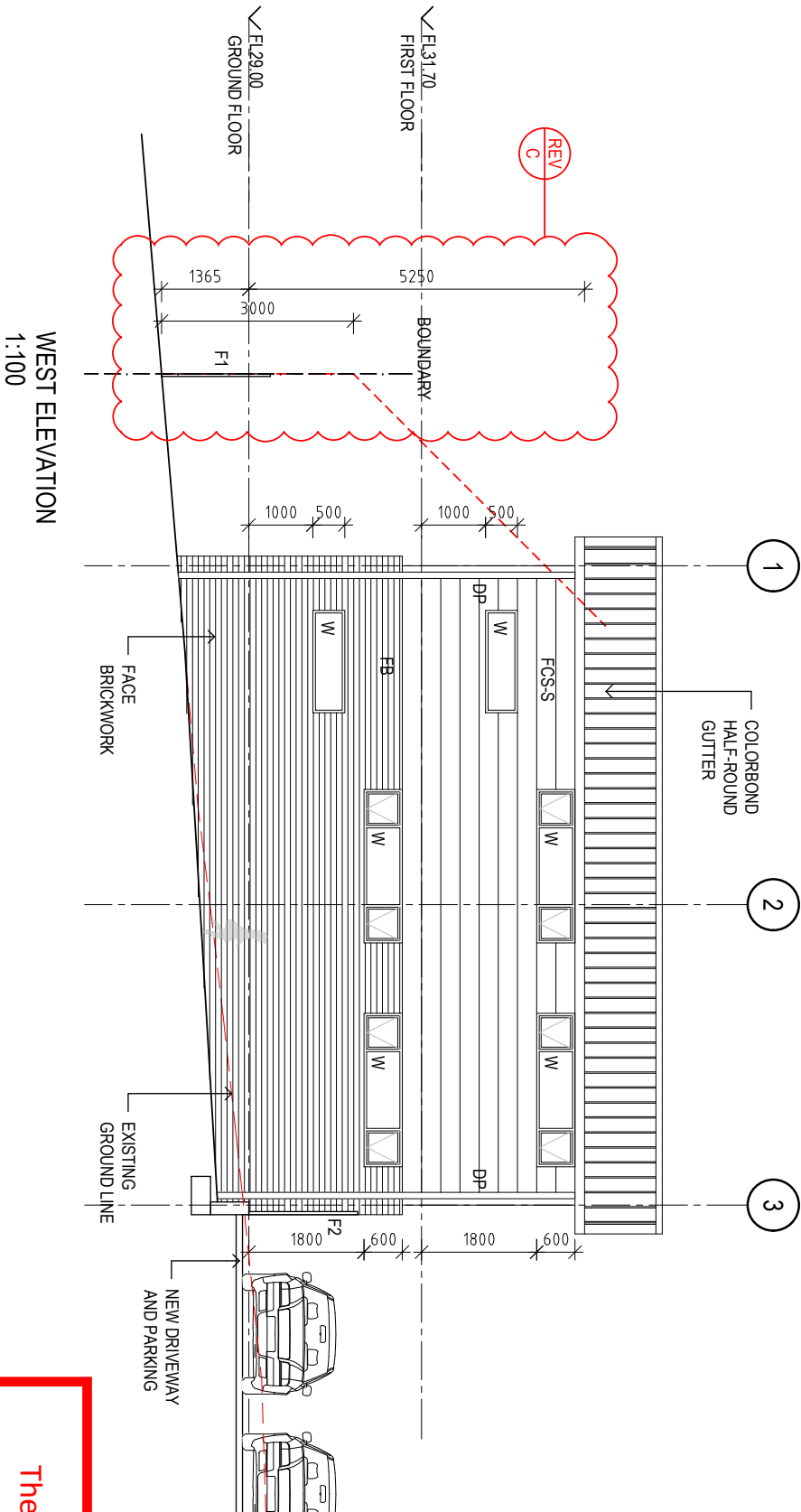
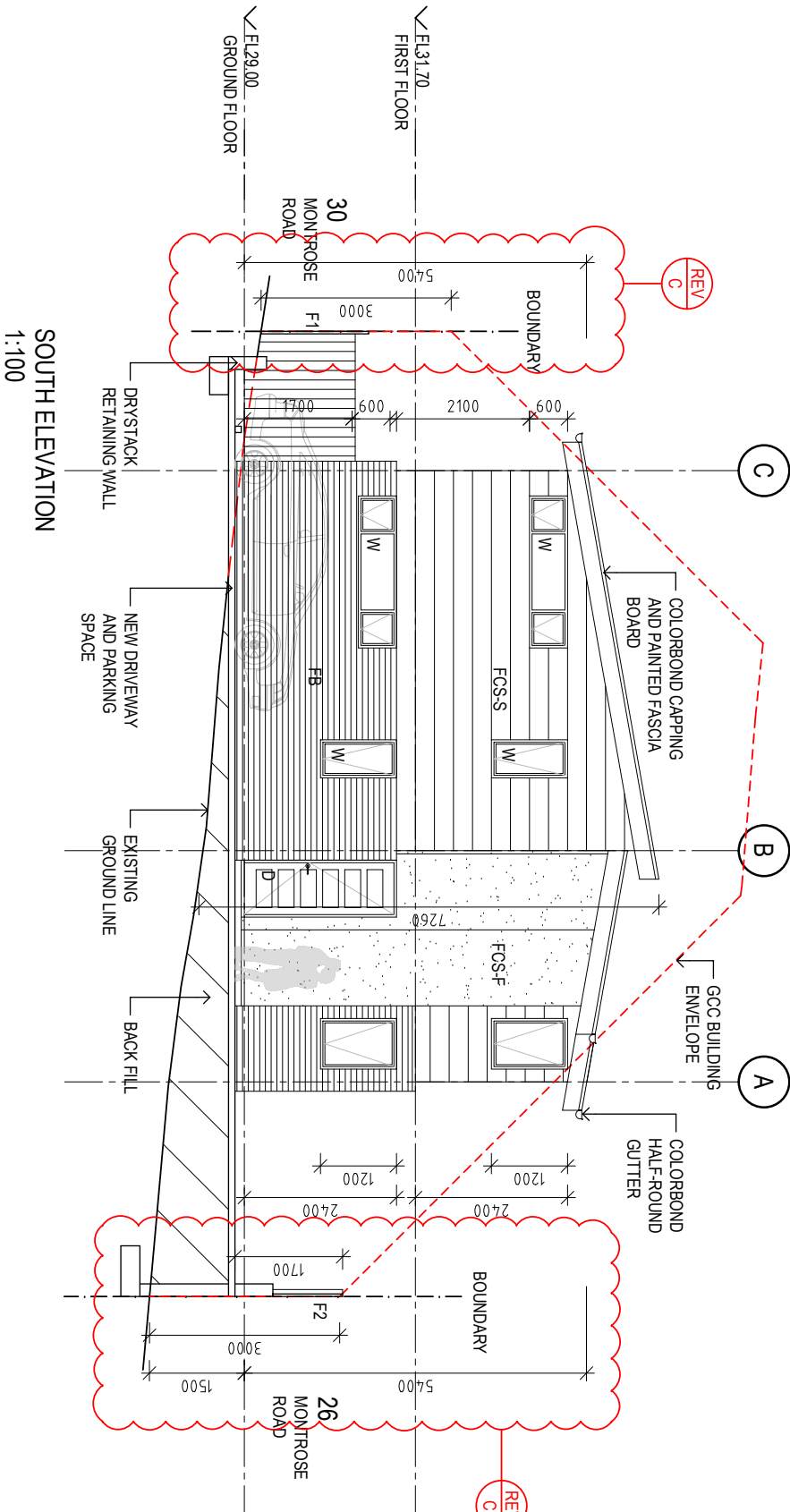
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PROPOSED PLANS

REV NO.	C
SCALE	AS SHOWN @A3
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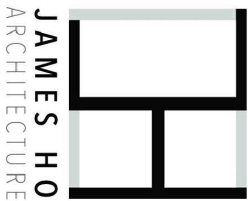
DRAWING KEY	
BS	BASIN
CA	CARPET
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PROJECT NORTH





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NEW HOUSE

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MONTROSE, TAS 7010

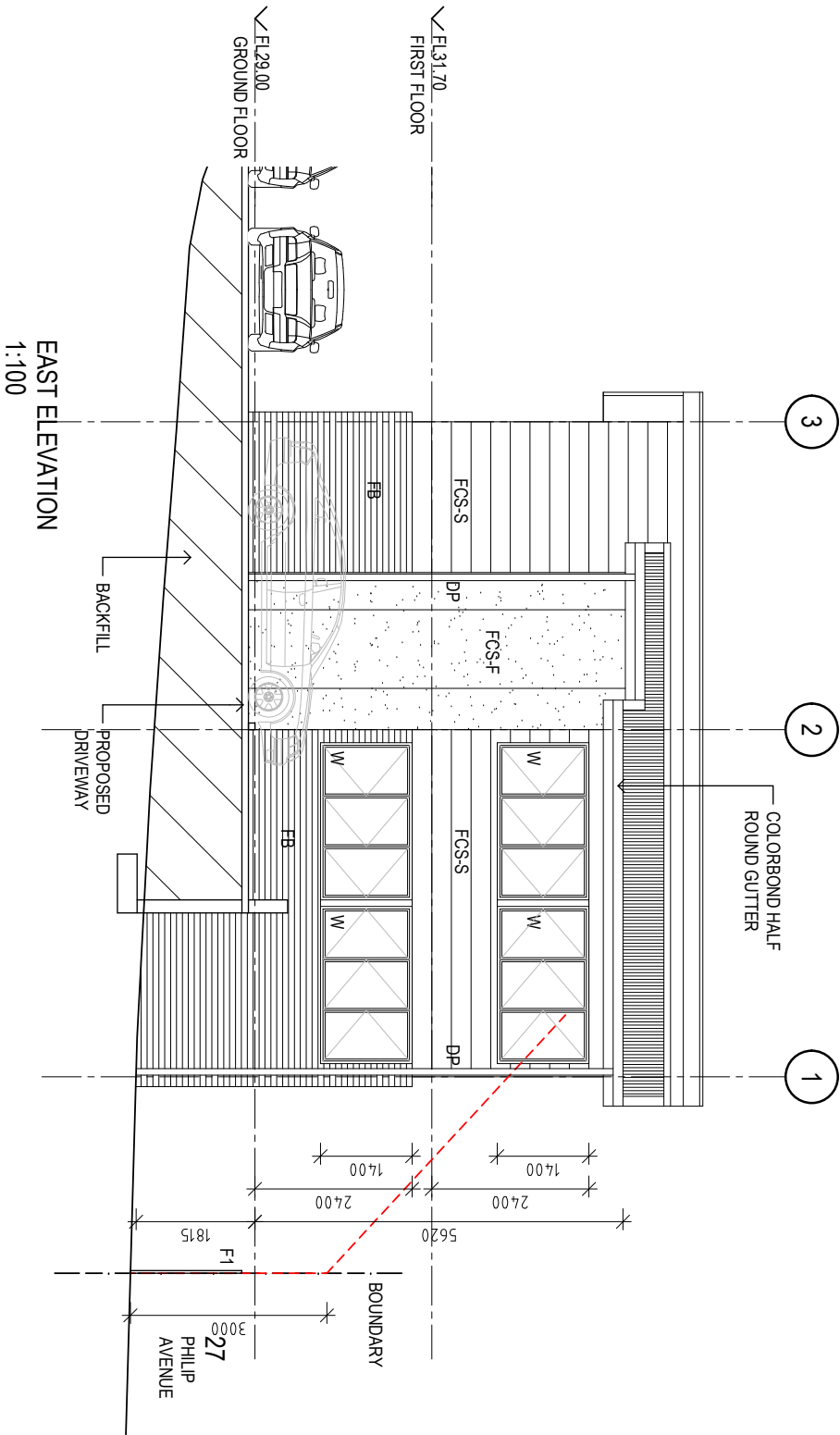
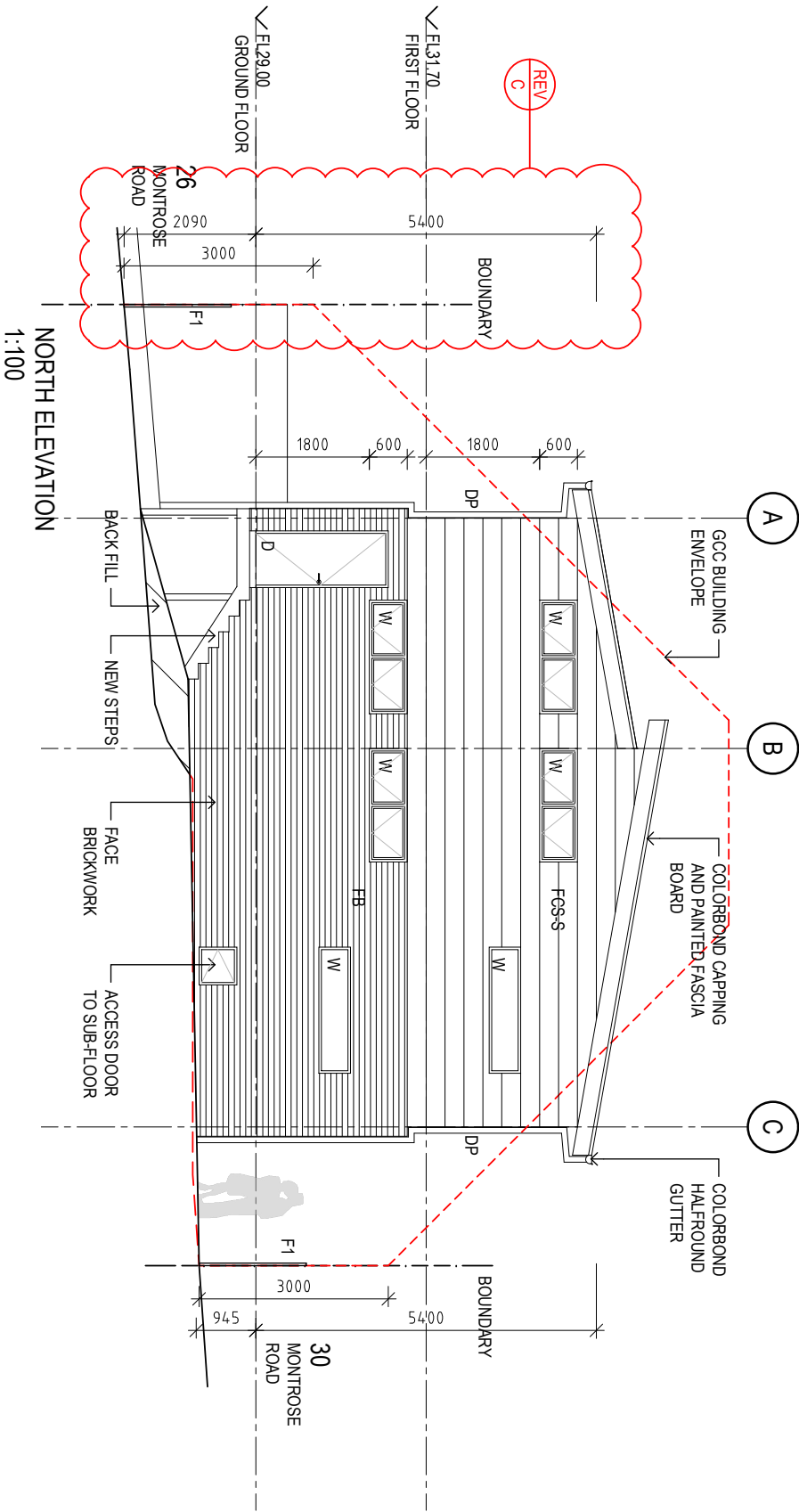
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JHA_007_22

DRAWING TITLE
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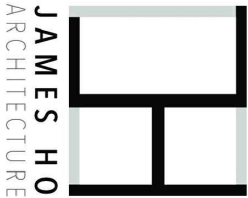
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SCALE	AS SHOWN @A3
DRAWN BY	JH
CHECK BY	-
DATE	SEPTEMBER 2022

DRAWING KEY	
D	DOOR
DP	DOWNPIPE
FB	FACE BRICKWORK
FCS-S	JAMES HARDIE STRIA 325MD
FCS-F	CLADDING SYSTEM JAMES HARDIE FINE TEXTURE
W	POWERCOATED ALUMINIUM PAINTED WINDOWS





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MONTROSE, TAS 7010

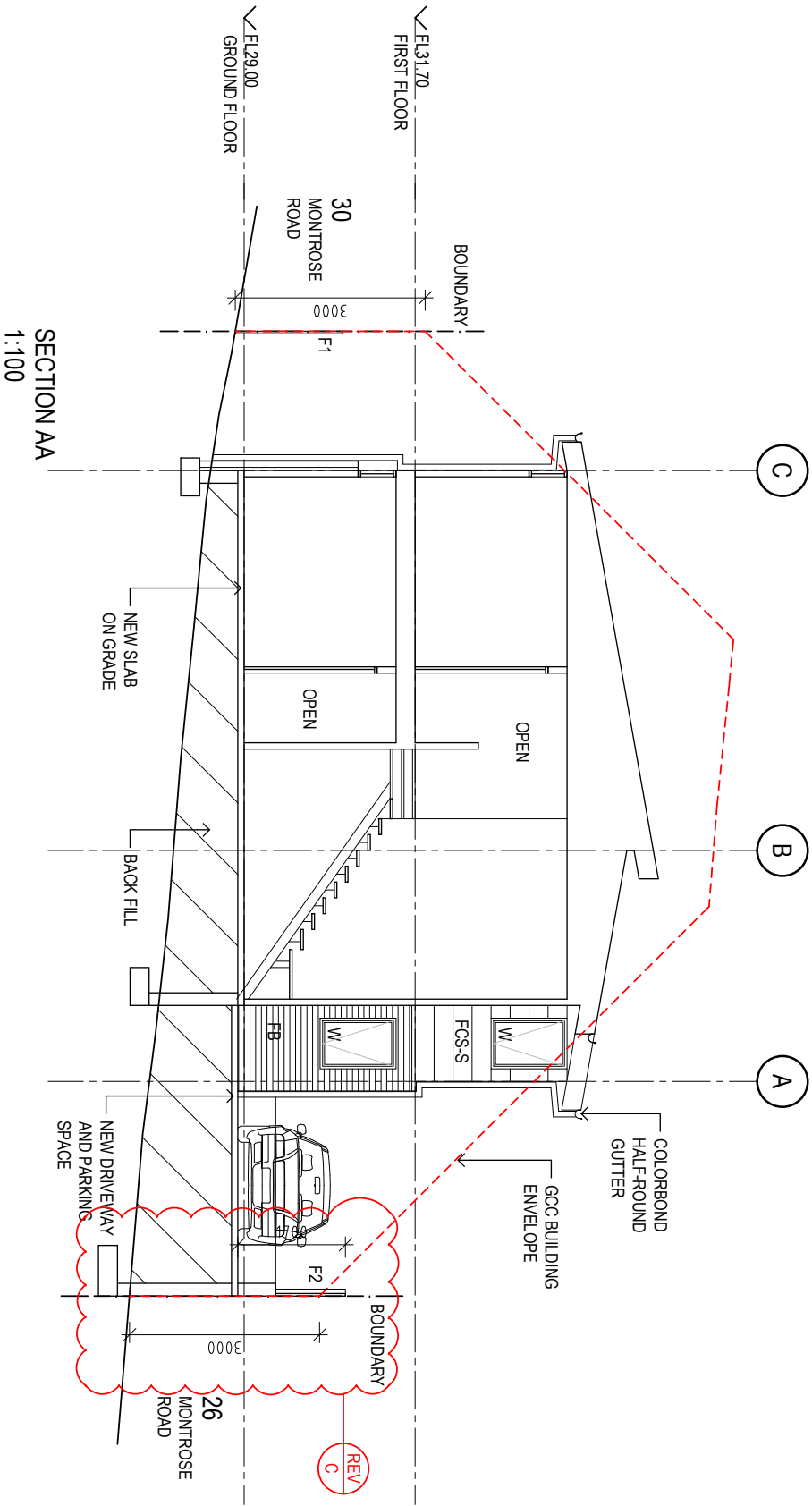
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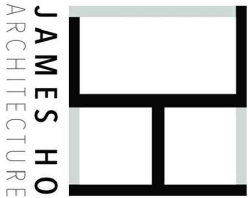
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FB	FACE BRICKWORK
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FCS-S	JAMES HARDIE STRIA 325WID CLADDING SYSTEM
W	POWERCOATED ALUMINIUM FINED WINDOWS





These plans have been received after the application has been advertised, as a proposed modification.



CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS

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REVISION	
A	DA RFI 15.12.21
B	DA RFI DRIVEWAY 09.01.22
C	DA RFI 03.02.22

PROJECT TITLE
NEW HOUSE

PROJECT ADDRESS
28 MONTROSE ROAD,
MONTROSE, TAS 7010

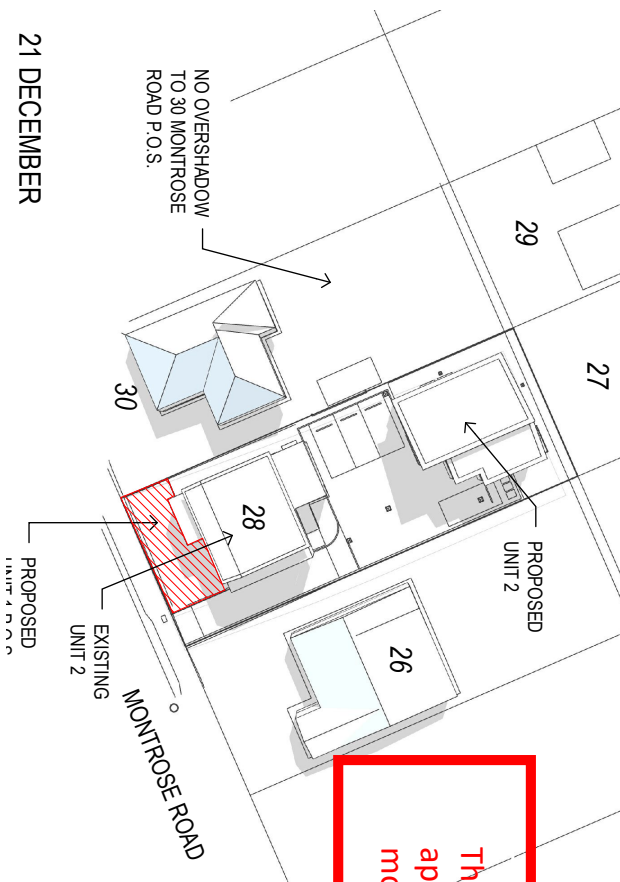
PROJECT NUMBER
JHA_007_22

DRAWING TITLE
PROPOSED SECTIONS

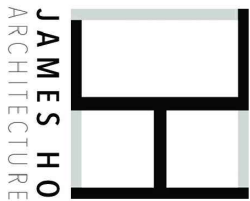
REV NO.	B
SCALE	AS SHOWN @A3
DRAWN BY	JH
CHECK BY	-
DATE	SEPTEMBER 2022

DRAWING KEY	
D	DOOR
DP	DOWNPIPE
FB	FACE BRICKWORK
FCS-F	JAMES HARDIE FINE TEXTURE CLADDING SYSTEM
FCS-S	JAMES HARDIE STRIA 325WID CLADDING SYSTEM
W	POWERCOATED ALUMINIUM PAINTED WINDOWS





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REVISION
C DA RFI 03.02.22

PROJECT TITLE
NEW HOUSE

PROJECT ADDRESS
28 MONTROSE ROAD,
MONTROSE, TAS 7010

PROJECT NUMBER
JHA_007_22

DRAWING TITLE
SUN SHADOW DIAGRAMS

REV NO. C

SCALE AS SHOWN @A3

DRAWN BY JH

CHECK BY -

DATE SEPTEMBER 2022

SUN SHADOWS GENERATED BY
GOOGLE SKETCH UP PRO 2022



**GLENORCHY LOCAL PROVISIONS SCHEDULE
AMENDMENT PLAM-22/04**

The Glenorchy Local Provisions Schedule is amended as follows:

Land affected by this amendment:

- Various properties as listed in Annexure 1

The Planning Scheme maps are amended by:

1. Rezoning land from a Utilities Zone to a Central Business Zone as shown in Image 1 of Annexure 2
2. Modifying the Overlay Maps to insert the Parking and Sustainable Transport Code – Pedestrian Priority Streets into the Overlay Maps as shown in Image 2 of Annexure 2
3. Modifying the General Overlay to delete the spatial application of GLE-S8.0 Glenorchy Activity Centre Urban Design Specific Area Plan shown in Image 3 of Annexure 2
4. Modifying the General Overlay to insert the spatial application of GLE-S8.0 Principal Activity Centre Specific Area Plan as shown in Image 4 of Annexure 2
5. Modifying the General Overlay to insert the spatial application GLE-S8.3.1 Local Area Objectives as shown in Image 5 of Annexure 2
6. Modifying the General Overlay to insert the spatial application of Precincts and Defined Areas – Gateway Locations as shown in Image 6 of Annexure 2
7. Modifying the General Overlay to insert the spatial application of Precincts and Defined Areas – Solar Protected Area as shown in Image 7 of Annexure 2

The Planning Scheme Ordinance is amended by:

8. Deleting Clause GLE-S8.0 Glenorchy Activity Centre Urban Design Specific Area Plan.
9. Inserting Clause GLE-S8.0 Principal Activity Centre Specific Area Plan as shown in Annexure 3.

10. Inserting in GLE – Applied, Adopted or Incorporated Documents the following document as shown in Annexure 4:

Document Title	Publication Details	Relevant Clause in the LPS
Livable Housing Design Guidelines	Livable Housing Australia, 2017	GLE-S8.7.5 A9

In witness where of the common seal of
Glenorchy City Council has been affixed on the
day of 20
as authorised by Council in the presence of:

Council Delegate

Annexure 1 – List of Affected properties

No	Certificate of Titles (CTs)	PID	Address
1	10602/2 and 10602/3	5395945	4 Terry Street, Glenorchy TAS 7010
2	142212/8	2831537	Centro Glenorchy, 2 Cooper Street, Glenorchy TAS 7010
3	74049/5	5365818	10 Eady Street, Glenorchy TAS 7010
4	156072/1	2831561	Cooper Street, Glenorchy TAS 7010
5	29803/5 and 43661/1	5384373	Mill Lane, Glenorchy TAS 7010
6	197970/1	5382159	398 Main Road, Glenorchy TAS 7010
7	178446/1	9405867	2 Regina Street, Glenorchy TAS 7010
8	112461/2 and 112461/4	5382132	394A Main Road, Glenorchy TAS 7010
9	80638/1 and 80638/2	5382140	396 Main Road, Glenorchy TAS 7010
10	112461/1 and 112461/3	5382124	394 Main Road, Glenorchy TAS 7010
11	178446/2	9081451	392 Main Road, Glenorchy TAS 7010
12	29803/3	5382108	388-388A Main Road, Glenorchy TAS 7010
13	137971/1	2176501	382-386A Main Road, Glenorchy TAS 7010
14	14132/1, 112330/1 and 43605/1	2645486	2 Tolosa Street, Glenorchy TAS 7010
15	124632/1	1719981	2 Terry Street, Glenorchy TAS 7010
16	252651A/1, 124634/1, 124633/1, 43579/1, 43729/1, 82153/1, 219691/11, 55734/25, 10602/1 and 252651/1	2645478	374 Main Road, Glenorchy TAS 7010
17	81535/7, 65757/1 and 65757/2	7332884	3 Cooper Street, Glenorchy TAS 7010
18	123981/0, 123981/3 (Vertical Strata: Floor 1) and 123981/3 (Vertical Strata: Ground floor)	1705539	3/370 Main Road, Glenorchy TAS 7010
19	123981/1 (Vertical Strata: Floor 1) and 123981/1 (Vertical Strata: Ground floor)	5382052	1/370 Main Road, Glenorchy TAS 7010
20	123981/1 (Vertical Strata: Floor 1) and 123981/2 (Vertical Strata: Ground floor)	1705520	Glenorchy Post Office, 2/370 Main Road, Glenorchy TAS 7010
21	245476/1	7354303	368 Main Road, Glenorchy TAS 7010
22	122527/1	1846024	366 Main Road, Glenorchy TAS 7010

23	36500/100, 80602/2 and 65757/4	7439462	362-364 Main Road, Glenorchy TAS 7010
24	153289/1	2019805	4 Eady Street, Glenorchy TAS 7010
25	85656/1	5364049	9 Cooper Street, Glenorchy TAS 7010
26	161539/0, 161539/1 (Vertical Strata: Floor 1) and 161539/1 (Vertical Strata: Ground floor)	3093919	1/346 Main Road, Glenorchy TAS 7010
27	161539/2 (Vertical Strata: Floor 1) and 161539/2 (Vertical Strata: Ground floor)	3093927	2/346 Main Road, Glenorchy TAS 7010
28	155509/1	2937972	350-360 Main Road, Glenorchy TAS 7010
29	123053/1	5383127	437 Main Road, Glenorchy TAS 7010
30	244248/1	5383135	435 Main Road, Glenorchy TAS 7010
31	247696/2, 35050/3, 43284/1, 30876/1, 250113/1	1822786	Northgate, 387-391 Main Road, Glenorchy TAS 7010
32	149011/1	1697233	425 Main Road, Glenorchy TAS 7010
33	44073/1	1638866	Booth Avenue, Glenorchy TAS 7010
34	17584/1	5383151	421 Main Road, Glenorchy TAS 7010
35	199434/1 and 198204/1	1879926	385A Main Road, Glenorchy TAS 7010
36	197171/1	5383282	385 Main Road, Glenorchy TAS 7010
37	83067/1	5383290	383 Main Road, Glenorchy TAS 7010
38	222812/1 and 167863/1	5383303	381 Main Road, Glenorchy TAS 7010
39	76700/1	5383311	379 Main Road, Glenorchy TAS 7010
40	199836/1	5383338	377 Main Road, Glenorchy TAS 7010
41	199804/1	7246214	373-375 Main Road, Glenorchy TAS 7010
42	243658/1	5383354	371 Main Road, Glenorchy TAS 7010
43	217647/1	5388382	Glenorchy Masonic Hall, 3 Peltro Street, Glenorchy TAS 7010
44	67310/2	5388374	5 Peltro Street, Glenorchy TAS 7010
45	67310/3	5388366	7 Peltro Street, Glenorchy TAS 7010
46	243628/1	5383362	Elwick Hotel, 367 Main Road, Glenorchy TAS 7010
47	239802/1	5383370	359 Main Road, Glenorchy TAS 7010

48	57580/1	7440375	1/357A Main Road, Glenorchy TAS 7010
49	57580/2 and 57580/0	7440383	357A Main Road, Glenorchy TAS 7010
50	32824/1	7440367	357 Main Road, Glenorchy TAS 7010
51	113182/1	5383397	355 Main Road, Glenorchy TAS 7010
52	59802/2	5383418	353 Main Road, Glenorchy TAS 7010
53	218251/3	5383426	351 Main Road, Glenorchy TAS 7010
54	64613/8	5383434	347-349 Main Road, Glenorchy TAS 7010
55	77918/2, 64613/9 and 64613/7	1826090	345 Main Road, Glenorchy TAS 7010

Annexure 2 – Planning Scheme Maps



Image 1 - Area to be rezoned from Utilities Zone to Central Business Zone.

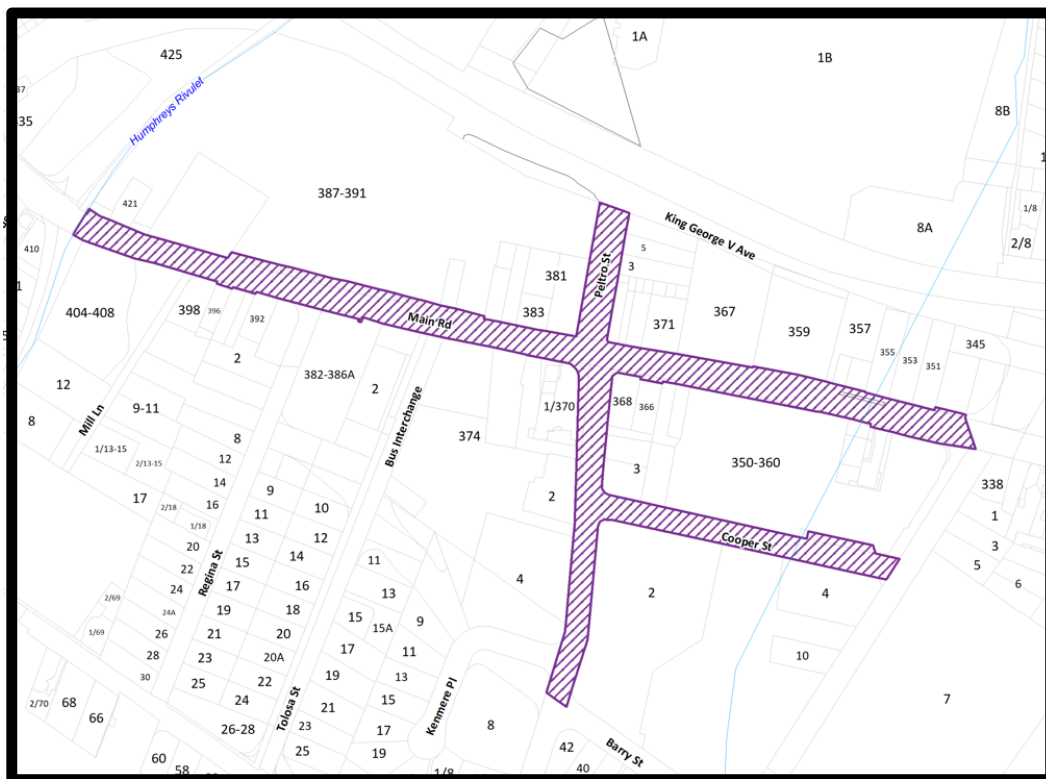


Image 2 – Parking and Sustainable Transport Code – Pedestrian Priority Streets to be inserted into the Overlay Maps

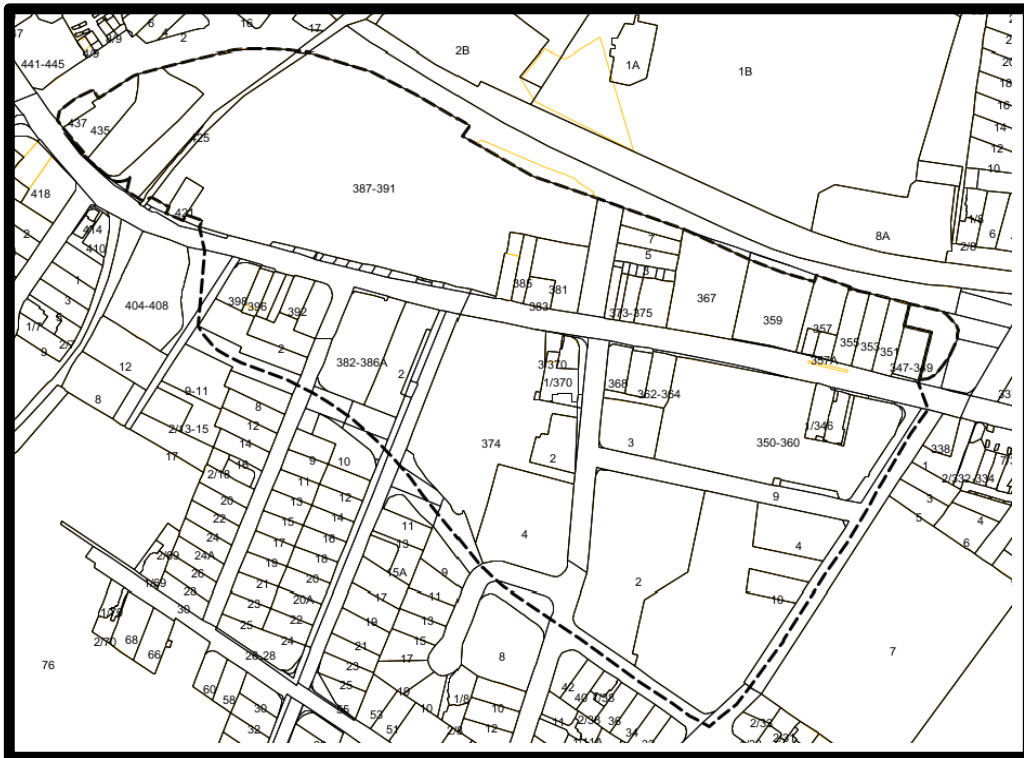


Image 3 – Glenorchy Activity Centre Urban Design Specific Area Plan to be deleted from the General Overlay maps.

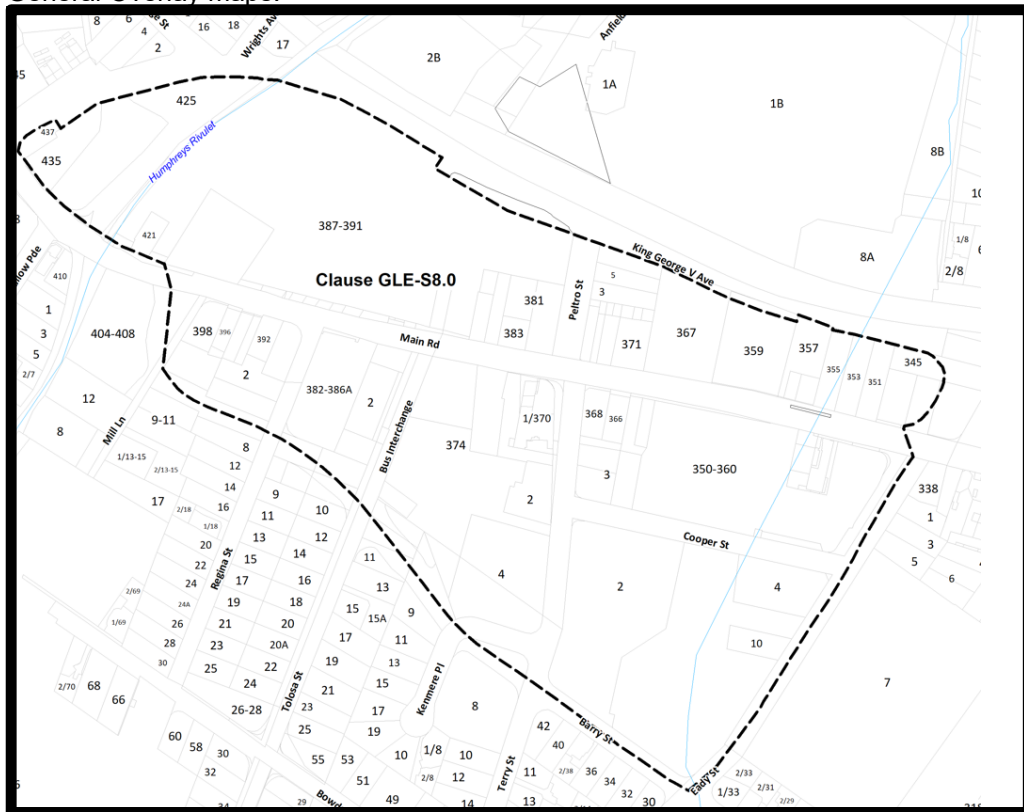


Image 4 – Area of GLE-S8.0 Principal Activity Centre Specific Area Plan to be inserted into the General Overlay Maps

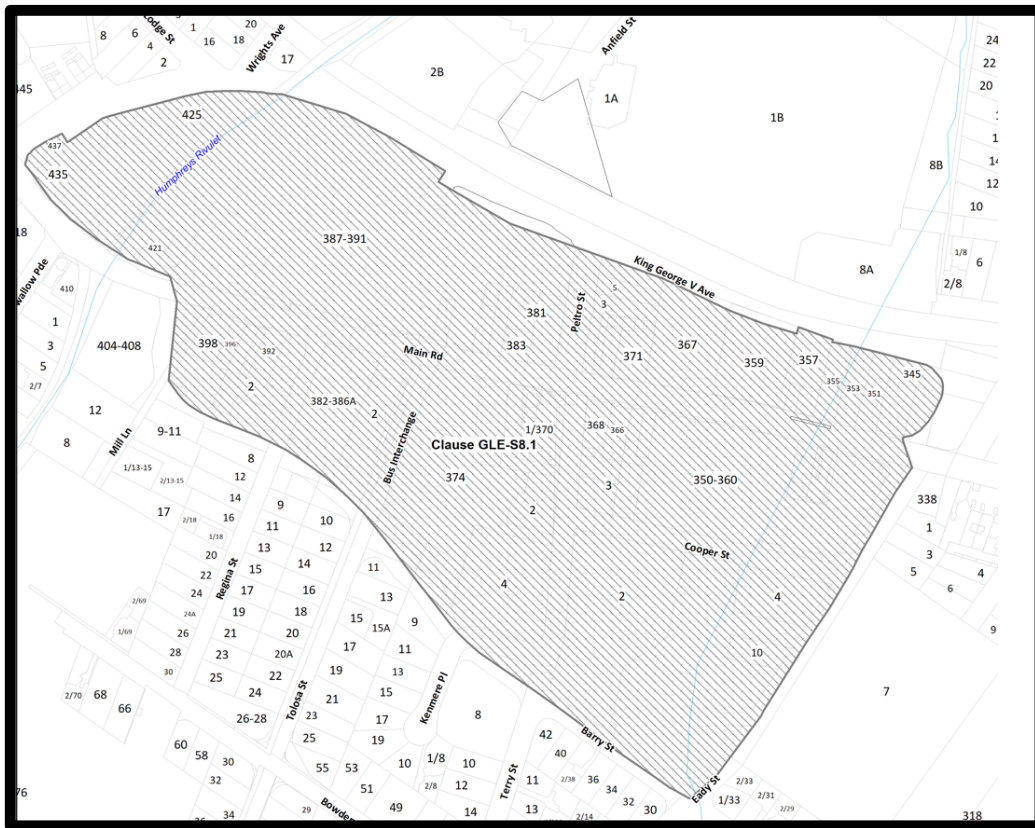


Image 5 – Area of GLE-S8.3.1 Local Area Objectives to be inserted into the General Overlay Maps

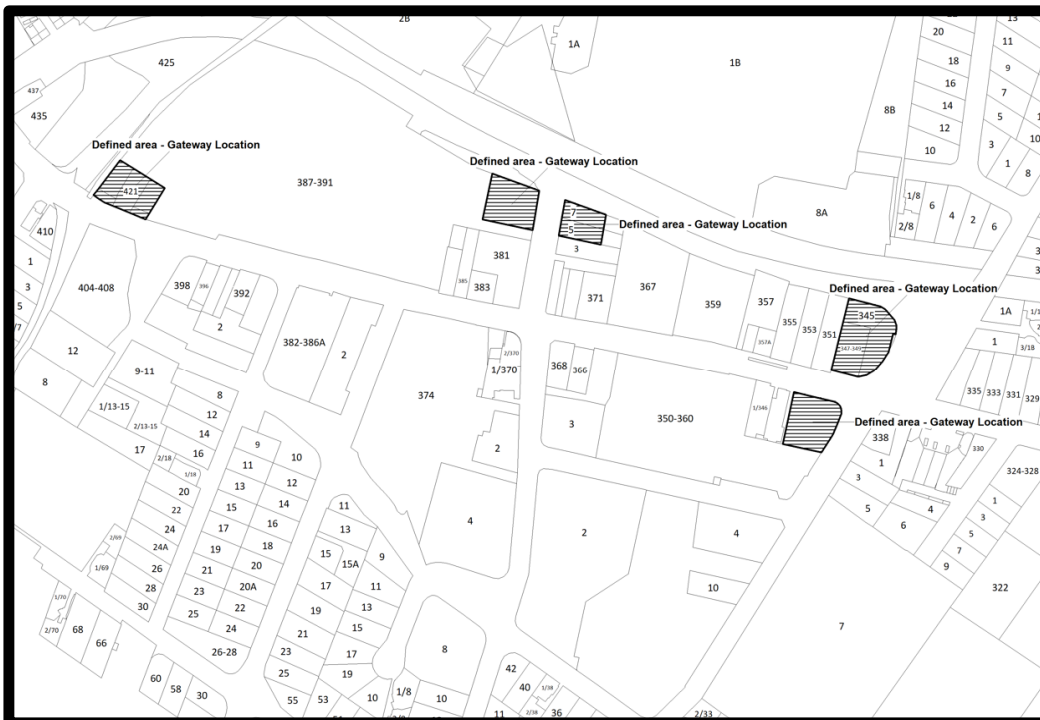
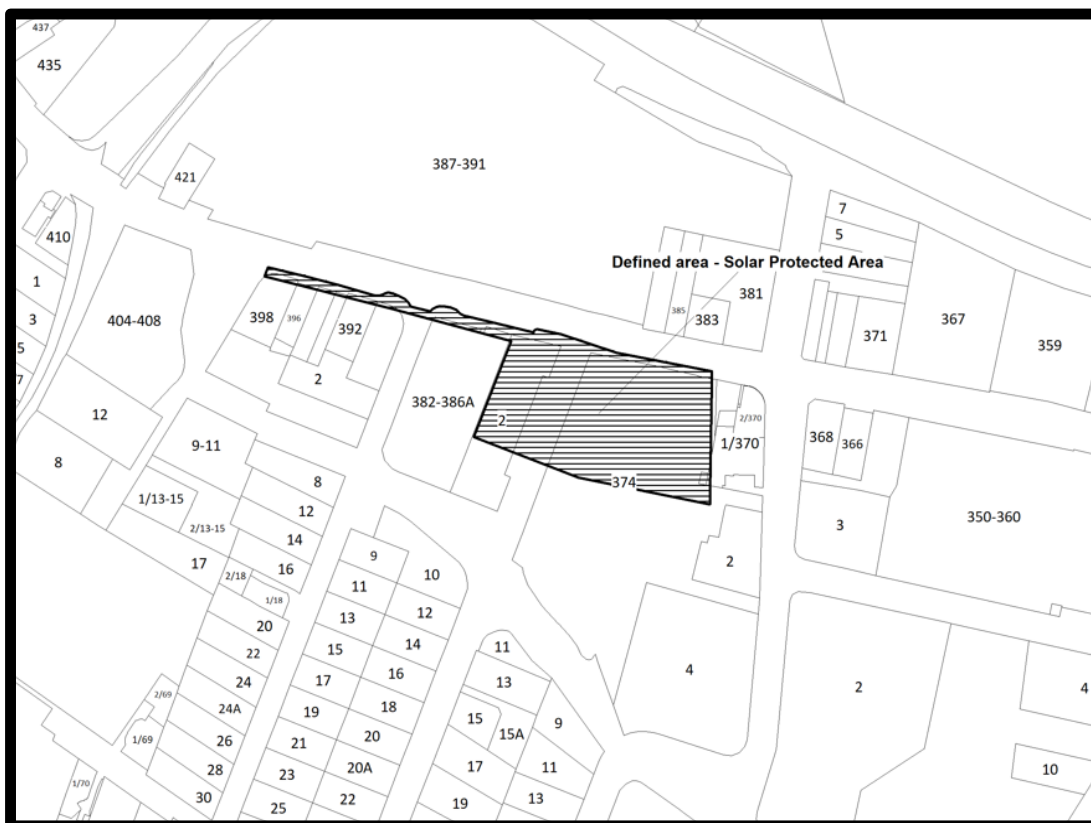


Image 6 – Precinct and Defined Areas – Gateway Locations to be inserted into the General Overlay Maps



Annexure – 3 – Principal Activity Centre Specific Area Plan to be inserted

GLE-S8.0 Principal Activity Centre Specific Area Plan**GLE-S8.1 Plan Purpose**

The purpose of the Principal Activity Centre Specific Area Plan is:

- GLE-S8.1.1 To enhance the vitality and viability of Glenorchy's principal activity centre through a high standard of urban design.

GLE-S8.2 Application of this Plan

- GLE-S8.2.1 The specific area plan applies to the area of land designated as the Principal Activity Centre Specific Area Plan on the overlay maps.

- GLE-S8.2.2 In the area of land this plan applies to, the provisions of the specific area plan are in addition to and in substitution for the provisions of the Central Business Zone, the Signs Code, the Parking and Sustainable Transport Code, and the Road and Railway Assets Code, as specified in the relevant provision.

- GLE-S8.2.3 In addition to any other application requirements, the planning authority may require any of the following information to determine compliance with performance criteria:

- (a) elevation drawings or photomontage showing the proposed development in the context of adjacent buildings and the streetscape;
- (b) a site analysis and design response report;
- (c) an adjoining heritage report;
- (d) an accessibility report;
- (e) a crime prevention through environmental design report;
- (f) a lighting plan; or
- (g) a landscaping plan.

GLE-S8.3 Local Area Objectives

- GLE-S8.3.1 The local area objectives for the principal activity centre are to:

- (a) reinforce the primacy of the activity centre, by intensifying frontage activation and discouraging uses with low employment density or pedestrian utility;
- (b) define the precinct, by reinforcing identifiable landmarks and gateway sites, developing iconic new buildings and respecting heritage assets;
- (c) build the civic heart, by prioritising the quality, safety and amenity of publicly accessible areas;

- (d) build connections, by providing an accessible, pedestrianised environment with networked linkages throughout the activity centre, integrated transport modes and legible connections to neighbouring thoroughfares;
- (e) enhance the landscape, by promoting green links between active open spaces and connections to view corridors; and
- (f) promote urban renewal by maximising opportunities for redevelopment, supported by strategic site consolidation, ambitious building design and provision for high-density amenity.

GLE-S8.4 Definition of Terms

GLE-S8.4.1 In this Specific Area Plan, unless the contrary intention appears:

Terms	Definition
active frontage	means a frontage that provides active visual engagement between people on the street and people on ground level and the first floor.
accessibility report	<p>means a report (as defined in this specific area plan) that addresses:</p> <ul style="list-style-type: none"> (a) likely demand for accessible apartments in the SAP area, having regard to: <ul style="list-style-type: none"> (i) the demographic characteristics of the Glenorchy municipality; and (ii) the accessibility needs of the population of likely occupants of accessible apartments in the SAP area; (b) the extent to which the proposed development contributes to meeting the likely demand for accessible apartments in the SAP area, having regard to: <ul style="list-style-type: none"> (i) the size and scale of the development; (ii) the application of universal design principles; and (iii) any other proposed accessibility or universal design features, excluding those required under the <i>Building Act 2016</i>; (c) any accessibility advice relating to the ongoing management of any other use or development on the site; and (d) any matter specifically required by standards in this specific area plan.
adjoining heritage report	means a report (as defined in this specific area plan) prepared by a suitably qualified person (heritage practitioner, heritage architect) that describes the measures that have been taken to ensure the proposed development respects and positively responds to the heritage significance

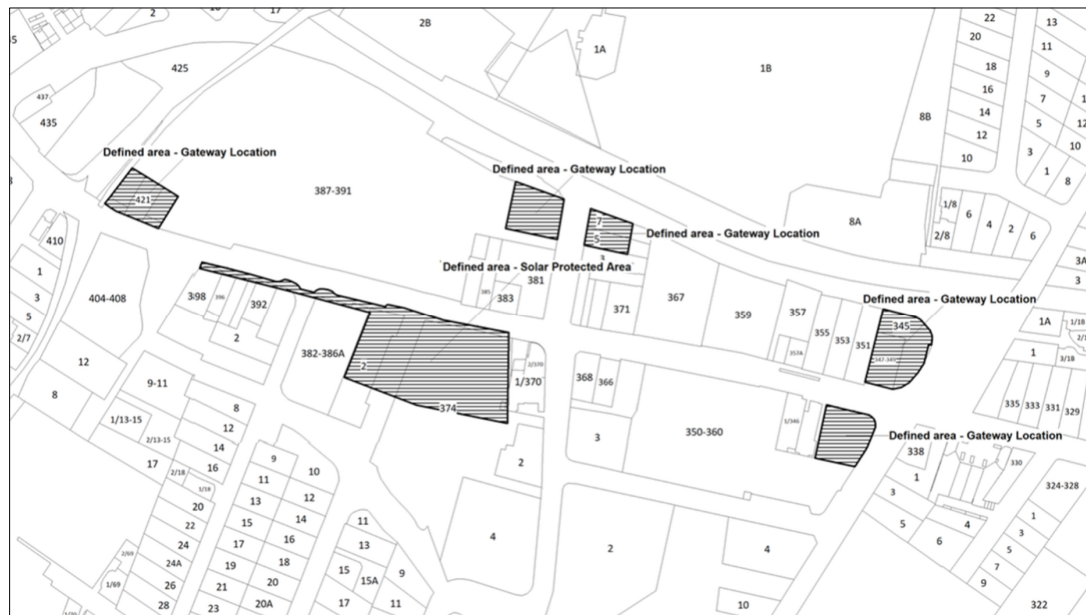
	<p>of a heritage place or places adjoining the subject site. In doing so, the adjoining heritage report must contain:</p> <p>(a) a detailed site analysis that evaluates how the development proposal has been designed to meet the standards of the specific area plan as applicable to sites adjoining heritage places;</p> <p>(b) accurate illustration of the proposed development (such as scaled elevations, pedestrian eye level trajectory views intersecting adjoining heritage places and the proposed development; correctly rendered montage/s) showing how key public views to, from, and of, adjoining heritage places will be retained; and</p> <p>(c) details of measures that will be taken to mitigate any potential construction phase impacts such as vibration and dust (where applicable) upon the surviving integrity of adjoining heritage places.</p>
apartment	means part of a building, used as a residence and which includes food preparation facilities, a bath or shower, a toilet and sink, any associated private open space and access to laundry facilities.
apartment building	means a Class 2 residential building as defined in the <i>National Construction Code</i> .
articulation	means the arrangement of building elements such as windows and door openings, variations in wall plane, roof form, horizontal or vertical wall features and materials that make up a building and affect its relationship to the streets, spaces and other buildings.
commercial vehicle	means a medium rigid vehicle or greater as described in section 2 “Design Vehicles” of AS2890.2 - 2002 <i>Parking facilities Part 2: Off-street commercial vehicle facilities</i> .
corner building	means a building with adjoining frontages to two or more streets.
crime prevention through environmental design report	<p>means a report (as defined in this specific area plan) that addresses:</p> <p>(a) whether the use or development can achieve and maintain an acceptable level of crime prevention through environmental design, having regard to:</p> <ul style="list-style-type: none"> (i) the characteristics of the use or development; (ii) existing crime prevention or deterrence measures on the site and adjacent properties; (iii) any proposed crime prevention or deterrence measures; and

	<p>(iv) the ongoing management of the use or development; and</p> <p>(b) any matter specifically required by Performance Criteria in this specific area plan.</p>
FOGO	means Food Organics and Garden Organics.
gateway location	means land identified as a gateway location, as shown in Figure GLE-S8.1.
heritage place	means a local heritage place or a registered place as defined in the C6.0 Local Historic Heritage Code, excluding GLE-C6.1.129 O'Brien's Bridge and GLE-C6.1.140 Glenorchy War Memorial.
heritage significance	<p>means:</p> <p>(a) for a local heritage place: local historic heritage significance as defined in the C6.0 Local Historic Heritage Code and set out in the Glenorchy Local Provisions Schedule GLE-C6.0 Local Historic Heritage Code lists, excluding GLE-C6.1.129 O'Brien's Bridge and GLE-C6.1.140 Glenorchy War Memorial; and</p> <p>(b) for a State listed heritage place: historic cultural heritage significance and, specifically, the criteria and basis for its entry in the Tasmanian Heritage Register (as defined in the <i>Historic Cultural Heritage Act 1995</i>).</p>
key public view	means the view field to a heritage place, from a vantage point in a publicly accessible area, from which the heritage place is easily viewed and appreciated.
landmark building	means corner buildings and gateway buildings.
living room	means a habitable room of a dwelling, other than a bedroom or separate kitchen.
outdoor entertainment area	means an outdoor area where people gather (other than a private open space, shared open space or public open space), such as a beer garden, rooftop cinema or outdoor dining area.
passive surveillance	means the location and design of use or development to maximise visibility by passers-by or casual onlookers from adjacent spaces, in order to reduce opportunities for crime by making potential offenders feel exposed and making legitimate users feel safer.

pedestrian eye level	means view lines taken from 1.7 m above existing ground level.
pedestrian priority street	means as defined in the C2.0 Parking and Sustainable Transport Code.
publicly accessible area	means publicly used external space (excluding road carriageways) within the area of the specific area plan and includes: (a) public space, such as a footpath, plaza or park; and (b) semi-public space, such as a forecourt or car parking area.
report	means a report, prepared for a site by a suitably qualified person, that must include: (a) details of, and be signed by, the person who prepared or verified the report; (b) confirmation that the person has the appropriate qualifications and expertise; (c) confirmation that the report has been prepared in accordance with any applicable methodology specified by a government authority or professional body; and (d) conclusions and recommendations based on consideration of the proposed use or development and its context.
shared open space	an outdoor area of the land or building, which may include the rooftop, for the shared use of the occupants of an apartment building, excluding areas proposed or approved for storage, vehicle (including bicycles and personal mobility devices) access or parking, service structures, lift motor rooms, plant and equipment, shared laundry facilities or shared waste storage.
single aspect apartment	means an apartment that has external windows on no more than one building elevation (not including skylights and windows to a light well or ventilation shaft).
site analysis and design response report	means a report (as defined in this specific area plan) that: (a) identifies site constraints and opportunities in relation to: (i) solar access; (ii) prevailing wind conditions; (iii) privacy and security; (iv) access to views and open space; and (v) light, noise and other emissions from traffic and nearby land

	<p>use;</p> <p>(b) explains how the proposed development:</p> <ul style="list-style-type: none"> (i) responds to the site's constraints and opportunities; (ii) enhances and responds positively to the streetscape character of the area; (iii) meets the purpose of this specific area plan; and (iv) addresses the local area objectives; and <p>(c) any matter specifically required by Performance Criteria in this specific area plan.</p>
solar protected area	means land identified as a solar protected area, as shown in Figure GLE-S8.1.
universal design	means design that is useable by people of all abilities.
waterway and coastal protection area	means as defined in the C7.0 Natural Assets Code.

Figure GLE-S8.1 Defined areas – solar protected area and gateway locations



GLE-S8.5 Use Table

This sub-clause is not used in this specific area plan.

GLE-S8.6 Use Standards**GLE-S8.6.1 Ground floor use**

This sub-clause is in addition to the provisions of the Central Business Zone – Clause 16.3 Use Standards.

Objective:	
That uses at ground floor level create active frontages that attract pedestrian activity and contribute to the vitality and security of publicly accessible areas.	
Acceptable Solutions	Performance Criteria
A1 Except for minimal interruptions for access to foyers, arcades, upper floors, parking or servicing, building uses at ground floor fronting pedestrian priority streets must be for General Retail and Hire or Food Services.	P1 Except for minimal interruptions for access to foyers, arcades, parking or servicing, building uses at ground floor fronting pedestrian priority streets must: <ul style="list-style-type: none"> (a) be for uses listed as No Permit Required or Permitted under Clause 16.2 Use Table; (b) further the Local Area Objectives under Clause GLE-S8.3.1; and (c) not be for Utilities, Bulky Goods Sales or Emergency Services.
A2 Residential use, other than for access and parking, must be located above ground level.	P2 Residential use, other than for access, must not be located at the frontage.

GLE- S8.6.2 Hours of operation for a use in an outdoor entertainment area

This sub-clause is in addition to the provisions of the Central Business Zone – Clause 16.3 Use Standards.

Objective:	
That use of an outdoor entertainment area does not cause an unreasonable loss of amenity to residential use.	
Acceptable Solutions	Performance Criteria
A1 Hours of operation for a use being undertaken in an outdoor entertainment area within 50 m of an existing apartment must be within: <ul style="list-style-type: none"> (a) 7.00am to 9.00pm Monday to Saturday; and (b) 8.00am to 9.00pm Sunday and public holidays. 	P1 Hours of operation for a use being undertaken in an outdoor entertainment area within 50 m of an existing apartment must not cause an unreasonable loss of amenity to the residential use, having regard to: <ul style="list-style-type: none"> (a) the location and design of the outdoor entertainment area; (b) the timing, duration or extent of use of the outdoor entertaining area; and (c) noise, lighting or other emissions.

GLE- S8.6.3 Use of external lighting

This sub-clause is in addition to the provisions of the Central Business Zone – Clause 16.3 Use Standards.

Objective:	
That use of external lighting does not cause an unreasonable loss of amenity to apartments.	
Acceptable Solutions	Performance Criteria
A1 External lighting for a use on a site containing or adjoining a residential use, must: <ul style="list-style-type: none"> (a) not operate within the hours of 11.00pm to 6.00am, excluding any security lighting; and (b) if for security lighting, be baffled so that 	P1 External lighting for a use on a site containing or adjoining a residential use, must not cause an unreasonable loss of amenity to the residential use, having regard to: <ul style="list-style-type: none"> (a) the level of illumination, timing and

direct light does not extend into a habitable room of an apartment.	<p>duration of lighting;</p> <p>(b) the distance to habitable rooms of any adjacent apartment;</p> <p>(c) the degree of screening between the light source and the habitable rooms of any apartment; and</p> <p>(d) the recommendations of a lighting plan prepared by a suitably qualified lighting designer.</p>
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GLE-S8.7 Development Standards for Buildings and Works

GLE-S8.7.1 Building height and bulk

This sub-clause is in substitution for the provisions of the Central Business Zone – Clause 16.4.1 Building height.

Objective:	
<p>That building height:</p> <p>(a) facilitates development appropriate for a principal activity centre, including for apartment buildings;</p> <p>(b) does not adversely impact the amenity of publicly accessible areas, key views of kunanyi/Mount Wellington, or the heritage significance of heritage places;</p> <p>(c) mediates transitions in height between buildings to provide a cohesive streetscape; and</p> <p>(d) enhances the streetscape through the scale, proportion and massing of buildings.</p>	
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Building height, excluding lift shafts, mechanical plant and miscellaneous equipment, must be not more than:</p> <p>(a) 12 m, within 6 m of a frontage; and</p> <p>(b) 20 m otherwise;</p> <p>unless on a site adjoining Tolosa Street or adjoining a heritage place, in which case there is no Acceptable Solution.</p>	<p>P1.1</p> <p>Building height, including for a building on a site adjoining Tolosa Street or adjoining a heritage place, must:</p> <p>(a) not unreasonably overshadow publicly accessible areas or existing residential use;</p> <p>(b) provide a transition in scale to adjacent buildings of lesser height where the difference in height is more than 4 m;</p> <p>(c) not unreasonably reduce public amenity through visual impacts caused by the</p>

	<p>apparent scale, bulk or proportions of the building when viewed from the street; and</p> <p>(d) have a proportional relationship to the lot size, that has regard to the prevailing proportions in the surrounding area within the principal activity centre;</p> <p>unless the proposed building height significantly exceeds the height of nearby buildings.</p> <p>P1.2</p> <p>A building that significantly exceeds the height of nearby buildings must meet P1.1 (a) and (b), and demonstrate significant architectural merit, having regard to:</p> <p>(a) making a significant positive contribution to the streetscape; and</p> <p>(b) furthering the local area objectives at Clause GLE-S8.3.1.</p>
<p>A2</p> <p>For a new building, or an increase in the building height, excluding protrusions, of an existing building, on a site adjoining a heritage place, there is no Acceptable Solution for building height.</p>	<p>P2</p> <p>For a building on a site adjoining a heritage place, building height must be compatible with, and not detract from, the heritage significance of the adjoining heritage place, having regard to:</p> <p>(a) not visually dominating the adjoining heritage place;</p> <p>(b) not intruding upon on key public views of the adjoining heritage place;</p> <p>(c) maintaining a façade height that is compatible with the façade heights of significant buildings comprising the adjoining heritage place;</p> <p>(d) setting back higher building elements so as to:</p> <p>(i) not dominate or reduce the streetscape presence of the adjoining heritage place; and</p> <p>(ii) mediate the transition between building height on the adjoining heritage place</p>

	<p>and the predominant building height in the streetscape; and</p> <p>(e) the recommendations contained in an adjoining heritage report.</p>
<p>A3</p> <p>For a new building, or an increase in the building height, excluding protrusions, of an existing building, on a site adjoining Tolosa Street, there is no Acceptable Solution for building height.</p>	<p>P3</p> <p>The building height of a building, on a site adjoining Tolosa Street, must retain or enhance views from adjacent publicly accessible areas to kunanyi/Mount Wellington, having regard to furthering the local area objectives at Clause GLE-S8.3.1.</p>
<p>A4</p> <p>Buildings must not cause shading to the solar protected area shown in Figure GLE-S8.1 between 11:00 am and 2:00 pm on the 21st of June.</p>	<p>P4</p> <p>No Performance Criteria.</p>

GLE-S8.7.2 Building setback

This sub-clause is in substitution for the provisions of the Central Business Zone – Clause 16.4.2 Setbacks.

<p>Objective:</p> <p>That building setback:</p> <p>(a) contributes to the vitality and security of the pedestrian environment and a compact and walkable urban form;</p> <p>(b) provides definition and a sense of enclosure to the street;</p> <p>(c) does not adversely impact the heritage significance of heritage places; and</p> <p>(d) optimises land utilisation.</p>	
<p>Acceptable Solutions</p>	<p>Performance Criteria</p>
<p>A1</p> <p>A building must have a nil frontage setback, other than for modulation of a building façade with projecting or receding elements no deeper than 0.3 m, unless the building is on a site</p>	<p>P1</p> <p>A building, including a building on a site adjoining Tolosa Street or adjoining a heritage place, must have a frontage setback that is compatible with the streetscape, having regard</p>

<p>adjoining:</p> <p>(a) the solar protected area shown in Figure GLE-S8.1, and:</p> <p>(i) the building has a setback not greater than 3 m; and</p> <p>(ii) the setback area is for active semi-public use such as forecourt dining; or</p> <p>(b) a heritage place or Tolosa Street, in which case there is no Acceptable Solution.</p>	<p>to:</p> <p>(a) the prevailing setback established by adjacent buildings;</p> <p>(b) universal design principles supporting accessible navigation of the street;</p> <p>(c) measures to promote activation of any setback space;</p> <p>(d) any advice from a road authority; and</p> <p>(e) the local area objectives at Clause GLE-S8.3.1.</p>
<p>A2</p> <p>Building setback from a side boundary must be nil, unless the boundary adjoins a heritage place or is within a waterway and coastal protection area, in which case there is no Acceptable Solution.</p>	<p>P2</p> <p>Building setback from a side boundary must avoid creation of entrapment spaces and must have regard to:</p> <p>(a) making a positive contribution to the streetscape;</p> <p>(b) functional necessity; and</p> <p>(c) furthering the local area objectives at Clause GLE-S8.3.1;</p> <p>including where the boundary adjoins a heritage place or is within a waterway and coastal protection area.</p>
<p>A3</p> <p>For a new building, or a change to the setback, excluding protrusions, of an existing building, on a site adjoining a heritage place, there is no Acceptable Solution for setback.</p>	<p>P3</p> <p>For a building on a site adjoining a heritage place, building setback must, in addition to meeting clause P2 of this standard, be compatible with, and not detract from, the heritage significance of the adjoining heritage place, having regard to:</p> <p>(a) not intruding upon on key public views of the adjoining heritage place;</p> <p>(b) the setback of buildings forming part of the extent of the adjoining heritage place, including:</p> <p>(i) achieving harmony with the siting and orientation of buildings on the adjoining heritage place; and</p> <p>(ii) mediating the transition between building setback on the adjoining heritage place</p>

	<p>and the setback of other adjacent buildings on the same street; and</p> <p>(c) the recommendations contained in an adjoining heritage report.</p>
<p>A4</p> <p>For a new building, or a change to the setback, excluding protrusions, of an existing building, on a site adjoining Tolosa Street, there is no Acceptable Solution for frontage setback.</p>	<p>P4</p> <p>The setback of a building, on a site adjoining Tolosa Street, must, in addition to meeting clause P2 of this standard, retain or enhance views from adjacent publicly accessible areas to kunanyi/Mount Wellington, having regard to furthering the local area objectives at Clause GLE-S8.3.1.</p>
<p>A5</p> <p>For a new building, or a change to the setback, excluding protrusions, of an existing building, on land within a waterway and coastal protection area, there is no Acceptable Solution for setback.</p>	<p>P5</p> <p>For development on land within a waterway and coastal protection area, buildings must be located to enable external public thoroughfare through the site, alongside the watercourse, having regard to:</p> <ul style="list-style-type: none"> (a) pedestrian safety; (b) the need to provide a footpath; (c) universal design principles; and (d) any relevant Council policy.

GLE-S8.7.3 Façade design

This sub-clause is in substitution for the provisions of the Central Business–Zone - Clause 16.4.3 Design A2 and P2.

<p>Objective:</p> <p>That buildings support urban vitality through:</p> <ul style="list-style-type: none"> (a) interaction between the public and private realms; (b) being appropriately designed for pedestrian amenity and sociability; (c) opportunities for mutual passive surveillance; and (d) respecting heritage places.
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Acceptable Solutions	Performance Criteria
<p>A1</p> <p>A ground floor level facade in a pedestrian priority street must:</p> <ul style="list-style-type: none"> (a) provide a pedestrian entrance that connects the ground floor use directly to a publicly accessible area; (b) provide low reflectance, transparent glazing that: <ul style="list-style-type: none"> (i) is not less than 60% of the total surface area of that façade; or (ii) maintains or increases the total area of glazing of an existing facade, if the surface area of that façade is already less than 60%; and (c) not include: <ul style="list-style-type: none"> (i) a single length of blank wall greater than 20% of the length that facade; or (ii) any increase to the length of an existing blank wall, if already greater than 20% of the length of that façade; <p>unless the site adjoins a heritage place, in which case there is no Acceptable Solution.</p>	<p>P1</p> <p>A ground floor level facade in a pedestrian priority street, including on a site adjoining a heritage place, must be designed to provide an active frontage, having regard to:</p> <ul style="list-style-type: none"> (a) the location and extent of pedestrian entrances and transparent glazing that connects the ground floor use to the street; (b) the location and extent of any length of blank wall; (c) the prominence of the façade in the streetscape; (d) any design features that provide visual interest at ground floor level; and (e) the recommendations of a crime prevention through environmental design report.
<p>A2</p> <p>A ground floor level facade in a waterway and coastal protection area, or in a street that is not a pedestrian priority street, must:</p> <ul style="list-style-type: none"> (a) provide a pedestrian entrance that connects the ground floor use directly to a publicly accessible area; (b) provide low reflectance, transparent glazing that: <ul style="list-style-type: none"> (i) is not less than 40% of the total surface area of that façade; or (ii) maintains or increases the total area of glazing of an existing facade, if the surface 	<p>P2</p> <p>A ground floor level facade in a waterway and coastal protection area, or in a street that is not a pedestrian priority street, must be designed to provide a pedestrian-friendly environment, having regard to:</p> <ul style="list-style-type: none"> (a) the location and extent of pedestrian entrances and transparent glazing that connects the ground floor use to external public access; (b) the location and extent of any length of blank wall; (c) any design features that provide visual

<p>area of that façade is already less than 40%; and</p> <p>(c) not include:</p> <ul style="list-style-type: none"> (i) a single length of blank wall greater than 30% of the length that facade; or (ii) any increase to the length of an existing blank wall, if already greater than 30% of the length of that façade. 	<p>interest at ground floor level; and</p> <p>(d) the recommendations of a crime prevention through environmental design report.</p>
<p>A3</p> <p>For a new multi-storey building, glazing must be provided for the first floor of any facade facing a publicly accessible area, to allow passive surveillance of that publicly accessible area.</p>	<p>P3</p> <p>No Performance Criterion.</p>
<p>A4.1</p> <p>For a new facade at ground floor level adjoining a pedestrian priority street, there is no Acceptable Solution for provision of an awning.</p> <p>A4.2</p> <p>For a heritage place, there is no requirement for awnings.</p>	<p>P4</p> <p>For a new facade at ground floor level adjoining a pedestrian priority street, an awning must be provided to enhance public amenity adjoining that facade, having regard to:</p> <ul style="list-style-type: none"> (a) providing adequate clearance from trees and infrastructure such as light poles, parking signs, directionals signs, streetlights and art installations; (b) compatibility with the design of existing awnings on adjacent buildings; (c) avoiding constraints to the future use of the land and road; (d) any advice from a road authority; and (e) for a building on a site adjoining a heritage place, the recommendations contained in an adjoining heritage report; <p>unless awnings are precluded in the advice from a road authority or recommendations contained in an adjoining heritage report.</p>
<p>A5</p> <p>For a new facade of a building on a site</p>	<p>P5</p> <p>For a new façade of a building on a site adjoining</p>

adjoining a heritage place, there is no Acceptable Solution for façade design.	<p>a heritage place, façade design must be compatible with, and not detract from, the heritage significance of the adjoining heritage place, having regard to:</p> <ul style="list-style-type: none"> (a) not visually dominating the heritage place; (b) being sympathetic to the heritage place in terms of materials and detailing; (c) being distinguishable as new development; and (d) the recommendations contained in an adjoining heritage report.
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GLE-S8.7.4 Design of landmark buildings

This sub-clause is in addition to the provisions of the Central Business Zone - Clause 16.4.3 Development Standards for Buildings and Works.

Objective:	
That landmark buildings are differentiated in the streetscape, to enhance local identity and pedestrian wayfinding.	
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>For a new corner building, excluding heritage places, there is no Acceptable Solution.</p>	<p>P1</p> <p>A new corner building, excluding heritage places, must be designed to enhance the legibility of the street grid, having regard to:</p> <ul style="list-style-type: none"> (a) the prominence of the corner in the streetscape; (b) addressing the intersection through architectural features such as prominent entrances, splays or concentration of massing; (c) consistent design articulation and detailing on each frontage; (d) the contribution to the streetscape character; and (e) the local area objectives at Clause GLE-

	S8.3.1.
<p>A2</p> <p>For a new building at a gateway location shown in Figure GLE-S8.1, there is no Acceptable Solution.</p>	<p>P2</p> <p>A new building at a gateway location shown in Figure GLE-S8.1 must be designed as a recognisable local landmark that:</p> <ul style="list-style-type: none"> (a) provides distinctive, contemporary architectural design that: <ul style="list-style-type: none"> (i) defines an entry to the principal activity centre; (ii) enhances the surrounding streetscape; (iii) responds to the design of any other gateway buildings approved since this planning scheme came into effect; (iv) distinguishes the principal activity centre from its surrounds; and (v) has local civic meaning; (b) addresses the findings of a site analysis and design response report; and (c) furthers the local area objectives at Clause GLE-S8.3.1.

GLE-S8.7.5 Design of apartment buildings

This sub-clause is in substitution for the provisions of the Central Business Zone - Clause 16.4.6 Dwellings and in addition to the provisions of the Road and Railway Assets Code – Clause C3.6.1 Habitable buildings for sensitive uses within a road or railway attenuation area.

Objective:
<p>That apartment buildings provide a reasonable level of amenity for residents of all abilities, through design that:</p> <ul style="list-style-type: none"> (a) responds to the site; (b) promotes resource efficiency and minimises energy consumption, by maximising solar access and natural ventilation; (c) provides occupants with adequate privacy, open space and storage; and (d) mitigates amenity impacts from other use and development on-site and on neighbouring properties.

Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Private open space and glazing to a habitable room of an apartment, that has a floor level more than 1 m above existing ground level, must have a setback of not less than 6 m from the private open space and glazing to a habitable room of any other apartment, unless the proposed glazing:</p> <ul style="list-style-type: none"> (a) is offset, in the horizontal plane, not less than 1.5 m from the edge of: <ul style="list-style-type: none"> (i) the private open space; and (ii) glazing to a habitable room; of any other apartment; (b) has a sill height of not less than 1.7 m above the floor level or has fixed obscure glazing extending to a height of at least 1.7 m above the floor level; or (c) has a permanently fixed external screen for the full length of the glazing, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%. 	<p>P1</p> <p>Private open space and glazing to a habitable room of an apartment, that has a floor level more than 1 m above existing ground level, must be designed to minimise overlooking and privacy impacts to any adjacent apartment, having regard to:</p> <ul style="list-style-type: none"> (a) proximity to side and rear boundaries; (b) location of private open space and glazing to habitable rooms in adjacent apartments; and (c) proposed screening or other design measures to minimise direct views to the private open space and glazing to habitable rooms of adjacent apartments.
<p>A2</p> <p>An apartment building must be designed to achieve the following:</p> <ul style="list-style-type: none"> (a) at least 70% of apartments (rounded up to the nearest whole number) receive a minimum of 3 hours direct sunlight on the 21st of June, to living rooms or private open spaces, and (b) not more than 15% of apartments (rounded up to the nearest whole number) receive no direct sunlight to living rooms and private open spaces on the 21st of June. 	<p>P2</p> <p>An apartment building must be designed to maximise the number of apartments that receive direct sunlight to a living room or private open space on the 21st of June, having regard to:</p> <ul style="list-style-type: none"> (a) the size, dimensions and orientation of the site; (b) whether south facing, single aspect apartments have been minimised and multiple aspect apartments have been maximised; (c) optimising the area of direct sunlight to living rooms through the depth and layout of apartments and window sizes; and

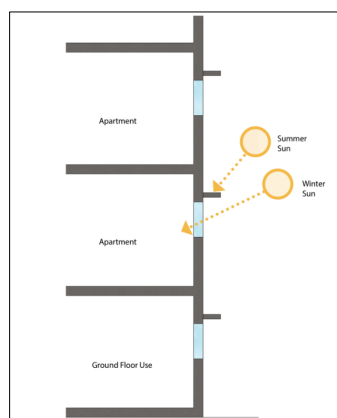
	(d) the findings of a site analysis and design response report.
A3 Apartment windows to habitable rooms oriented between 30 degrees west of north and 30 degrees east of north must be provided with a window shading device with a width (perpendicular to the building facade) not less than 42% of the height from window sill to lintel, as illustrated in Figure GLE-S8.2.	P3 Apartment windows oriented between 30 degrees west of north and 30 degrees east of north must have adequate shading from direct sunlight during summer, that enables a reasonable level of light to penetrate into the room.
A4 At least 60% of apartments must have external openings in different elevations providing natural cross-ventilation.	P4 Apartments are designed to optimise natural cross ventilation opportunities, having regard to: <ul style="list-style-type: none"> (a) building orientation relative to prevailing breezes; (b) the number, area and location of external openings; (c) internal layout to minimise obstructions to the breeze path between external openings; and (d) use of other passive ventilation solutions such as solar chimneys.
A5 An apartment building must be designed to achieve internal noise levels in accordance with Australian Standard AS 3671:1989 – <i>Road Traffic Noise Intrusion (Building Siting and Construction)</i> and Australian Standard AS 2107:2016 – <i>Acoustics (Recommended Design Sound Levels and Reverberation Times for Building Interiors)</i> .	P5 An apartment building must be designed to achieve internal noise levels in accordance with Australian Standard AS 3671:1989 – <i>Road Traffic Noise Intrusion (Building Siting and Construction)</i> and Australian Standard AS 2107:2016 – <i>Acoustics (Recommended Design Sound Levels and Reverberation Times for Building Interiors)</i> , unless: <ul style="list-style-type: none"> (a) the building is a heritage place; and (b) alterations required to meet these standards would negatively impact on the heritage significance of a heritage place.

<p>A6</p> <p>Each apartment must have private open space that:</p> <ul style="list-style-type: none"> (a) has a minimum area of 6 m² plus 2 m² for each bedroom in the apartment, and a minimum width of 2 m; (b) is directly accessible from a living room of the apartment; (c) has visual and acoustic screening from: <ul style="list-style-type: none"> (i) mechanical plant and equipment, service structures and lift motor rooms; (ii) outdoor storage areas and shared laundry facilities; (iii) adjacent shared open space areas; (iv) adjacent outdoor entertainment areas; and (v) the private open spaces and glazing to habitable rooms of adjacent apartments; and (d) includes a private clothes drying area that is screened from public view, unless shared clothes drying facilities are provided. 	<p>P6.1</p> <p>Unless complying with Clause P6.2 of this standard, each apartment must have private open space that provides reasonable amenity and opportunity for outdoor recreation, having regard to:</p> <ul style="list-style-type: none"> (a) the area and dimensions of the space, excluding space occupied by mechanical plant and equipment; (b) the location of the space, relative to a living room of the apartment; (c) the solar access, wind exposure, privacy, visual and acoustic qualities of the space; (d) provision for clothes drying; and (e) screening or design to minimise overlooking of the private open space, and glazing to habitable rooms, of existing adjacent apartments. <p>P6.2</p> <p>For an apartment in an existing building that is a heritage place, private open space is not required if the site cannot reasonably accommodate private open space without detracting from the heritage significance of the place.</p>
<p>A7</p> <p>An apartment building containing ten or more apartments must have shared open space on the site, with:</p> <ul style="list-style-type: none"> (a) a total area not less than the area specified in Table GLE-S8.1; (b) a minimum horizontal dimension of 5 m; (c) a minimum area of 45 m² in one location; (d) not less than 20% of the total shared open space area allocated for plantings; (e) direct access from the apartment building's 	<p>P7.1</p> <p>Unless complying with Clause P7.2 of this standard, an apartment building containing ten or more apartments must have shared open space on the site that provides reasonable amenity and outdoor recreation opportunities for residents, having regard to:</p> <ul style="list-style-type: none"> (a) the area and dimensions of the space; (b) the number of apartments in the building; (c) provision of landscaping on the site; (d) the location of the space, relative to the

<p>shared circulation areas;</p> <p>(f) visual and acoustic screening from:</p> <ul style="list-style-type: none"> (i) mechanical plant and equipment, service structures and lift motor rooms, and (ii) non-residential uses on-site and on adjacent land; <p>(g) visual screening of any shared clothes drying areas from public view; and</p> <p>(h) not less than 2 hours of direct sunlight between 9 am and 3 pm on 21 June to at least 50% of the shared open space.</p>	<p>apartment building's shared circulation areas;</p> <p>(e) measures to mitigate the potential for amenity impacts from:</p> <ul style="list-style-type: none"> (i) mechanical plant and equipment, service structures and lift motor rooms, and (ii) non-residential uses on-site and on adjacent land; <p>(f) measures to minimise the public visibility of any shared clothes drying areas;</p> <p>(g) access to direct sunlight; and</p> <p>(h) the findings of a site analysis and design response report.</p> <p>P7.2</p> <p>Shared open space for an apartment building is not required if:</p> <ul style="list-style-type: none"> (a) for an existing building that is a heritage place, and the site cannot reasonably accommodate shared open space without detracting from the heritage significance of the place; or (b) the site is adjacent to public open space that provides reasonable amenity and outdoor recreation opportunities for residents, having regard to: <ul style="list-style-type: none"> (i) the location, area and aspect of the public open space; (ii) the extent and quality of landscaping of the public open space; and (iii) the provision and proximity of public amenities.
<p>A8</p> <p>Each apartment must have a secure, individual storage area that:</p> <ul style="list-style-type: none"> (a) has a minimum volume of 4 m³ plus 2 m³ for each bedroom in the apartment; 	<p>P8</p> <p>An apartment building must have a secure common storage area that is suitable for storing residents' bulky household items, having regard to:</p>

<p>(b) is located externally to the apartment; and</p> <p>(c) is screened or located away from public view and other non-residential use on the site.</p>	<p>(a) the area of the space;</p> <p>(b) the number of apartments in the building;</p> <p>(c) any provision of secure, individual external storage areas;</p> <p>(d) residents' convenience and security;</p> <p>(e) location and screening to minimise visual impacts to any apartment, other non-residential use on the site or publicly accessible area; and</p> <p>(f) separation from any on-site storage area for shared waste and recycling bins.</p>
<p>A9</p> <p>A new apartment building containing 6 or more apartments must provide a number of accessible apartments that is:</p> <p>(a) not less than 30% of apartments (rounded up to the nearest whole number) certified by a suitably qualified person as meeting Gold Level requirements as defined in the <i>Livable Housing Design Guidelines</i>, or</p> <p>(b) not less than 5% of apartments (rounded up to the nearest whole number) certified by a suitably qualified person as meeting Platinum Level requirements as defined in the <i>Livable Housing Design Guidelines</i>.</p>	<p>P9</p> <p>A new apartment building containing 6 or more apartments must provide a reasonable number of accessible apartments to having regard to:</p> <p>(a) the number of apartments certified by a suitably qualified person as meeting Gold Level or Platinum Level requirements as defined in the <i>Livable Housing Design Guidelines</i>;</p> <p>(b) any relevant council policy; and</p> <p>(c) the findings and recommendations of an accessibility report.</p>

Figure GLE-S8.2 Window shading



GLE- S8.7.6 Waste storage and collection for apartments

This sub-clause is in addition to the provisions of the Central Business Zone – Clause 16.4 Development Standards.

Objective:	
That waste storage and collection for apartments is adequate and convenient and does not adversely impact amenity, the streetscape, other non-residential uses or traffic.	
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>No Acceptable Solution for bin storage and collection for an apartment building.</p>	<p>P1</p> <p>Storage and collection of waste, recycling and FOGO bins for an apartment building must be provided in accordance with any relevant Council policy, must be convenient for residents and must not unreasonably impact amenity or traffic flow on the site, adjoining properties or the road, having regard to:</p> <ul style="list-style-type: none"> (a) design and location to minimise noise, odour and visual impacts to any apartment, shared open space, other non-residential uses, or publicly accessible area; (b) separation from storage of any non-residential bins on the site; (c) separation from any existing footpath trading activity approved in accordance with the relevant Council policy; (d) the location, timing, duration and frequency of bin collection vehicle movements; (e) manoeuvring required by bin collection vehicles, including the amount of reversing and associated warning noise; (f) any noise mitigation measures between sensitive use on the site or an adjacent property, and waste collection activities; (g) potential conflicts with pedestrian, bicycle or vehicular traffic; and (h) whether the adjoining road is a pedestrian priority street.

GLE-S8.7.7 Access, Parking and Sustainable Transport

This sub-clause is in addition to the provisions of the Parking and Sustainable Transport Code – clause C2.5.2 Bicycle parking numbers and clause C2.6 Development Standards for Buildings and Works, and in substitution for clause C2.6.8 Siting of parking and turning areas (A2/P2).

Objective: That access and parking: <ul style="list-style-type: none"> (a) is designed and located to minimise its visual impact; (b) does not undermine active frontages at ground level; and (c) for residential use: <ul style="list-style-type: none"> (i) is designed to ensure safe movement of vehicles and pedestrians for residential and non-residential uses on-site; and (ii) provides for active transport options. 	
Acceptable Solutions	Performance Criteria
A1 Onsite car parking must not be: <ul style="list-style-type: none"> (a) a multi-storey car park; or (b) located adjacent to a ground-level frontage. 	P1 Parking structures and access must be designed and located to ensure no parking area is a dominant visual element of the activity centre, the site on which it is developed, or the streetscape, having regard to: <ul style="list-style-type: none"> (a) the character of the activity centre; (b) avoiding expression of sloping ramps in the facade design; (c) visual and acoustic screening; and (d) whether the road is a pedestrian priority street.
A2 At least one secure, on-site bicycle parking space, or equivalent space for other personal mobility devices, must be provided for each apartment.	P2 On-site bicycle parking spaces, or equivalent spaces for other personal mobility devices, must be provided to meet the reasonable needs of residents, having regard to:

	<p>(a) the number of apartments and likely demand for parking for bicycles or other personal mobility devices; and</p> <p>(b) the number of on-site car parking spaces provided for each apartment.</p>
<p>A3</p> <p>Bicycle parking spaces, or equivalent spaces for other personal mobility devices, for apartments must:</p> <p>(a) be accessible from a road, cycle path, bicycle lane, shared path or access way;</p> <p>(b) be located in a common area of the apartment building or its car parking area; and</p> <p>(c) if located within a car parking area, must be clearly marked.</p>	<p>P3</p> <p>Bicycle parking spaces, or equivalent spaces for other personal mobility devices, for apartments must be provided in a safe, secure and convenient location, having regard to:</p> <p>(a) access to the site;</p> <p>(b) the characteristics of the site, including other uses on the site;</p> <p>(c) the location and visibility of proposed parking for bicycles or other personal mobility devices; and</p> <p>(d) the location of other parking areas on the site.</p>
<p>A4</p> <p>For a site containing an apartment building, there must be no commercial vehicles entering the site.</p>	<p>P4</p> <p>For a site containing an apartment building, where commercial vehicles will also access the site, the crossover, driveway and parking areas must be designed to ensure:</p> <p>(a) safe movement of vehicles, bicycles, personal mobility devices and pedestrians; and</p> <p>(b) separate parking, loading and unloading areas for the commercial vehicles.</p>

GLE-S8.7.8 Pedestrian movement

This sub-clause is in addition to the provisions of the Central Business Zone - Clause 16.4 Development Standards for Buildings and Works.

Objective:	
That development promotes pedestrian connectivity and movement through the public realm.	
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>If a site, other than a corner site, has more than one frontage adjoining a pedestrian priority street, any substantial redevelopment must provide pedestrian thoroughfare through the site, with activation of the interface between the thoroughfare and uses on the site.</p>	<p>P1</p> <p>If a site, other than a corner site, has more than one frontage adjoining a pedestrian priority street, any substantial redevelopment must provide safe pedestrian thoroughfare through the site where feasible, having regard to:</p> <ul style="list-style-type: none"> (a) any site constraints, such as existing buildings or the characteristics of the lot; (b) proximity to a road junction or existing pedestrian thoroughfare; (c) activation of the interface between any thoroughfare and uses on the site; (d) the findings of a site analysis and design response report; and (e) furthering the local area objectives at Clause GLE-S8.3.1.

GLE-S8.7.9 Signs

This sub-clause is in addition to the provisions of the Signs Code – Clause C1.6.1 Design and siting of signs, A1 and P1.

Objective:	
That frontage activation is not undermined by window signs.	
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Window signs adjoining pedestrian priority streets must not collectively occupy more than 25% of the window area.</p>	<p>P1</p> <p>A window sign adjoining pedestrian priority streets must not, individually or collectively, unreasonably impede frontage activation, having regard to:</p>

	<ul style="list-style-type: none"> (a) the prominence of the window in the façade; (b) maintaining transparency between the building interior and publicly accessible areas; (c) the characteristics of the use; and (d) the local area objectives at Clause GLE-S8.3.1.
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GLE-S8.7.10 Landscaping of publicly accessible areas

This sub-clause is in addition to the provisions of the Central Business Zone - Clause 16.4 Development Standards for Buildings and Works.

Objective:	
<p>That landscaping:</p> <ul style="list-style-type: none"> (a) enhances the amenity and cohesiveness of publicly accessible areas; (b) contributes to a network of green space; and (c) avoids potential negative impacts. 	
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>No Acceptable Solution for landscaping where a new, or a change to an existing, publicly accessible area is proposed.</p>	<p>P1</p> <p>Publicly accessible areas, including external car parks, must be appropriately landscaped in accordance with a landscaping plan, prepared by a suitably qualified landscaping designer, to enhance the natural values and amenity of the site, having regard to:</p> <ul style="list-style-type: none"> (a) layout, materials and species selection to: <ul style="list-style-type: none"> (i) complement the design of nearby landscaping; (ii) minimise maintenance requirements; (iii) avoid potential public safety risks; (iv) avoid potential damage to public infrastructure and assets; (v) avoid negative impacts to any heritage

	<p>place or adjoining heritage place; and</p> <p>(vi) exclude declared weeds;</p> <p>(b) opportunities for water sensitive urban design;</p> <p>(c) any relevant Council policy or strategy; and</p> <p>(d) the local area objectives at Clause GLE-S8.3.1.</p>
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GLE-S8.7.11 Provision of External Lighting

This sub-clause is in addition to the provisions of the Central Business Zone - Clause 16.4 Development Standards for Buildings and Works.

Objective:	
That lighting enhances the amenity and safety of the activity centre.	
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>No Acceptable Solution for lighting where a new, or a change to an existing, publicly accessible area is proposed, unless for security lighting.</p>	<p>P1</p> <p>Publicly accessible areas must be lighted to enhance safety and amenity, having regard to:</p> <p>(a) promoting a night-time economy;</p> <p>(b) utilising lighting for aesthetic effect;</p> <p>(c) illumination of public art, heritage places and landmark buildings;</p> <p>(d) illumination of the area beneath any awnings;</p> <p>(e) compliance with the relevant minimum lighting standard in accordance with any relevant Council policy; and</p> <p>(f) the recommendations of a lighting plan, prepared by a suitably qualified lighting designer.</p>

GLE-S8.8 Development Standards for Subdivision

This sub-clause is not used in this specific area plan.

GLE-S8.9 Tables**Table GLE-S8.9.1 Shared open space for apartments**

Number of apartments	Minimum area of shared open space
1-9	Nil
10-19	120 m ² plus 4 m ² per apartment, after the first 10 apartments
20 or more	160 m ² plus 6 m ² per apartment, after the first 20 apartments

**Annexure 4 – Livable Housing Design Guidelines added to GLE-Applied, Adopted or
Incorporated Documents - PLAM-22/10**



Livable Housing Design Guidelines



Fourth Edition

Livable Housing Design Guidelines



About Livable Housing Australia

Livable Housing Australia (LHA) is a partnership between community and consumer groups, government and industry.

LHA champions the mainstream adoption of livable housing design principles in all new homes built in Australia.

LHA arose from the Kirribilli Dialogue on Universal Housing Design, which established nationally agreed guidelines on designing and building livable homes.

LHA is responsible for the ongoing development, dissemination and revision of Australia's Livable Housing Design Guidelines.



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Livable Housing Australia, 4th Edition, (2017), Livable Housing Design Guidelines.

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Foreword

The design of the Australian family home is set for a makeover.

Our homes have transformed significantly over the years. Today's houses are greener, more efficient and safer.

The next step is to design them to be more versatile, to better meet the changing needs of occupants over their lifetimes.

Livable Housing Australia, which represents a unique partnership between community, business groups and government, is helping make homes easier to access, navigate and live in, as well more cost-effective to adapt when life's circumstances change.

LHA has produced practical, common sense guidelines to livability. The design features embraced by the guidelines are inexpensive to incorporate into home design, and will deliver huge dividends to future generations of Australians.

Our Silver, Gold and Platinum ratings represent a trusted quality mark – a seal of approval that attests to enhanced livability.

LHA's goal is simple: we champion the adoption by 2020 of a Silver rating for all new homes.

It's makes smart sense to commit to livability features when a home is first designed and built rather than wait for an unplanned need to arise. In fact, international research shows that it's 22 times more efficient to design for adaptability up front.

Livability works for pregnant mums, young families with kids and people with sporting or traumatic injuries, as well as seniors, Australians with disability and their families.

Livability is an investment that makes both economic and social sense. It also offers peace of mind.

On behalf of Livable Housing Australia, I encourage you to help transform the Australian dream home by adopting and implementing these Livable Housing Design Guidelines.



Sophie Pickett-Heaps
Chair
Livable Housing Australia

Livable Housing Design Guidelines



Livable Housing Australia:



Championing safer, more comfortable and easier to access homes for everybody, everyday, at all stages of life.

Introduction

What is Livable Housing Design?

A livable home is designed and built to meet the changing needs of occupants across their lifetime.

Livable homes include key easy living features that make them easier and safer to use for all occupants including: people with disability, ageing Australians, people with temporary injuries, and families with young children.

A livable home is designed to:

- be easy to enter
- be easy to navigate in and around
- be capable of easy and cost-effective adaptation, and
- be responsive to the changing needs of home occupants.

Livable homes enhance the quality of life of all occupants at all stages of their life.

What are the benefits of a livable designed home?

All Australians benefit from homes designed with comfort, safety and ease of access as core design features. These features make the home easier for parents to manoeuvre prams, easier to carry the shopping into the house, easier for people with disability or temporary injury to get around and easier to move furniture.

These same features enable key living spaces to be more easily and cost effectively adapted to meet the changing needs and abilities of home occupants such as ageing baby boomers and people who have or acquire disability.

A livable designed home benefits:

Families with young children
by making it easier to manoeuvre prams and strollers and removing trip hazards for toddlers.

People who sustain a temporary injury
that limits their mobility (for example as a result of sporting or work-related injury or motor vehicle accident).

Ageing baby boomers
who are looking to move or renovate their existing homes to better accommodate future needs.

People with disability and their families
enabling them better choice of housing and the opportunity to visit the homes of friends and relatives.



Is there a market?

Mainstream adoption of key livability features into new housing makes sense for several reasons:

Baby Boomers

- The significant ageing baby boomer demographic represents a growing market for age-friendly, livable designed housing.



- The number of Australians with disability will inevitably rise as the population grows and ages.

1 in 5

- One in five (close to 4 million) Australians currently have a disability of some type - about 320,000 are children.

60%

- Research indicates a 60 percent chance that a house will be occupied by a person with a disability at some point over its life¹. This person is likely to be someone you know – a parent, child, sibling or friend.

62%

- The family home accounts for 62 percent of all falls and slip-based injuries and costs the Australian population \$1.8 billion in public health costs².

22 x

- The cost to the homeowner of including key livable housing design features (in this case the silver level) is 22 times more efficient than retrofitting when an unplanned need arises³.

A national survey has shown that the majority of recent home buyers, builders and renovators, and people aged 60 plus believe that livable housing design features make a home safer and more functional for all⁴.

¹ Smith, S., Rayer, S., & Smith, E. (2008) Ageing & disability: Implications for the housing industry and housing policy in the United States. *Journal of the American Planning Association*, 74:3, 289 – 306.

² Monash University Accident Research Centre. (2008) The relationship between slips, trips and falls and the design and construction of buildings. (Funded by the Australian Building Codes Board).

³ New Zealand Ministry of Social Development. (2009) Economic effects of utilising Lifemark at a National level.

⁴ Australian Housing and Urban Research Institute. (2010) Dwelling, Land and Neighbourhood Use by Older Home Owners, p.282.

Intended audience for the Livable Housing Design Guidelines

The Livable Housing Design (LHD) Guidelines assist the residential building, property industry and governments better understand how to incorporate easy living features into new housing design and construction.



How to read this document

The LHD Guidelines provide useful information for consumers seeking to introduce livable design features into a new home and could be readily applied within an existing home during renovation or refurbishment.

The Guidelines describe 15 livable design elements. Each element provides guidance on what performance is expected to achieve either silver, gold or platinum level accreditation. Elements 1–7 cover the core elements of the basic silver level accreditation.

Structure of the LHD Guidelines

Three levels of performance are detailed in the LHD Guidelines. These voluntary performance levels can be applied to all new dwellings.

It is noted that common areas for Class 1b, 2, and 3 buildings are covered by the Disability (Access to Premises - Buildings) Standards 2010 and the National Construction Code (NCC), Building Code of Australia (BCA) Volumes 1 and 2 which take precedence over the LHD Guidelines.

Note: LHA Design Guidelines apply to at least one toilet, bathroom. Where there is more than one bathroom or toilet in a dwelling, the LHA Guidelines should apply to the ground floor (entry) facilities. In the case LHA gold or platinum requirements for kitchens, laundry and bedroom then the design guidelines apply to at least one of these areas of a dwelling.

These guidelines have been developed as a set of voluntary inclusions that can be incorporated into a new or existing home or apartment. On this basis, the Guidelines use the term "should" rather than "shall" to acknowledge that none of the requirements are mandatory, unless the Guidelines are referenced by a state, territory or local government authority or regulation in which case the relevant requirements specified by an Authority shall then be mandatory. If the Guidelines are being relied upon for a regulatory purpose, for example a development application, then advice should be sought from the relevant regulatory authority as to which of the requirements are mandatory. If the Guidelines are to be used as a benchmark for Silver, Gold or Platinum level Certification, then all of the requirements detailed in the Guidelines must be met."

Performance levels

The levels of performance range from basic requirements through to best practice in livable home design. The levels are as follows:



Silver Level

Seven core livable housing design elements

Focuses on the key structural and spatial elements that are critical to ensure future flexibility and adaptability of the home. Incorporating these features will avoid more costly home modification if required at a later date.



Gold Level

Enhanced requirements for most of the core livable housing design elements plus additional elements.

The gold level provides for more generous dimensions for most of the core livable housing design elements and introduces additional elements in areas such as the kitchen and bedroom.



Platinum Level

Some further enhanced requirements for the core livable housing design elements plus all remaining elements.

All 15 elements are featured in the platinum level. This level describes design elements that would better accommodate ageing in place and people with higher mobility needs. This level requires more generous dimensions for most of the core livable design elements and introduces additional elements for features such as the living room and flooring.

Introducing the seven core design elements:

LHA is committed to championing the adoption of the silver level design elements into all new dwellings.

LHA acknowledges that the core design elements do not necessarily accommodate the needs and abilities of all home occupants. However, they are considered to be of most widespread benefit and use in the majority of circumstances.

Importantly, by including the core livable housing design elements, home occupants are provided with the opportunity to reduce or avoid costs associated with retrofitting a home to improve access in future, should it be required.

The seven core design features elements in the silver level they are:

- 1 A safe continuous and step free path of travel from the street entrance and / or parking area to a dwelling entrance that is level.
- 2 At least one, level (step-free) entrance into the dwelling.
- 3 Internal doors and corridors that facilitate comfortable and unimpeded movement between spaces.
- 4 A toilet on the ground (or entry) level that provides easy access.
- 5 A bathroom that contains a hobless shower recess.
- 6 Reinforced walls around the toilet, shower and bath to support the safe installation of grabrails at a later date.
- 7 Stairways are designed to reduce the likelihood of injury and also enable future adaptation.

The relationship between the Livable Housing Design Guidelines and the National Construction Code (NCC), Building Code of Australia (BCA) Volume 1 and 2

The National Construction Code (NCC) sets out the legal construction requirements for all new building work in Australia. It includes performance requirements that must be achieved for each aspect of building construction.

In designing a home that incorporates the design elements of the LHD Guidelines it is important to ensure that all building work also complies with the relevant NCC, inclusive of BCA Volume 1 and 2, requirements where they apply, particularly for:

- fire safety
- water proofing of wet areas (internal)
- weather proofing (external)
- termite protection
- window location and size
- floor surfaces in wet areas and on stairs.
- stairways



Application

The elements described in the LHD Guidelines are applicable to the following classes of buildings as specified in the NCC.

Class 1 – one or more buildings, which in association constitute:

Class 1a – a single dwelling being:

- i. a detached house; or
- ii. one of a group of two or more attached dwellings, each being a building, separated by a fire-resisting wall, including a row house, terrace house, town house or villa unit; or

Class 1b:

- i. a boarding house, guest house, hostel or the like; with a total area of all floors not exceeding 300 m² measured over the enclosing walls of the Class 1b building; and in which not more than 12 persons would ordinarily be resident, which is not located above or below another dwelling or another Class of building other than a private garage;
- ii. 4 or more single dwellings located on one allotment and used for short-term holiday accommodation.

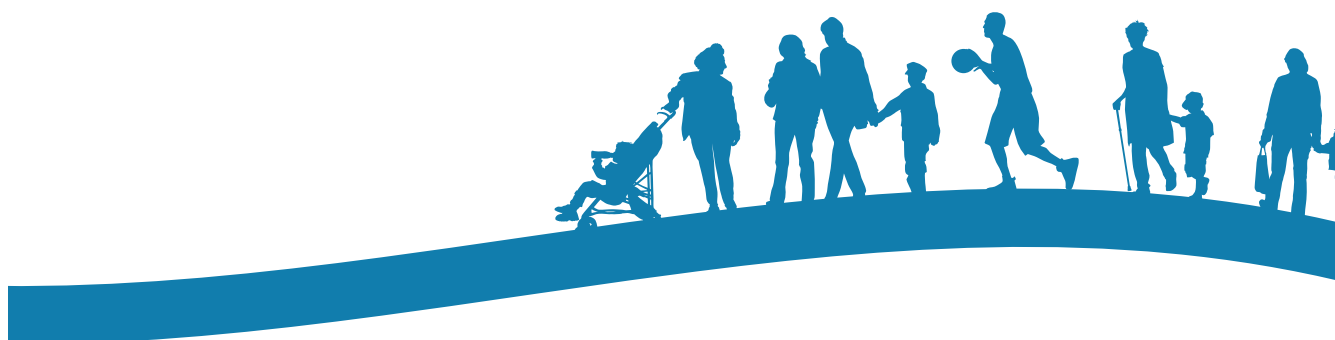
Class 2 – a building containing 2 or more sole-occupancy units, each being a separate dwelling.

Class 3 - a residential building, other than a building of Class 1 or 2, which is a common place of long term or transient living for a number of unrelated persons, including -

- a. a boarding house, guest house, hostel, lodging house or backpackers accommodation; or
- b. a residential part of a hotel or motel; or
- c. a residential part of a school; or
- d. accommodation for the aged, children or people with disabilities; or
- e. a residential part of a health-care building which accommodates members of staff; or
- f. a residential part of a detention centre.

Class 4 – a dwelling in a building that is a Class 5, 6, 7, 8 or 9 if it is the only dwelling in the building.

Note: The design elements described in these Guidelines should only be applied to the parts of the building classes not covered by the Disability Standards and NCC (BCA Vol 1 and 2).





The background of the page features an abstract geometric design. It consists of several overlapping shapes in two shades of brown: a dark chocolate brown and a lighter, golden-brown or tan color. These shapes include a large triangle, a curved segment, and other angular forms that create a dynamic, layered effect. The title text is positioned within the dark brown area on the right side of the page.

The 15 Livable Housing Design Elements

1 Dwelling access

Performance Statement

There is a safe, continuous, step-free pathway from the street entrance and/or parking area to a dwelling entrance that is level.



Silver Level

- a. Provide a safe, continuous step-free pathway from the front boundary of the property to an entry door to the dwelling.
This provision does not apply where the average slope of the ground where the path would feature is steeper than 1:14.
- b. The path of travel referred to in (a) should have a minimum clear width of 1000mm and have:
 - i. no steps;
 - ii. an even, firm, slip resistant surface;
 - iii. a crossfall of not more than 1:40;
 - iv. a maximum pathway slope of 1:14Where ramps are required they should have landings provided at no greater than 9m for a 1:14 ramp and no greater than 15m for ramps steeper than 1:20. Landings should be no less than 1200mm in length.
- c. The path of travel referred to in (a) may be provided via an associated car parking space for the dwelling. Where a car parking space is relied upon as the safe and continuous pathway to the dwelling entrance, the space should incorporate:
 - i. minimum dimensions of at least 3200mm (width) x 5400mm (length);
 - ii. an even, firm and slip resistant surface; and
 - iii. a level surface (1:40 maximum gradient, 1:33 maximum gradient for bitumen).



- d. A step ramp may be incorporated at an entrance doorway where there is a change in height of 190mm or less. The step ramp should provide:
 - i. a maximum gradient of 1:10
 - ii. a minimum clear width of 1000mm (please note: width should reflect the pathway width)
 - iii. a maximum length of 1900mm
- e. Where a ramp is part of the pathway, level landings no less than 1200mm in length, exclusive of the swing of the door or gate than opens onto them, must be provided at the head and foot of the ramp.

Note: The width of the landing will be determined by the adjoining pathway. If the landing directly adjoins the doorway please refer to Element 2 for dimensional requirements.

Gold Level

As for silver level except:

- i. replace in (b) the minimum clear pathway width of 1000mm with 1100mm, and
- ii. insert in (c) the following additional features:
 - a. a vertical clearance over the parking space of at least 2500mm; and
 - b. a covered parking space to ensure protection from the weather.

Platinum Level

As for gold level except.

- i. replace in (b) the minimum clear pathway width of 1100mm with 1200mm, and
- ii. replace in (c) the minimum dimensions of at least 3800mm (width) x 6000mm (length)

1 Dwelling access

Performance Statement

There is a safe, continuous, step-free pathway from the street entrance and/or parking area to a dwelling entrance that is level.



1. Continuous step-free path of travel to a side entrance
2. Easy access from the front pathway and driveway
3. Continuous step-free pathway with varied surface finishes
4. Achieving access on a sloping block

Direct entry from a parking space to a level entry (not necessarily the front entrance) is essential. A level path from the street further improves access.



Performance Statement

There is a safe, continuous, step-free pathway from the street entrance and/or parking area to a dwelling entrance that is level.

Enable Housing Design Guidelines

A generous car space makes it easier to move around a vehicle when the doors are fully open.

**Performance Statement**

Where the parking space is part of the dwelling access it should allow a person to open their car doors fully and easily move around the vehicle.

2 Dwelling entrance

Performance Statement

There is at least one level (step-free) entrance into the dwelling to enable home occupants to easily enter and exit the dwelling.



Silver Level

- a. The dwelling should provide an entrance door with -
 - i. a minimum clear opening width of 820mm (see Figure 2(a));
 - ii. a level (step-free) transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled); and
 - iii. reasonable shelter from the weather.
- b. A level landing area of at least 1200mm x 1200mm should be provided at the level (step free) entrance door. A level landing area at the entrance door should be provided on the arrival side of the door (i.e. the external side of the door) to allow a person to safely stand and then open the door.
- c. Where the threshold at the entrance exceeds 5mm and is less than 56mm, a ramped threshold may be provided (see Figure 1(b)).
- d. The level (step-free) entrance should be connected to the safe and continuous pathway as specified in Element 1.

Note The entrance must incorporate waterproofing and termite management requirements as specified in the NCC.

Gold Level

As for silver level except replace:

- (b) with a level landing area of at least 1350mm x 1350mm, and
- (a) (i) with minimum clear door opening width of 850mm (see Figure 2(b)).

Platinum Level

As for silver level except replace:

- (b) with a level landing area of at least 1500mm x 1500mm, and
- (a) (i) with a minimum clear door opening width of 900mm (see Figure 2(c)).

A level entrance makes entering and exiting the home safer and easier.



Photo courtesy of Lendlease



Performance Statement

There is at least one level (step-free) entrance into the dwelling to enable home occupants to easily enter and exit the dwelling.

2 Dwelling entrance

Performance Statement

There is at least one level (step-free) entrance into the dwelling to enable home occupants to easily enter and exit the dwelling.

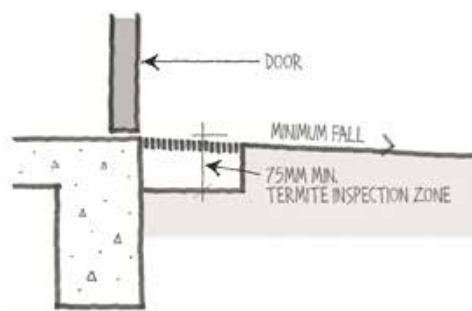


Figure 1(a) Threshold treatment: incorporates grated drain along threshold to achieve minimum termite inspection zone and weather protection.

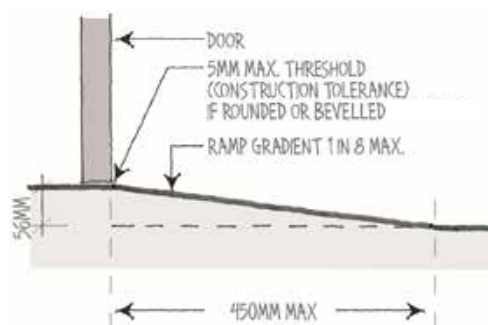


Figure 1(b) Weather protection: 1 in 8 max. ramp at threshold

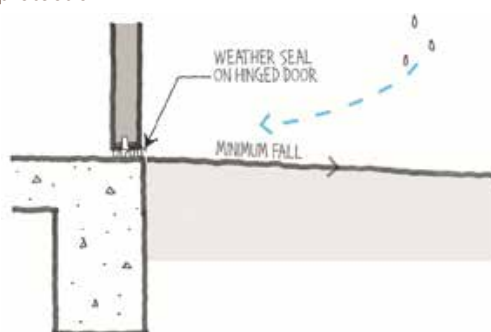


Figure 1(c) Weather protection: weather seal on hinged door.

Design considerations at level entries

1. Termite prevention:

The limiting of thresholds at doorways (to say 50mm) prevents achieving adequate inspection zones (min 75mm) and termite barriers across these thresholds. This commonly demands that porch slabs be integrated with the general floor slab of the house so that termite barriers and inspection zones can be continued around the perimeter of the porch.

This inspection zone might be achieved by other methods such as within the depth of a grated drain along the threshold.

2. Weather protection and thresholds:

Weather protection is traditionally aided by stepped thresholds. Level access requires consideration of alternative solutions to maintain adequate protection from the wet weather. Standard threshold ramps, as detailed in 1(b) above, allow weatherproofing thresholds of up to approx. 50mm. This can be combined with gently sloping porches to limit the possibility of water entering the dwelling.

Appropriately sized grated drains and generous cover at entries should also be provided to limit the quantity of water in the area adjoining the door.

Exotic Housing Design Guidelines

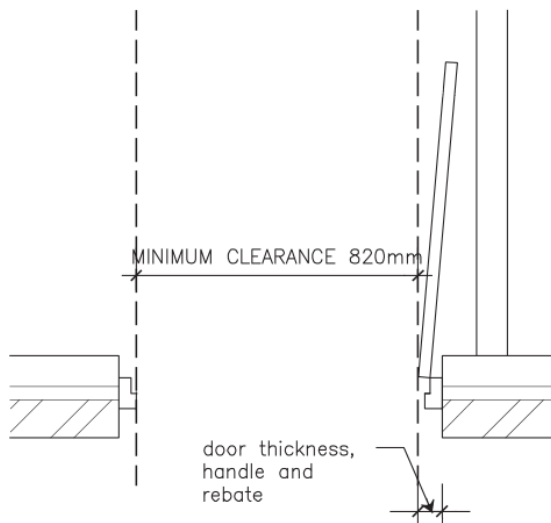


Figure 2(a) Silver level clear door opening

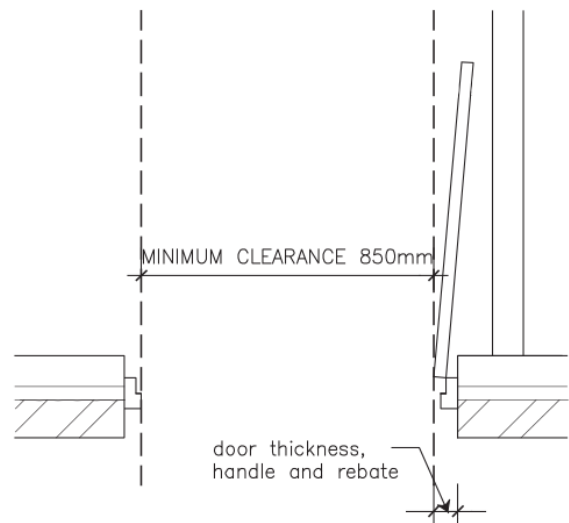


Figure 2(b) Gold level clear door opening

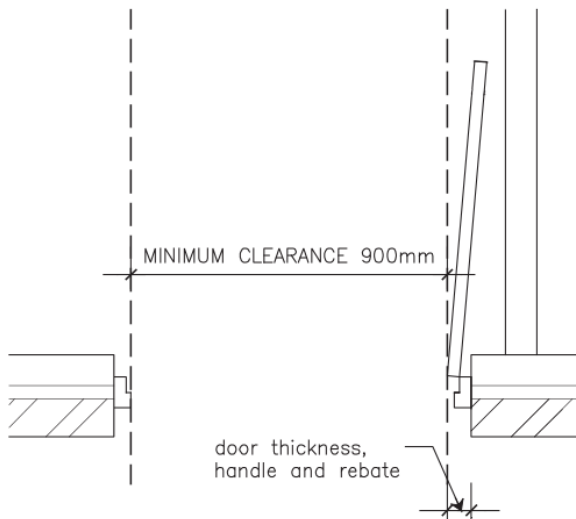


Figure 2(c) Platinum level clear door opening

3 Internal doors & corridors

Performance Statement

Internal doors and corridors facilitate comfortable and unimpeded movement between spaces.



Silver Level

- a. Doorways to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartment purposes should provide:
 - i. a minimum clear opening width of 820mm (see Figure 2(a)); and
 - ii. a level transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled).
- b. Internal corridors/passageways to the doorways referred to in (a) should provide a minimum clear width of 1000mm.

* Corridor widths should be measured as described in Clause 6.3 of AS 1428.1 – 2009

Gold Level

As for the silver level except replace:

- (a)/(i) with a minimum clear opening width of 850mm (see Figure 2(b)), and
- (b) with a minimum corridor/passageway width of 1200mm.

Platinum Level

As for the silver level except replace:

- (a)/(i) with a minimum clear opening width of 900mm (see Figure 2(c)), and
- (b) with a minimum corridor/passageway width of 1200mm.

Slightly wider doors and corridors make it easier to manoeuvre strollers and prams, move furniture and carry in groceries. It's also easier for people with mobility issues.



Performance Statement
Internal doors and corridors facilitate comfortable and unimpeded movement between spaces.

4 Toilet

Performance Statement

The ground (or entry) level has a toilet to support easy access for home occupants and visitors.



Silver Level

- a. Dwellings should have a toilet on the ground (or entry) level that provides:
 - i. a minimum clear width of 900mm between the walls of the bathroom if located in a separate room; and
 - ii. a minimum 1200mm clear circulation space forward of the toilet pan exclusive of the swing of the door in accordance with Figure 3(a).
 - iii. The toilet pan should be located in the corner of the room (if the toilet is located in a combined toilet / bathroom) to enable installation of grabrails at a future date. Reinforcement guidelines for walls in bathrooms and toilets are found in element 6.

Gold Level

As for silver level except replace (a)/(i) with a minimum clear width of 1200mm between the walls of the bathroom if located in a separate room, or between amenities if located in a combined bathroom.

Platinum Level

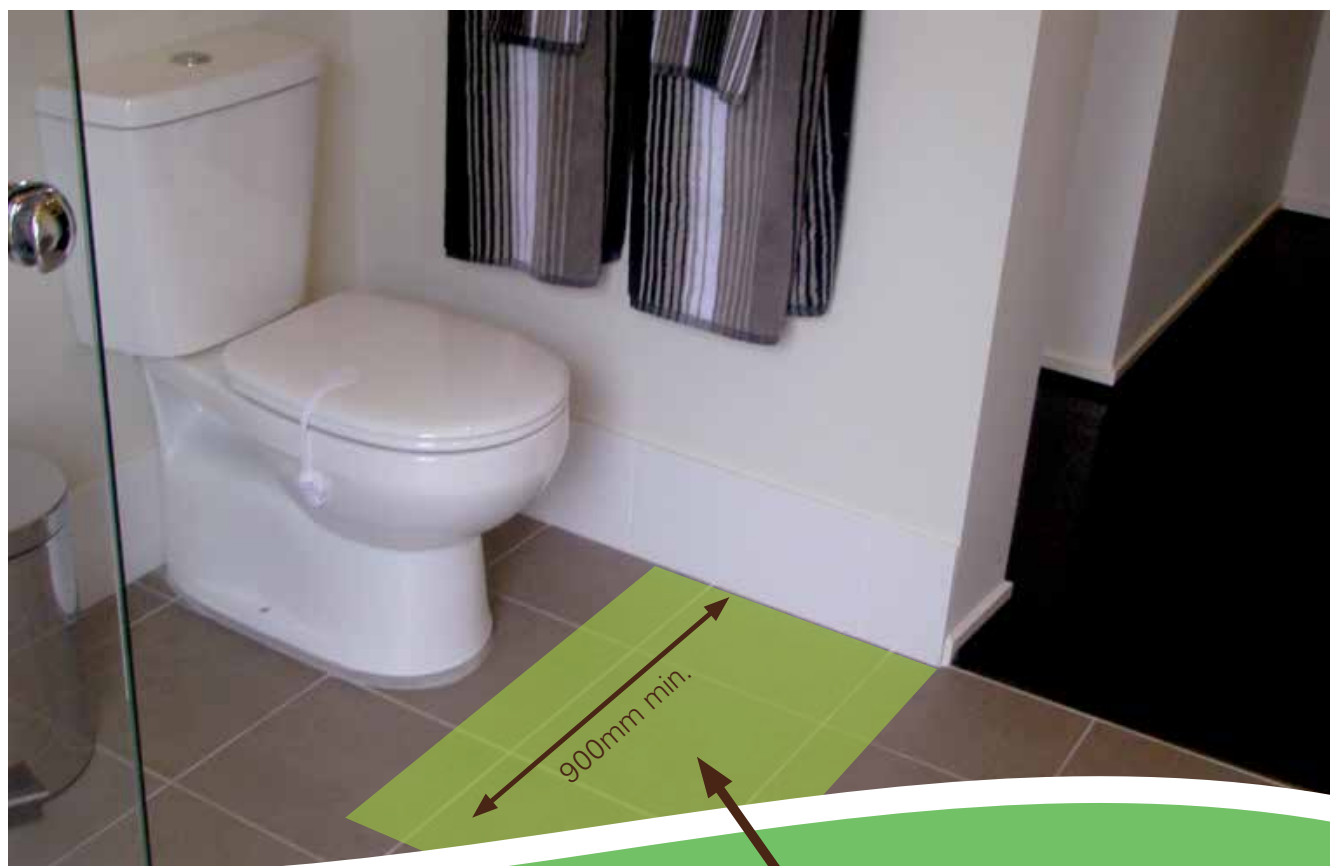
As for the gold level with the following features added to (a) as detailed in Figure 4:

- iv. a toilet seat positioned between 450mm – 460mm from the nearest wall as measured from the centre line of the toilet;
- v. 600mm minimum clearance forward of the cistern measured from the front of the cistern to the front of the toilet seat. 800mm (+/-10mm) clearance is required if the cistern is recessed; and
- vi. a height for the seat of between 460mm-480mm above the finished floor level.

Note: Compliance with the platinum level does not equate to compliance with AS 1428.1 2009 for accessible sanitary facilities.

Clear space in front of the toilet is key as it ensures easier access for children, older people and people with mobility difficulties.

The IFO6861 toilet suite by Enware with the cistern design that forms an integrated backrest meets the intent of the Platinum Level requirements for toilets outlined in the Livable Housing Design Guidelines despite the clearance from the front of the pan to the front of the cistern being less than 600mm as long as the front of the pan is set out to be at least 800mm from the back wall."



Performance Statement

The ground (or entry) level has a toilet to support easy access for home occupants and visitors.

4 Toilet

Performance Statement

The ground (or entry) level has a toilet to support easy access for home occupants and visitors.

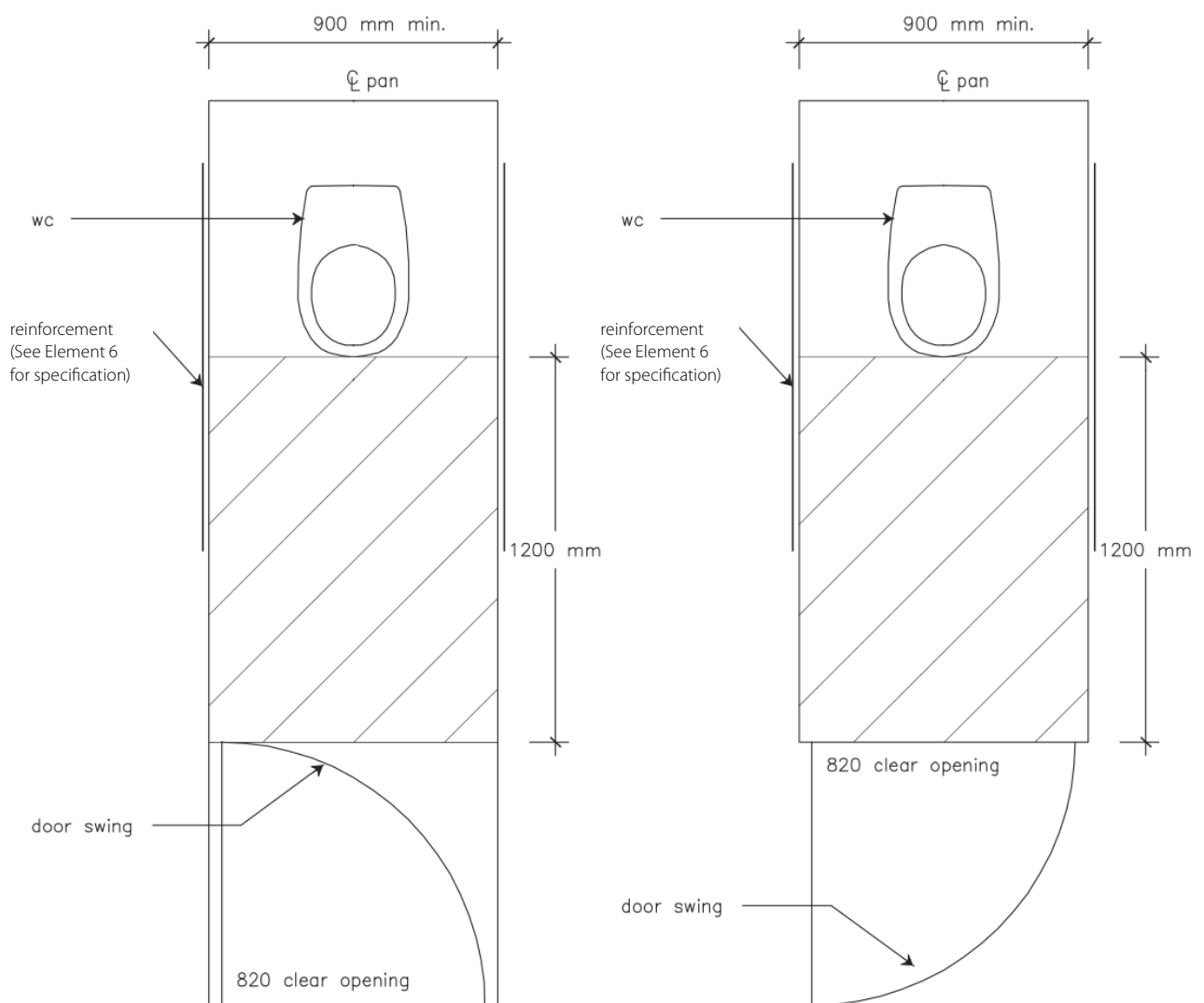


Figure 3(a) Silver level ground (or entry) level toilet layout and space requirements in a separate room.

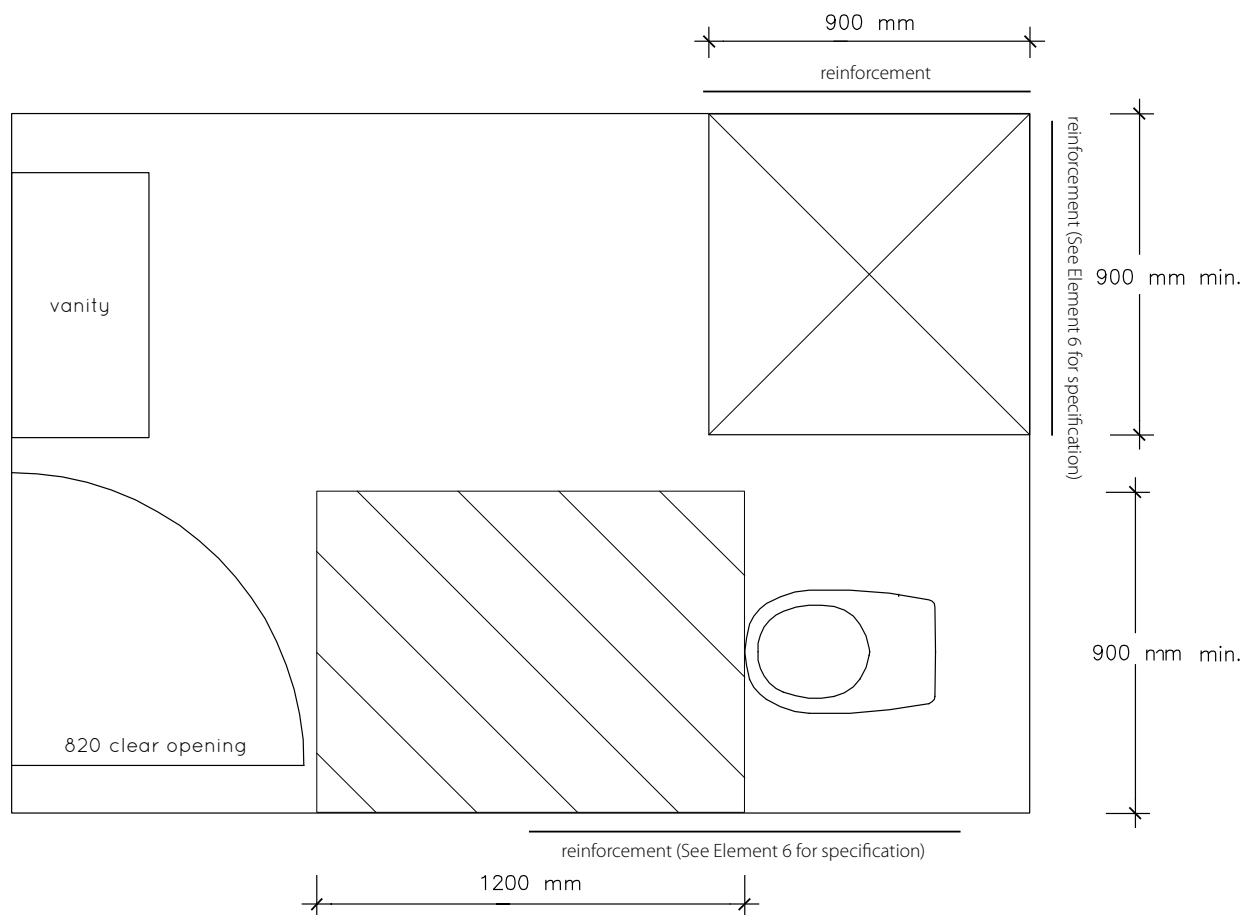


Figure 3(b) Silver level ground (or entry) level toilet layout and space requirements in a combined bathroom.

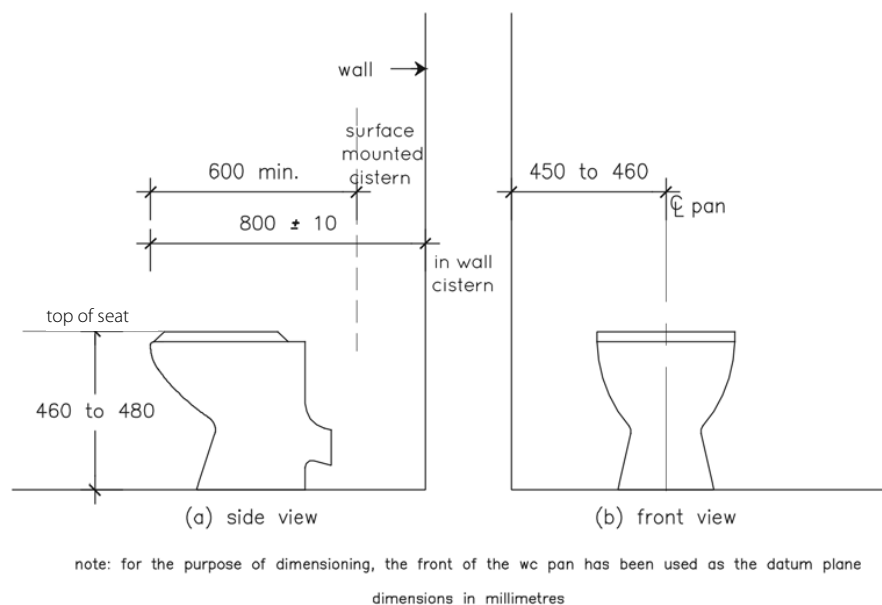


Figure 4 Platinum level toilet seat clearances

5 Shower

Performance Statement

The bathroom and shower is designed for easy and independent access for all home occupants.



Silver Level

- a. One bathroom should feature a slip resistant, hobless shower recess. Shower screens are permitted provided they can be easily removed at a later date.
- b. The shower recess should be located in the corner of the room to enable the installation of grabrails at a future date.

For hobless specification please see Australian Standard AS3740-3.6. Reinforcement guidelines for walls in bathrooms and toilets are found in element 6.

Gold Level

As for silver level except:

- c. The hobless shower recess described in (a) should:
 - i. be located in a bathroom on the ground (or entry) level;
 - ii. provide minimum dimensions of 900mm (width) x 900mm (length); and
 - iii. provide a clear space of at least 1200mm (width) x 1200mm (length) forward of the shower recess entry as detailed in Figure 5(a).

Platinum Level

As for gold level except:

- i. replace (c)/(ii) with dimensions of at least 1160mm (width) x 1100mm (length). A level transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled); and
- ii. replace (c)/(iii) with dimensions of at least 1600mm (width) x 1400mm (length) forward of the shower recess as detailed in Figure 5(b).

Enable Housing Design Guidelines

Hobless, shower recesses reduce the risk of slips and falls and make access easier and safer for home occupants.



Photo courtesy of Supplier

Performance Statement
The bathroom and shower is designed for easy and independent access for all home occupants.

Floors in shower recesses need to be graded properly so that screens can be removed if required and water will still drain effectively.

5 Shower

Performance Statement

The bathroom and shower is designed for easy and independent access for all home occupants.

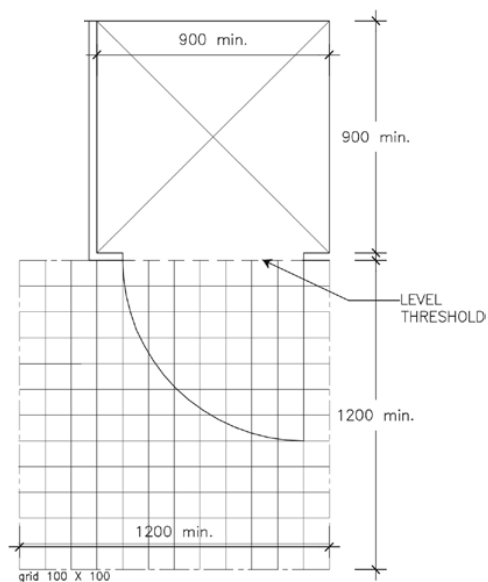


Figure 5(a) Gold level circulation space requirements for shower recess

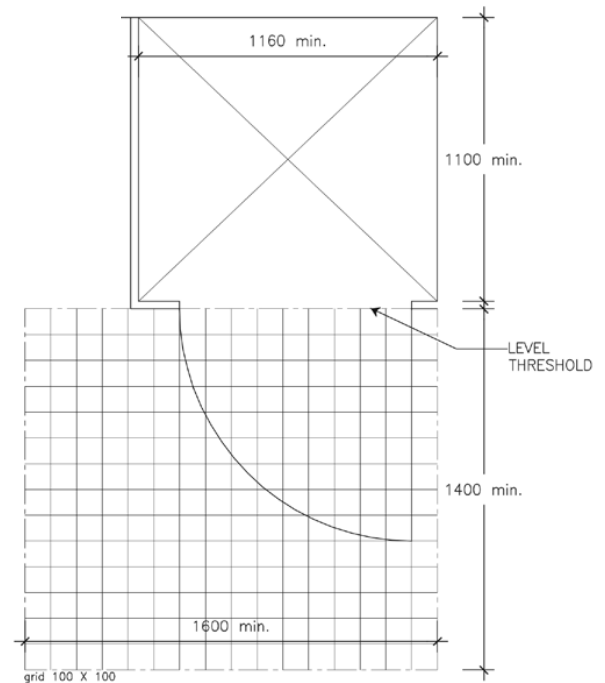


Figure 5(b) Platinum level circulation space requirements for shower recess

6 Reinforcement of bathroom & toilet walls

Performance Statement

The bathroom and toilet walls are built to enable grabrails to be safely and economically installed.



Silver Level

- a. Except for walls constructed of solid masonry or concrete, the walls around the shower, bath (if provided) and toilet should be reinforced to provide a fixing surface for the safe installation of grabrails.
- b. The walls around the toilet are to be reinforced by installing:
 - i. noggings with a thickness of at least 25mm in accordance with Figure 6(a); or
 - ii. sheeting with a thickness of at least 12mm in accordance with Figure 6(b).
- c. The walls around the bath are to be reinforced by installing:
 - i. noggings with a thickness of at least 25mm in accordance with Figure 7(a); or
 - ii. sheeting with a thickness of at least 12mm in accordance with Figure 7(b).
- d. The walls around the hobless shower recess are to be reinforced by installing:
 - i. noggings with a thickness of at least 25mm in accordance with Figure 8(a); or
 - ii. sheeting with a thickness of at least 12mm in accordance with Figure 8(b).

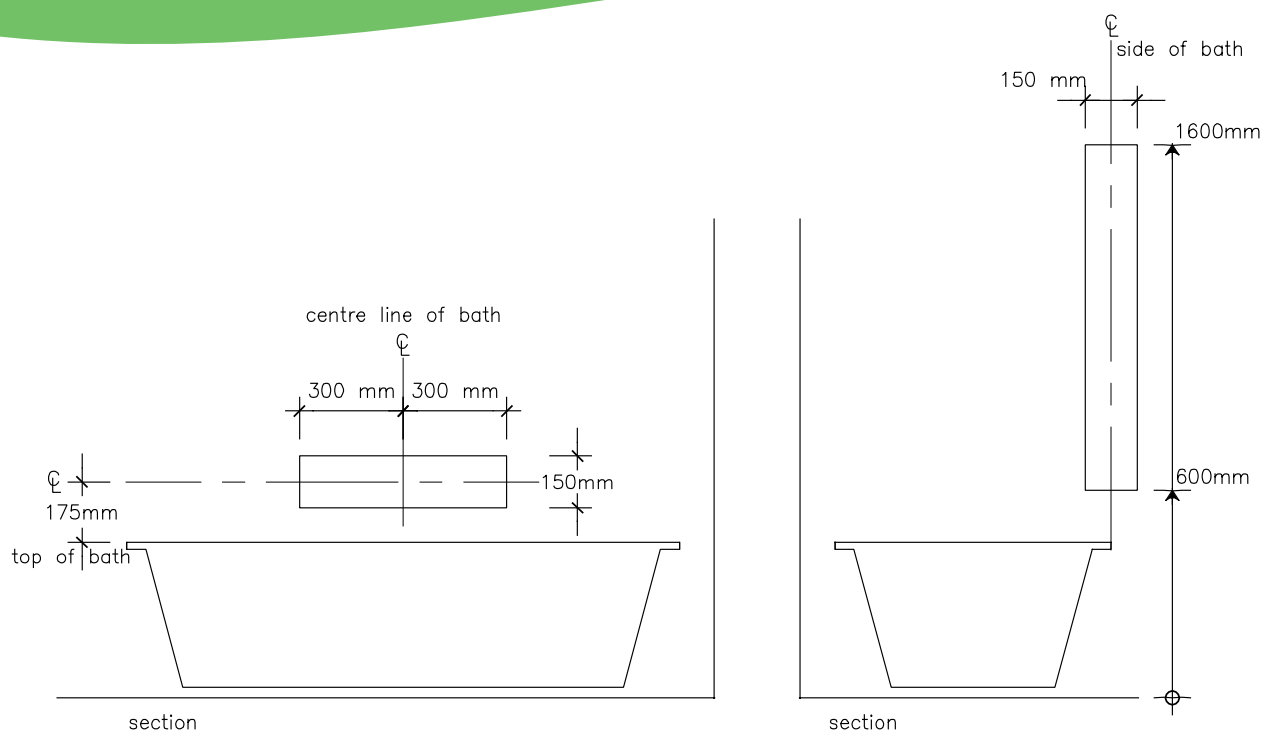


Figure 7(a) Bath – Location of reinforcement

Gold Level

Silver level requirements apply.

Platinum Level

Silver level requirements apply.

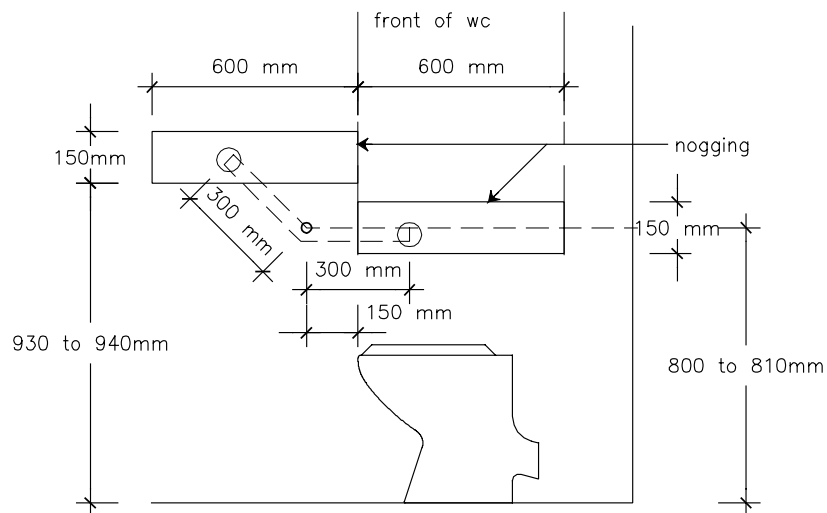


Figure 6(a) Toilet – Location of reinforcement

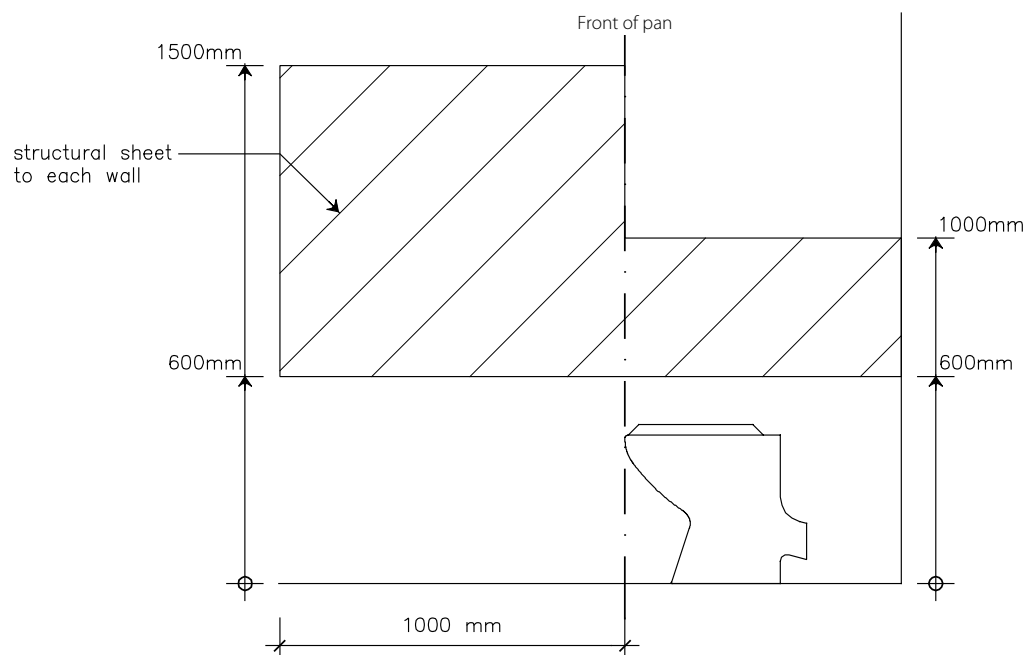


Figure 6(b) Toilet – Location of sheeting

Performance Statement

The bathroom and toilet walls are built to enable grabrails to be safely and economically installed.

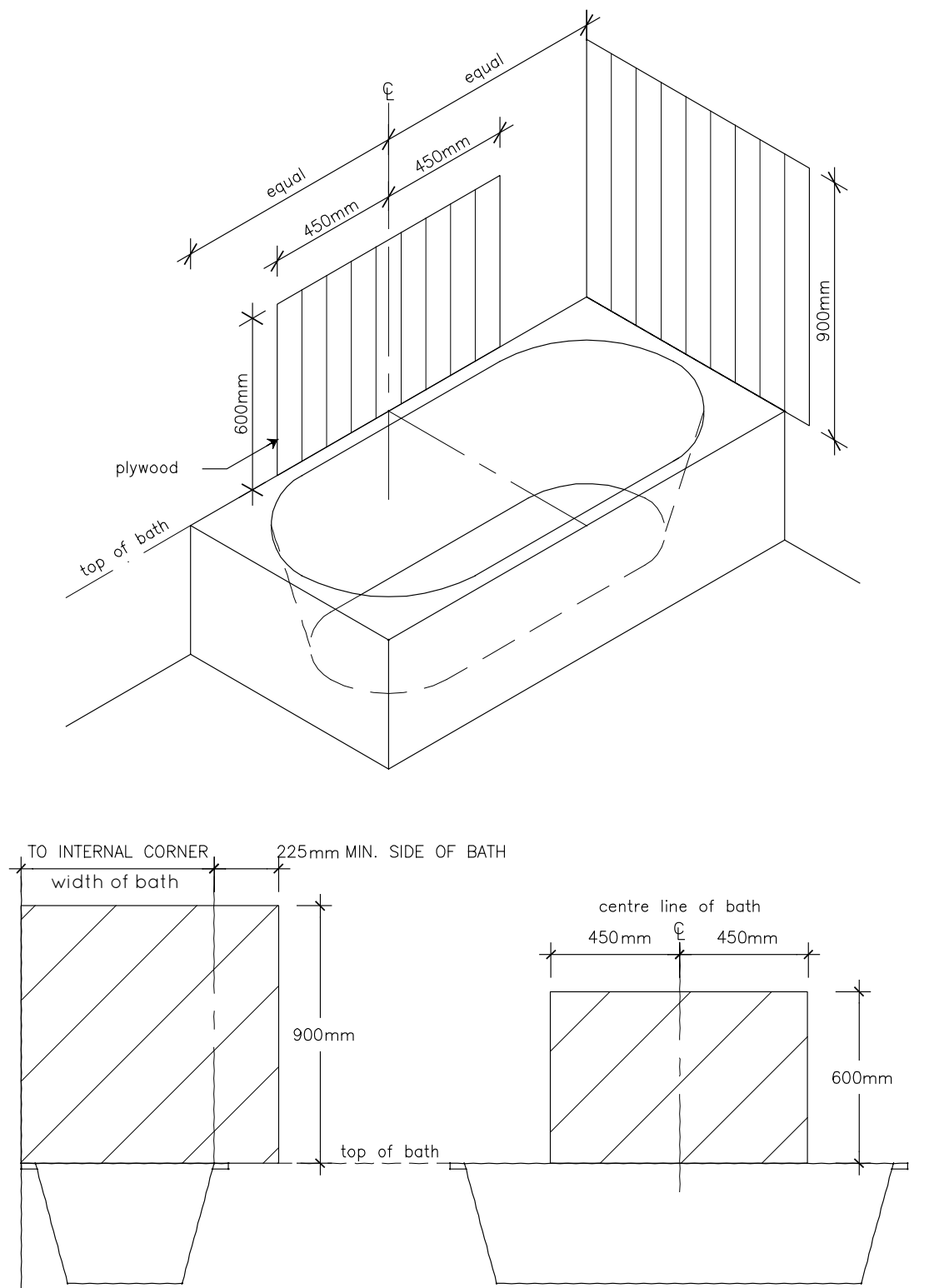


Figure 7(b) Bath – Location of sheeting

6 Reinforcement of bathroom & toilet walls

Performance Statement

The bathroom and toilet walls are built to enable grabrails to be safely and economically installed.

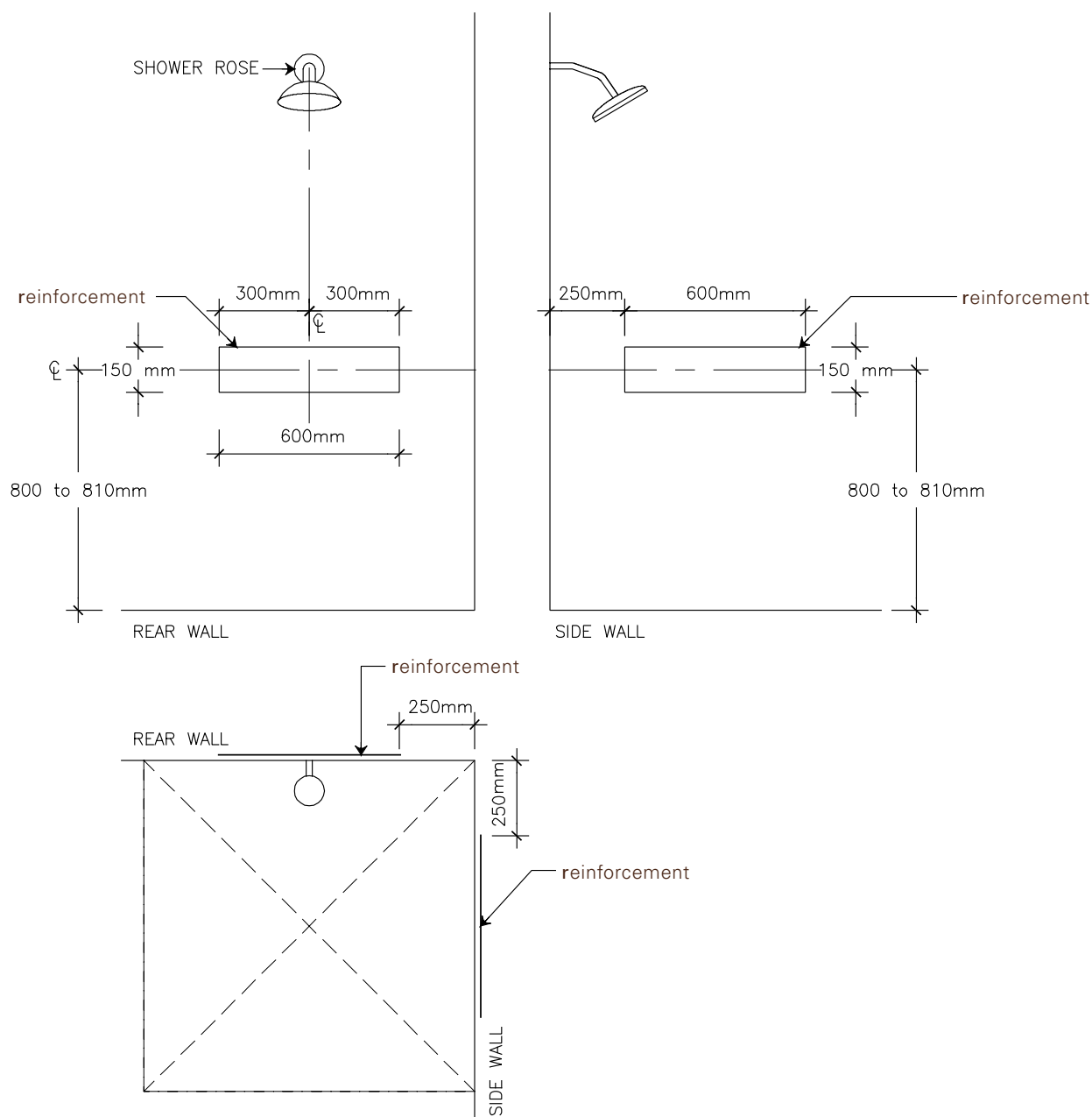


Figure 8(a) Shower recess – Location of reinforcement

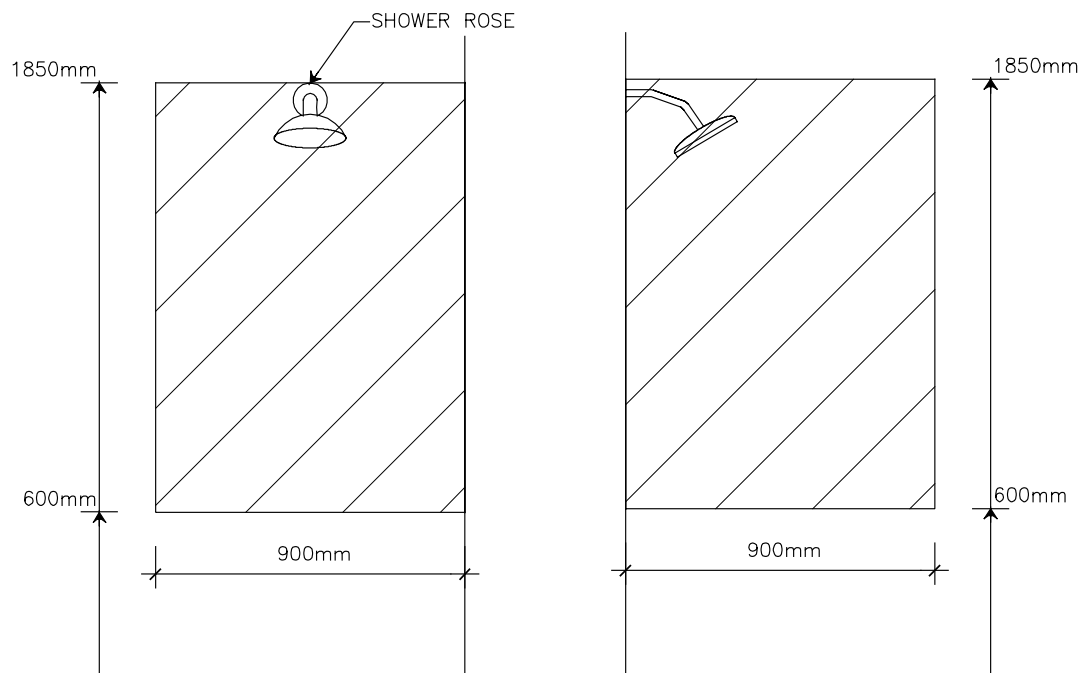


Figure 8(b) Shower recess – Location of sheeting



Construction image illustrating
reinforcement of walls using sheeting

7 Internal stairways

Performance Statement

Where installed, stairways are designed to reduce the likelihood of injury and also enable safety pathway.



Silver Level

- a. Stairways in dwellings must feature:
- i. a continuous handrail on one side of the stairway where there is a rise of more than 1m.

Note This is a requirement for all new homes under the NCC. Homes built prior to 2014 may benefit from this element.

Gold Level

As for the silver level with the following additional features:

- ii. a minimum clear width of 1000mm;
- iii. be straight in design; and
- iv. be positioned adjoining a load bearing wall.

Note The steps must provide a slip resistant finish and suitable non-slip tread as specified in the NCC. Handrails on both sides of the stairway are preferred.

Platinum Level

As for the gold level with the following additional features:

- v. closed risers;
- vi. continuous handrails on both sides of the stairway; and
- vii. minimum landing areas of 1200mm x 1200mm at the top and base of the stairway.

Note The steps must provide a slip resistant finish and suitable non-slip tread as specified in the NCC.

Straight stairs against a load bearing wall are safer to use and easier to modify if needs change.



Performance Statement

Where installed, stairways are designed to reduce the likelihood of injury and also enable future adaptation

8 Kitchen space

Performance Statement

The kitchen space is designed to support ease of movement between fixed benches and to support easy adaptation.



Silver Level

No requirements.

Gold Level

- a. The kitchen space should be designed to support ease of movement and adaptation with:
 - i. at least 1200mm clearance in front of fixed benches and appliances (excluding handles); and
 - ii. slip resistant flooring.⁶
- b. *Floor finishes should extend under kitchen cabinetry to enable cupboards to be removed without affecting the flooring. Where fixtures cannot be easily removed (eg. ovens which are built in) the floor finishes should not be continued.* If relying on advice from a third party, Assessors are advised to provide a note in the notes column of the Assessment.

Platinum Level

As for the gold level except that the kitchen space described in (a) should be designed to support ease of movement and adaptation with:

- i. at least 1550mm clearance in front of fixed benches and appliances (excluding handles);
- ii. slip resistant flooring⁶; and
- iii. task lighting installed above workspaces.

⁶ Slip Resistance is referenced in the National Construction Code and ultimately, Livable Housing Australia would like to defer to the NCC and the Australian Building Codes Board (ABCB) for rulings related to slip resistance. Standards Australia publish a number of standards as well as a handbook that address slip resistance of surfaces.

Clear space between benches makes it easier and safer to use the kitchen space and appliances.



Performance Statement

The kitchen space is designed to support ease of movement between fixed benches and to support easy adaptation.

9 Laundry space

Performance Statement

The laundry space is designed to support ease of movement between fixed benches and to support easy adaptation.



Silver Level

No requirements.

Gold Level

- a. The laundry space should be designed to support ease of movement and adaptation with:
 - i. At least 1200mmm clear width provided in front of fixed benches and appliances (excluding handles). Where the appliances are not installed then the recessed area provision for an appliance shall be a minimum of 600mm in depth; and
 - ii. Slip resistant flooring.⁶
- b. Floor finishes should extend under Laundry cabinetry to enable cupboards to be removed without affecting the flooring. Where fixtures cannot be easily removed the floor finishes should not be continued. If relying on advice from a third party, Assessors are advised to provide a note in the notes column of the Assessment

Platinum Level

The laundry space should be designed to support ease of movement and adaptation with:

- i. At least 1550mmm clear width provided in front of fixed benches and appliances (excluding handles). Where the appliances are not installed then the recessed area provision for an appliance shall be a minimum of 600mm in depth.
- ii. Slip resistant flooring⁶; and

⁶ As per the NCC

Free space in front of the laundry bench makes it easier to unload laundry appliances.



Performance Statement

The laundry space is designed to support ease of movement between fixed benches and to support easy adaptation.

10 Ground (or entry level) bedroom space

Performance Statement

There is a space on the ground (or entry) level that can be used as a bedroom.



Silver Level

No requirements.

Gold Level

- a. The dwelling should feature a space (or room) on the ground (or entry) level that:
 - i. is of at least 10m² clearance exclusive of wardrobes; skirtings and wall lining;
 - ii. provides for a minimum path of travel of at least 1000mm on at least one side of the bed.

Platinum Level

As for the gold level, but it also:

- i. provides a space of at least 1540mm (width) x 2070mm (in the direction of travel) on the side on the bed that is closest to the door approach; and
- ii. provides for a minimum path of travel of 1000mm on the remaining side of the bed.
- iii. Where no bed the design should assume a queen size.

Bedroom space should encourage ease of movement and be free of obstructions.



Diagram courtesy of Integrated Design Group

Performance Statement
There is a space on the ground (or entry) level that can be used as a bedroom.

**Platinum Level
bedroom circulation
space requirements.**

11 Switches and powerpoints

Performance Statement

Light switches and powerpoints are located at heights that are easy to reach for all home occupants.



Silver Level

No requirements.

Gold Level

- a. Light switches should be positioned in a consistent location:
 - i. between 900mm – 1100mm above the finished floor level; and
 - ii. horizontally aligned with the door handle at the entrance to a room.
- b. Powerpoints should be installed not lower than 300mm above the finished floor level.

Platinum Level

As for gold level with the following feature:

- c. Light and powerpoint switches should be rocker action, toggle or push pad in design with a recommended width of 35mm.

Light switches should be positioned in a consistent configuration.



Performance Statement

Light switches and powerpoints are located at heights that are easy to reach for all home occupants.

12 Door and tap hardware

Performance Statement

Home occupants are able to easily and independently open and close doors and safely use tap hardware.



Silver Level

No requirements.

Gold Level

- a. Doorways should feature door hardware installed at between 900mm – 1100mm above the finished floor.

Platinum Level

As for gold level with the following features:

- b. Doorways should feature lever or D-pull style door hardware; and
- c. Basins, sinks and tubs should feature lever or capstan style tap hardware with a central spout.

For Gold and Platinum level, the handle clearances for D-pull style door hardware should be the same as AS1428.1 2009. AS 1428.1 2009 is the most relevant set of specifications aimed at providing the greatest access to the greatest number of people and as such is an appropriate standard to reference for this Element.

Level and D-Pull handle door hardware and taps are easier to independently operate for all home occupants especially children.



Performance Statement
Home occupants are able to easily and independently open and close doors and safely use tap hardware.



13 Family/living room space

Performance Statement

The family/living room features clear space to enable the home occupant to move in and around the room with ease.



Silver Level

No requirements.

Gold Level

No requirements.

Platinum Level

- a. The family/living room should accommodate a free space, minimum 2250mm in diameter, to enable ease of movement clear of furniture.

Ensuring there is free space in a living room area encourages ease of access within the home.



Diagram courtesy of
Integrated Design Group

Performance Statement

The family/living room features clear space to enable the home occupant to move in and around the room with ease.

14 Window sills

Performance Statement

Windows sills are installed at a height that enables home occupants to view the outdoor space from either a seated or standing position.



Silver Level

No requirements.

Gold Level

No requirements.

Platinum Level

- a. Window sills on the ground (or entry) level in living areas and bedroom spaces should be positioned no higher than 1000mm above the finished floor level to enable enjoyment of the outlook.
- b. Window controls should be able to be easy to operate with one hand and located within easy reach from either a seated or standing position.

Note A concession from (a) is reasonable in kitchen, bathroom and utility spaces.

Lower level windows encourage good sight lines to the outdoor space making it easier to monitor children and inviting better interaction with neighbours.



Performance Statement

Windows sills are installed at a height that enables home occupants to view the outdoor space from either a seated or standing position.

15 Flooring

Performance Statement

Floor coverings are slip resistant to reduce the likelihood of slips, trips and falls in the home.



Silver Level

No requirements.

Gold Level

No requirements.

Platinum Level

- a. All floor coverings should:
 - i. be firm, even and slip resistant; and
 - ii. feature a level transition between abutting surfaces (a maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled).

Note: Slip Resistance is referenced in the National Construction Code and ultimately, Livable Housing Australia would like to defer to the NCC and the Australian Building Codes Board (ABCB) for rulings related to slip resistance. Standards Australia publish a number of standards as well as a handbook that address slip resistance of surfaces.

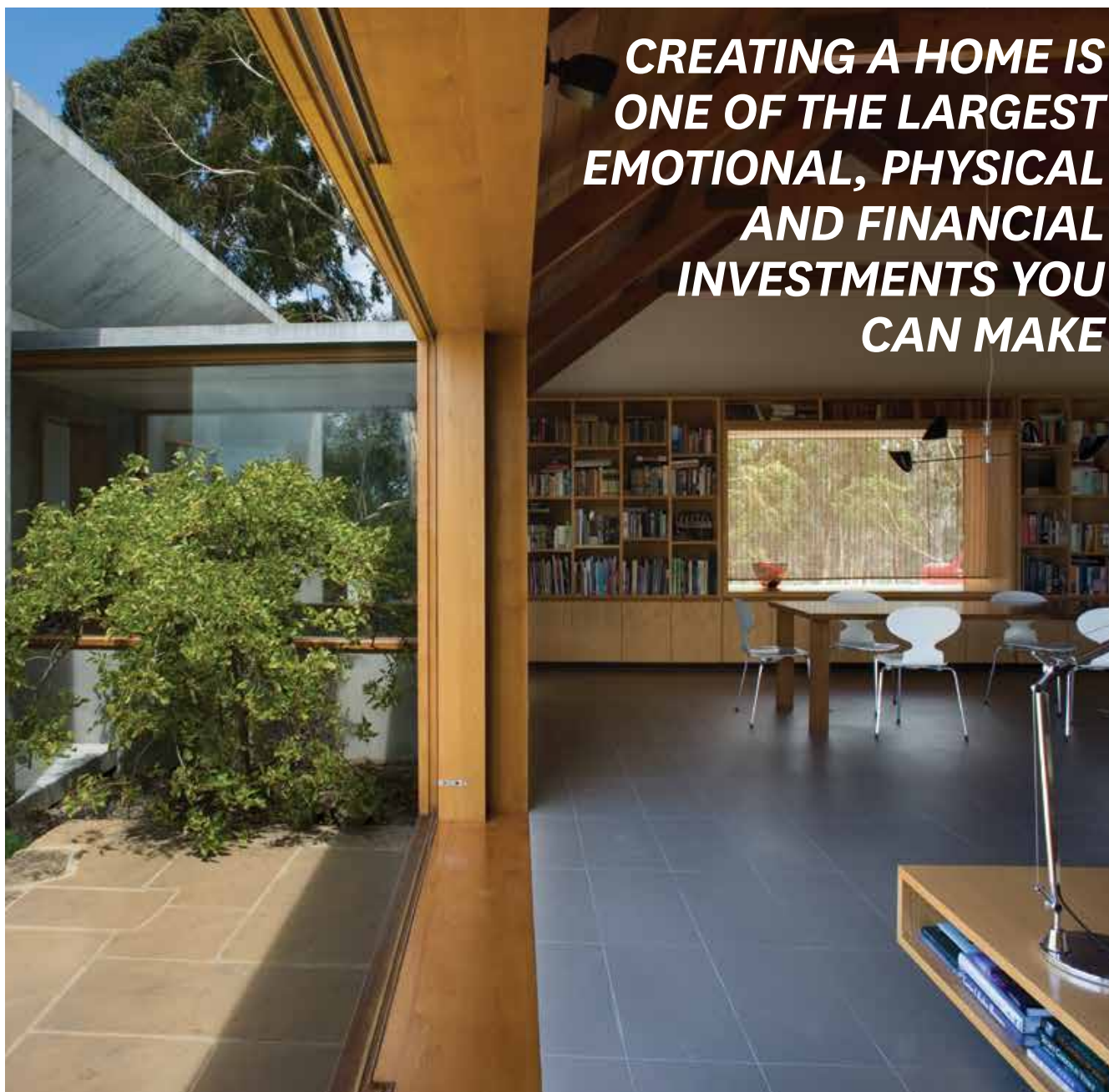
Slip resistant floor surfaces significantly reduce the risk of slip, trips and falls in the home.



Photos courtesy of Landcom

Performance Statement
Floor coverings are slip resistant to reduce the likelihood of slips, trips and falls in the home.





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As an industry leader, Master Builders is pleased to work with Livable Housing Australia in developing the Livable Housing Design (LHD) Guidelines. The LHD Guidelines will be a valuable resource for households, the building industry and the broader community to better understand the benefits and the design options available to make our homes more accessible and safe for everyone.

Master Builders Australia

Email: enquiries@masterbuilders.com.au

Image courtesy of sydesign.com.au

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- Master Builders Australia
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- Office of the Disability Council of NSW
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- Real Estate Institute of Australia
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PLAM-22/04 – EXPLANATORY DOCUMENT

PRINCIPAL ACTIVITY CENTRE

SPECIFIC AREA PLAN

Why do we need a new planning control?

The Glenorchy activity centre is the main retail and service centre in our Council area, and a 'Principal Activity Centre' (PAC) in the Tasmanian planning system¹. The activity centre is an important social and economic hub.

A detailed analysis of the activity centre was recently undertaken as part of the *Greater Glenorchy Plan*² (GGP). That work identified key features of the activity centre, which has:

- Good solar access
- Buildings mostly limited to one or two storeys
- Mainly retail, office and community services uses, with limited evening activity
- Large areas of underutilised land
- Limited street activation
- Extensive, underutilised parking and generally alienated pedestrian movement
- Numerous street trees, but limited open space landscaping, and
- Views to surrounding landscapes.

The GGP and other recent government initiatives have provided a renewed focus on city improvement to achieve affordable housing, thriving centres and efficient transport. In Glenorchy, the GGP seeks higher urban density, more employment opportunities, better transport options, and quality design providing safe, welcoming and comfortable public places and green space. More broadly, the Hobart City Deal³ (including the *30 Year Greater Hobart Plan* and the *Northern Suburbs Transit Corridor*) has similar aims. Improved housing options are flagged in Council's *Statement of Commitment on Housing*⁴ and the State government's developing *Tasmanian Housing Strategy*⁵.

In the activity centre, use and development is regulated through an existing Specific Area Plan (SAP) under the *Tasmanian Planning Scheme – Glenorchy*⁶ (TPS-G). The new SAP reinvigorates the existing planning standards and introduces new measures based on the recent strategies and plans. The aim

¹ Southern Tasmanian Councils Authority (Amended 2020) *Southern Tasmania Regional Land Use Strategy 2010-2035*, https://planningreform.tas.gov.au/_data/assets/pdf_file/0009/559791/Southern-Tasmania-Regional-Land-Use-Strategy-2010-2035-Effective-19-February-2020.PDF

² ERA Planning and Environment, SGC Economics & Planning, Terroir and Playstreet (2021) *Greater Glenorchy Plan commissioned for the Glenorchy City Council*, <https://www.gcc.tas.gov.au/discover-glenorchy/future-glenorchy/greater-glenorchy/>

³ <https://www.hobartcitydeal.com.au/home>

⁴ <https://www.gcc.tas.gov.au/wp-content/uploads/2021/01/GCC6589-Statement-of-Commitment-on-housing.pdf>

⁵ <https://tashousingstrategy.hometasmania.com.au/>

⁶ <https://iplan.tas.gov.au/pages/plan/book.aspx?exhibit=gletps> – GLE S8.0 Glenorchy Activity Centre Urban Design Specific Area Plan

is to create an environment that attracts more people to the activity centre, through a high quality of urban design.

Appendix A outlines the alignment between the proposed SAP and the overarching strategic initiatives. Appendix B details the relationship between the PAC SAP and relevant GGP actions.

Where does the control apply?

The SAP applies to the land in Glenorchy's Central Business Zone (CBZ), as shown in Figure 1.

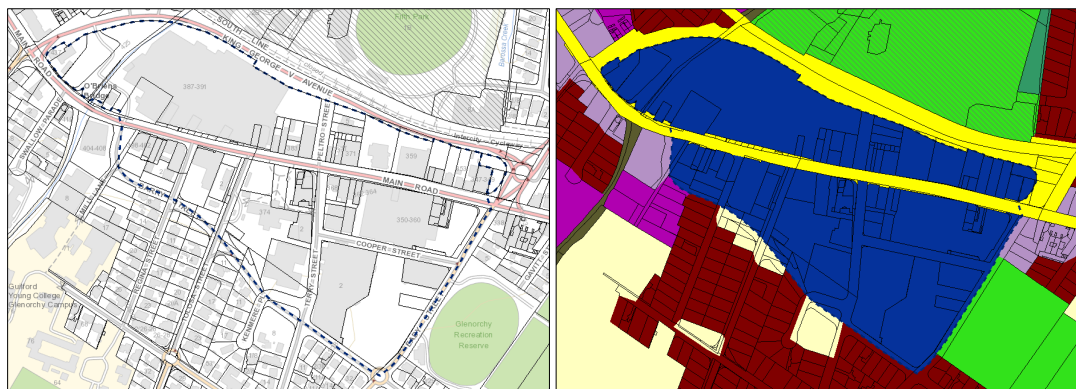


Figure 1 – Existing SAP area (left – dashed outline) and zoning (right – blue CBZ and yellow UZ) - theLIST

Although some GGP actions for the activity centre fall outside the SAP area, those actions do not rely on the SAP for their implementation. Therefore, no alteration to the SAP area is proposed, other than a minor alteration to align the boundary with the as-built road in a small section at the northern side of Main Road (Figure 2).



Figure 2 – current (left) and proposed (right) SAP boundary along the northern side of Main Road

A small area of rezoning within the SAP area is proposed. Currently, the Utilities Zone (UZ) has been applied along the length of Main Road. Within the SAP area, the UZ extends across various frontage titles that include existing building facades. The inappropriate zoning of those frontages within the UZ has potential to result in inconsistent development requirements between the facades and the

buildings they form part of. Therefore, it is proposed to rezone land in the relevant frontage titles to be within the CBZ, as part of the proposed amendment (Figure 3).



Figure 3 – Proposed rezoning from Utilities Zone to Central Business Zone

In addition, the amendment proposes to map 'pedestrian priority streets' within the activity centre. Pedestrian priority streets support various standards in the SAP and will also trigger relevant standards under the C2.0 Parking and Sustainable Transport Code.

Pedestrian priority streets are proposed along Main Road, Terry Street, Peltro Street and Cooper Street (Figure 4). These sections of road align with key street frontages identified in the GGP. The work undertaken through the CBD Revitalisation Project⁷ is also within the proposed priority street area.

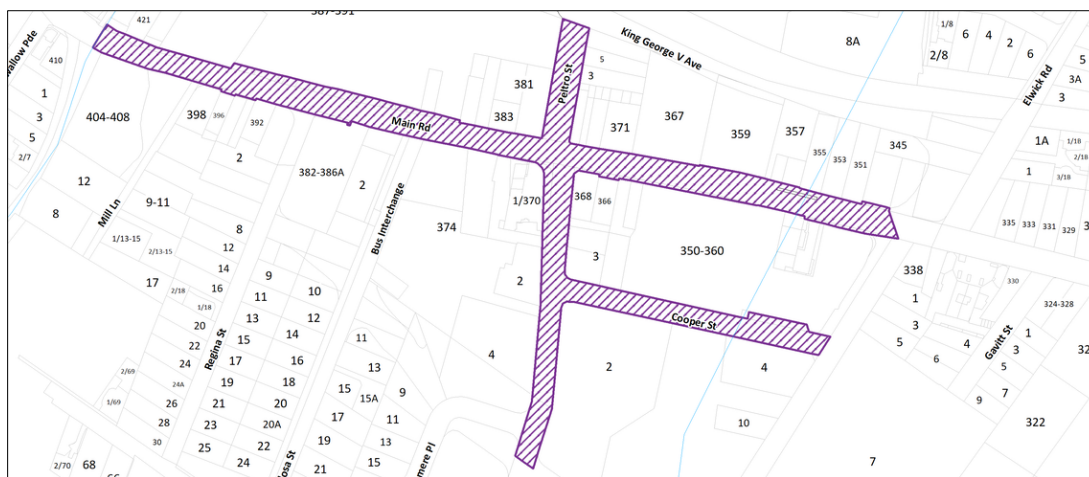


Figure 4 – Proposed Pedestrian Priority Streets

What does the new control do?

The PAC SAP replaces the current urban design controls for the activity centre with new controls. The aim of the PAC SAP is to:

⁷ <https://www.gcc.tas.gov.au/discover-glenorchy/future-glenorchy/glenorchy-cbd-revitalisation/>

- Encourage and support high quality building design, lighting and landscaping
- Promote housing opportunities and ensure new apartments provide good residential amenity
- Protect key areas of winter sun, view lines and access alongside Humphreys Rivulet
- Ensure development doesn't prevent a potential future relocation of the bus mall, and
- Ensure development respects our heritage places.

What does this document do?

This document explains what each part of the PAC SAP does, and, where relevant, why it needed to be updated from the current control in the planning scheme. A copy of the draft SAP is attached.

An assessment of how the proposed planning controls meet the requirements of the planning legislation is provided in the Glenorchy Planning Authority Report on preparing the amendment.

What are the elements of the PAC SAP and how do they work?

The PAC SAP is made up of local area objectives, use and development standards, and administrative clauses. Applicable standards of the SAP, the underlying zone and any applicable Codes are used to assess a use or development proposal that requires a planning permit on land within the SAP area.

Use and development standards have Acceptable Solutions and/or Performance Criteria. An Acceptable Solution provides a measurable standard. Where an Acceptable Solution isn't met, Performance Criteria provide a qualitative option, where the planning authority has discretion to permit or refuse a proposal.

The PAC SAP is made up of several key elements:

- Administrative clauses
- Local Area Objectives
- Use standards
- Development standards

The role of these elements and how they work is set out in the sections below.

Administrative clauses

The administrative clauses that form part of a SAP include the *Plan Purpose*, *Application of this Plan*, *Definition of Terms* and *Use Table*.

The *Plan Purpose* briefly states the aim of the SAP, while the *Application of this Plan* identifies the land the SAP applies to, the other parts of the planning scheme the SAP standards relate to, and any additional application requirements.

Application requirements have been specified to allow applicants to demonstrate to the Planning Authority and the community how a proposal responds to the site and surrounds, using good design principles. Specific technical requirements are also identified where needed to support specific

standards. Each of the application requirements would only be required for specific cases, generally where substantial redevelopment is proposed.

Several definitions are provided in the *Definition of Terms* for the SAP. This reflects the focus on urban design, which has limited use in the State Planning Provisions (SPPs). The proposed definitions are also useful as they do not form part of ordinary usage where it would be appropriate to rely on the 'ordinary meaning' of the words. The SAP also adopts relevant definitions from some of the Codes in the planning scheme, which would not otherwise apply in the SAP. The standards also include reference to an external document – the *Livable Housing Design Guidelines* – these will be included in the planning scheme as an 'incorporated document.'

Specific Area Plans can sometimes include a *Use Table* that replaces the one in the zone. As all the uses referred to in the GGP for the Glenorchy Precinct Plan are allowable in the CBZ, no changes to the use table were considered necessary.

Local Area Objectives

The current SAP and the GGP contain urban design principles promoting urban vitality, to support the role of the activity centre as a social and economic hub. Within the Tasmanian Planning System, guiding principles are included as Local Area Objectives (LAOs). These help to guide decisions on planning permit applications.

The proposed LAOs describe the urban design principles at a high level. They include principles from the current SAP and the GGP on safety, aesthetics, activation and enclosure, plus the GGP principles on viability. Each LAO relates to one or more of the applicable standards in the SAP. They provide an overarching context for SAP standards, and are intended to encourage a higher quality of design in the area, seeking to promote vitality, identity and connectivity.

Use Standards

Use standards in the planning scheme govern where, and how, a use can operate.

GLE-S8.6.1 Ground floor use

'Active frontage' is a term used to describe a visual interaction between people inside a building and people on the street. Active frontages are a key part of vibrant, active centres. This standard encourages uses that naturally promote active frontages in key pedestrian streets, and keeps uses with little pedestrian interaction to streets where there is less pedestrian activity.

The standard also prevents residential use from being located at street level, in line with the existing SAP. Although apartments are encouraged, residential use must support, rather than replace, the primary function of the area as a business and service hub.

GLE- S8.6.2 Hours of operation for outdoor entertainment areas

The SAP emphasises 'self-protection' of amenity for apartments, as detailed later in this report. A building is considered to 'self-protect' if it is designed to minimise negative impacts such as light and noise impacts from nearby activities in other buildings. However, outdoor entertainment areas (such

as a beer garden or rooftop cinema) have less buffering than uses within buildings. This standard requires use for outdoor entertainment areas to address impacts to existing apartments.

GLE- S8.6.3 Use of external lighting

As with the standard for hours of operation, this standard provides an exception to the principle of requiring apartments to self-protect their own amenity. This is because external lighting may be altered more readily than buildings, and potential neighbouring lighting design can't easily be anticipated by an apartment developer.

The standard is modelled on the CBZ standard for external lighting use (16.3.1 All uses, A2/P2), which provides protection to land in the General Residential Zone and the Inner Residential Zone.

Development Standards for Buildings and Works

GLE-S8.7.1 Building height and bulk

Maximum heights

The current SAP includes a 10 m height restriction within 6 m of the road frontage. This can be exceeded at the discretion of the planning authority through compliance with Performance Criteria.

The PAC SAP increases the acceptable height within the 6 m frontage buffer to 12 m. This allows for up to four storeys, which is the maximum height acceptable in the General Business Zone that applies to activity centres lower in the activity centre hierarchy – like Moonah or Claremont. In the PAC SAP, buildings more than 6 m from the frontage can be up to 20 m in height in line with the current SAP and the CBZ. The Performance Criteria allow discretion for higher development, requiring higher buildings to contribute positively to the streetscape.

Heritage and view corridor

The PAC SAP provides additional requirements for assessment of building height on sites:

- Adjoining heritage places – to ensure nearby development does not impact on heritage significance. The current SAP includes a standard limiting building height on adjoining sites; the proposed standard makes this a discretionary consideration, allowing for flexible solutions that respect heritage places.
- Adjoining Tolosa Street – to protect the main existing view corridor through to kunanyi/Mount Wellington, in line with the GGP.

Solar protected area

The PAC SAP provides protection of solar amenity for the public Council forecourt, the heritage-listed St Matthews Church site, and adjacent north-facing frontages on Main Road, including two further heritage places. This aligns with the GGP focus on solar amenity, while providing a balance enabling development with fewer restrictions in other parts of the SAP area.

GLE-S8.7.2 Building setback

Frontage setback

The PAC SAP aims to maximise built form and support active frontages, while also maintaining a continuous building line. This can be complicated by complex boundaries and varied existing development between adjoining properties.

To simplify development requirements, the standard provides for a nil frontage setback with an exception to allow for active forecourts in the solar protected area. Aside from Northgate, this generally corresponds with existing development along Main Road. The Performance Criteria allows for discretionary consideration of alternative proposals.

Side setback

As with frontage setback, the Acceptable Solution is for a nil side boundary setback, to maximise built form and minimise interruptions to the streetscape. Alternative options can be assessed on a discretionary basis.

Heritage and view corridor setback

As with the building height standard, discretionary assessment is provided for setback on sites adjoining heritage places and adjoining Tolosa Street.

Watercourse setback

A requirement is included for public access alongside Humphreys Rivulet where it passes through the SAP area (through the Northgate site). The standard accords with Council's Footpaths Policy.

GLE-S8.7.3 Facade design

Ground floor façade

The PAC SAP strengthens the existing SAP standard to focus more directly on frontage activation and pedestrian linkages and remove overlap (such as setbacks) with other standards in the SAP.

Awnings

The existing SAP standard is revised to require awnings along pedestrian priority streets, rather than through the whole SAP area. No Acceptable Solution is provided, as discretionary consideration is needed to account for varied awning designs, provide appropriate clearance from obstacles in the street, and ensure awnings don't compromise potential future locations for the bus mall.

Façade design – Heritage

As with the building height and setbacks standards, discretionary assessment is provided for sites adjoining heritage places. The Local Historic Heritage Code will continue to apply to developments on the heritage places themselves.

GLE-S8.7.4 Design of landmark buildings

The current SAP includes design requirements for corner buildings. The PAC SAP expands this to include design of buildings at gateway locations, to provide a sense of arrival and definition to the area as flagged by the GGP. To avoid dictating design solutions, and given the need for context-specific design, discretionary consideration is appropriate and no Acceptable Solution is provided.

GLE-S8.7.6 Apartment design

Currently, Residential use is allowed within the SAP area; however, there are no standards for Residential development in the existing SAP, and only limited requirements in the CBZ. To support quality apartment development without compromising the primary function of the activity centre, standards are proposed to provide self-protection of amenity for future residential development.

The Tasmanian Government is seeking to develop an *Apartment Development Code*⁸. In the meantime, there is a need to encourage infill development for housing. Therefore, apartment standards are proposed in the PAC SAP. The proposed standards aim to balance an improved level of amenity required for apartments, with the need to encourage investment.

Privacy

The PAC SAP adapts the privacy standard from the Inner Residential Zone (IRZ). The proposed 6 m separation reflects the separation required in the IRZ between dwellings on the same site. No additional protection of adjacent residential zones is needed, given the properties in those zones are separated by road from the SAP area.

Sunlight

This standard allows the minimum sunlight requirement to be met for either living rooms or private open spaces, rather than requiring both. A reduced level of sunlight access can also be assessed based on a site analysis and design response report. This report would consider solar access available at the site, along with other site opportunities and constraints, such as access to views, exposure to wind, and emissions from nearby uses. This allows contextual consideration, with solar access being one factor in the overall design solution.

It is noted that the National Construction Code (NCC) governs the minimum percentage of natural light to habitable rooms (Part F4). In accordance with the *Building Act 2016*, a planning scheme cannot regulate technical requirements for buildings. However the NCC does not specify a requirement for 'direct sunlight,' or the length of time for which light must be received. Therefore, the standard meets the *Building Act 2016*.

Window shading

Window shading to limit direct sunlight in summer while allowing sun to penetrate in winter assists with comfort levels and reduces energy costs. The proposed 42% measure is based on the federal government's *Your Home* guide⁹. There is no minimum requirement for window shading in the NCC.

Natural cross-ventilation

Natural cross-ventilation provides for passive airflow through an apartment, to increase comfort levels and reduce reliance on air conditioning. The NCC governs the requirement for natural

⁸ <https://planningreform.tas.gov.au/updates/creating-consistent-standards-for-apartments-medium-density-residential-development-standards-project2>

⁹ The guide advises 'varying the 45% rule of thumb...[to] reduce the overhang by decreasing the percentage of the sill-to-eave height by up to 3% to extend the heating season...in cold, high-latitude areas (for example, Tasmania...)' <https://www.yourhome.gov.au/passive-design/shading>

ventilation for individual rooms (Part F4), but does not address cross-ventilation to achieve passive airflow through the space. It is therefore appropriate for inclusion in planning controls.

Noise

While the NCC includes standards for sound transmission within buildings (Part F5), there is no protection for sound penetration from sources external to a building. The planning scheme has a role to play in requiring measures to reduce the potential for a conflict between allowable uses.

The standard relies on Australian Standards for acoustics for building interiors (AS/NZS 2107:2016) and road traffic noise intrusion (AS/NZS 3671:1989). The SAP provides a Performance Criteria to offer an exemption for heritage buildings.

Private open space

This standard addresses considerations of the location, area, dimensions, privacy and amenity of the space, whereas the substituted CBZ standard considers only the area and dimensions of the space. The standard includes an exception for heritage places.

Shared open space

In line with approaches elsewhere, the modest area required for private open space for apartments is underpinned by a requirement for an area of shared open space, which allows a more efficient use of land for developers and provides opportunity for a sense of community to develop within an apartment building.

Work on the development of the draft Code identifies the need for common open space. The PAC SAP provides for a staggered increase in communal open space, to scale up in line with the number of apartments. The following table shows the shared open space requirements under the proposed standard.

Table 1 – Shared open space requirements

Number of apartments	PAC SAP
Up to 10	Nil
10 to 19	140 m ² (if 15 dwellings)
20 or more	220 m ² (if 30 dwellings)
40 or more	340 m ² (if 50 dwellings)

Apartment storage

The PAC SAP strengthens the CBZ requirement for dwelling storage, by requiring storage for bulky items external to the apartment, and screening or location to avoid amenity impacts from the storage to other uses. The storage area is proposed to scale up according to the number of bedrooms in the apartment. The need for external storage has also been identified in the early work on the development of the draft Code.

Accessibility

Accessible housing allows people with a disability or transitioning through their life stages to safely and conveniently use the dwelling. Early work on the draft Code identifies that universal design elements might be considered through the NCC, which has been updated with a base level of

accessibility requirements for dwellings. The NCC standard is derived from¹⁰ the 'Silver' level of design under the *Livable Housing Design Guidelines*, and provides the minimum technical requirements for accessibility in new dwellings.

The PAC SAP seeks new apartment buildings to include a percentage of apartments that meet a higher level of accessibility. This is appropriate given the demographic make-up of Glenorchy and the availability of services and public transport within the SAP area.

Waste storage and collection

Logistical challenges can emerge when waste management is not adequately considered at the planning stage. Council has an existing *Waste Management Policy* and incorporated *Waste Management Standards for new Multiple Dwelling Unit Developments*. The policy and standards provide flexibility for waste management for multiple dwellings such as villa units, and would also apply to an apartment development.

The PAC SAP allows Council's requirements to be addressed at the planning stage, while also including other considerations that are relevant in the SAP area, such as amenity and traffic impacts. The detailed requirements of the Council policy are not suitable to include directly into the SAP standard, as this would involve duplicating requirements across different regulations, and would lock in policy settings that may evolve as apartment developments become more frequent.

GLE-S8.7.13 Access, Parking and Sustainable Transport

Car parking design

Large areas of existing car parking dominate the streetscape in some areas of the activity centre. The PAC SAP reinforces the existing SAP standard, emphasising protection of the streetscape.

Parking for bicycles or personal mobility devices

The PAC SAP requires parking for bicycles (or other personal mobility devices) for apartments, to support the desired shift towards active transport, help alleviate congestion and reduce emissions.

Conflict between commercial and residential vehicles

As the PAC SAP requires non-residential use at ground floor level, there is potential for conflict between commercial vehicles and residential traffic, for sites with apartment buildings. The proposed standard is to support traffic safety on these sites.

GLE-S8.7.7 Pedestrian movement

The current SAP addresses pedestrian priority and potential conflict with traffic. Under the TPS, these matters are dealt with through the CBZ and pedestrian priority streets. Therefore, the PAC SAP standard is refocussed on pedestrian linkages, in line with the GGP.

GLE-S8.7.10 Signs

Facade transparency is key to enabling active frontages, as well as supporting Crime Prevention Through Environmental Design (CPTED) principles. The C1.0 Signs Code allows window signs, individually or collectively, to obscure a large portion of the window area. The PAC SAP standard is

¹⁰ <https://ncc.abcb.gov.au/news/2022/new-livable-housing-design-requirements>

intended to address this, to ensure that signage does not prevent visual connection between the street and building interiors.

GLE-S8.7.11 Landscaping

The standard provides for landscaping to be considered in relation to relevant Council policy or strategy, allowing for discretionary assessment of potential safety or maintenance issues, as well as aesthetic considerations.

GLE-S8.7.12 External Lighting

The current SAP standard is based on the relevant Australian Standard¹¹, and includes a Performance Criteria that allows for a lesser lighting solution than required under the Australian Standard. Council has now developed a detailed policy that corresponds with the Australian Standard and specifies target lighting categories for different contexts. The PAC SAP standard allows for discretionary assessment of lighting in alignment with Council policy, along with consideration of the complex CPTED implications of lighting design and the aesthetic value of lighting in the activity centre.

GLE-S8.8 Development Standards for Subdivision

Consideration was given to whether the 9.0 Attenuation Code may restrict the potential for subdivision for residential use. However, it was determined that the relevant standard would not prevent subdivision within the SAP area, particularly considering that the SAP prevents development of a site solely for apartments. No subdivision standards are proposed.

¹¹ AS/NZS 1158.3.1:2005 *Lighting for roads and public spaces Part 3.1: Pedestrian area (Category P) lighting*

Appendix A – City Improvement Initiatives

The following table outlines the relationship between overarching city improvement initiatives, policies and strategies, and the SAP.

Table 2 – City improvement initiatives, policies and strategies

Initiative	Relevance to the SAP
State-wide (Tasmanian Planning System)	
State Policies	<p><i>State Policy on Water Quality Management 1997</i> – development in the SAP area is subject to this policy. The SAP includes consideration of water sensitive urban design under the landscaping standard.</p> <p><i>State Coastal Policy 1996</i> – the coastal zone includes all land to a distance of one kilometer inland from the high-water mark. The majority of the SAP area is within the coastal zone; however the area is separated from remaining coastal values by established urban development.</p> <p><i>Sate Policy on the Protection of Agricultural Land 2009</i> – there is no agricultural land in proximity to the SAP area. Indirectly, the intended concentration of development around the SAP area may be viewed as contributing to a reduction in pressure for inappropriate development of agricultural land. The remainder of State Policies are currently under development.</p>
Tasmanian Planning Policies	Yet to be implemented.
Regional	
Hobart City Deal (incorporates the 30 Year Greater Hobart Plan and the Northern Suburbs Transit Corridor (NSTC))	<p>30 Year Greater Hobart Plan</p> <p>The project is being developed under the Greater Hobart Act 2019. The aim is to make sure the growth and development of Hobart is more coordinated by aligning strategic land use and infrastructure planning. It encourages the four Councils (Hobart, Glenorchy, Clarence and Kingborough) to collaborate and guide growth and enable these Councils to plan for business and employment growth, recreation and environmental management, protect farmland and plan for climate change.</p> <p>The PAC SAP is seeking to reinvigorate and attract more people to the centre, and make it a thriving and inspiring place to live, in line with vision of the 30 Year Greater Hobart Plan.</p> <p>The NSTC project</p> <p>This PAC SAP aligns with the 'City shaping' objective of the NSTC project which promotes a transition to higher-density land uses clustered around mass public transport stops/stations.</p>
Southern Tasmania Regional Land Use Strategy	<p>Guides the planning scheme; to be updated to reflect the Greater Hobart Plan, once developed.</p> <p>The PAC SAP furthers the STRLUS strategies of protecting and valuing waterways; protecting heritage values; providing connectivity and open space; supporting social infrastructure including aging in place and crime prevention through environmental design; concentrating development to maximise physical infrastructure efficiencies; supporting integrated transport and reduced car reliance; reinvigorating our principal activity centre; and supporting residential development in a target densification area.</p>
Glenorchy municipality - adopted masterplans	
Greater Glenorchy Plan, endorsed February 2021	Specific details are included in Appendix B
Regional Sport, Recreation and Entertainment Hub Master Plan (Glenorchy Park Masterplan), endorsed February 2022	<p>The Glenorchy Park Masterplan focuses on opportunities to improve the movement of people between the various sporting, entertainment and recreation options in the masterplan area including consideration of parking, pedestrians and public transport.</p> <p>The PAC SAP seeks to improve the vitality of the SAP area and make it a more desirable place to visit, work and live in. A thriving activity centre will assist in attracting people to Glenorchy Park and promote the use of the various recreation and sporting options within the area.</p>
CityScape (Cityscape Civic Heart Masterplan), endorsed April 2022	Aligning with the Hobart City Deal and the Greater Glenorchy Plan, the Cityscape Civic Heart Masterplan was developed for Glenorchy's central precinct between Main Road, Barry Street and Terry Street. It was designed to provide a hypothetical concept plan for how redevelopment of the Civic Heart could occur (noting that the concept has not been tested through the planning system).

	The PAC SAP aligns with key design principles of the masterplan that relate to planning particularly around movement and access, providing and maintaining quality open space areas and promoting quality design that considers views to kunanyi/Mt Wellington, solar access to the civic square and sustainable development.
Glenorchy Municipality – other relevant commitments	
CBD Revitalisation	The CBD revitalisation work completed within the SAP area models the desired uplift in development that the SAP aims to encourage.
Statement of Commitment on Housing	Commitment 3 of Glenorchy's Statement of Commitment on Housing is to seek opportunities to zone land so it can provide for a diverse range of housing developments, and efficiently assess rezoning, housing and subdivision proposal. The PAC SAP reaffirms the opportunities that currently exist for housing in the activity centre and seeks to promote quality design and amenity outcomes for future residents.

APPENDIX B – SAP relationship to the Greater Glenorchy Plan (Glenorchy CBD precinct plan) actions

Some GGP actions¹² for the activity centre fall outside the SAP area, are being addressed through other projects or are not implemented through the planning system (ie they require the actual physical work).

Table 3 – GGP Glenorchy Precinct Plan Actions and proposed planning controls

Action No.	Precinct Plan Action	Comment on implementation options and /or Existing controls (per SPPs) – Administration, General Provisions, Zones and Codes	Proposed planning controls
1	Extend and reorientate Council forecourt to maximise solar access and connection through to St Matthew's Church. Upgrade landscaping and public amenities. Allow for community-orientated events throughout the year. Details subject to future master plan.	Physical works required to upgrade amenities and landscaped areas. Events: Table 4.1 Exempt uses 4.1.2 occasional use for cultural events. 4.1.5 markets on public land. Landscaping: Table 4.4 Vegetation exemptions 4.4.2 landscaping and vegetation management within a public garden or park, or within State-reserved land or a council reserve, if not otherwise protected, part of a Local Heritage Place, or a significant tree.	Solar protection area mandated though height standards and key pedestrian links activated and supported through various controls: GLE-S8.7.1 Building height and bulk GLE-S8.7.2 Building setback GLE-S8.7.3 Façade design GLE-S8.7.10 – landscaping of publicly accessible areas
2	New built form to existing civic precinct with details subject to future masterplan. As part of masterplan consider: wrapping the Council forecourt space around to Barry Street to create north-west facing public plaza with views of Kunany/Mount Wellington, using more hard landscaping treatments; and providing architectural additions to existing civic built form to provide for permeability, expression of 1960s built form and pedestrian connections to surrounding network of footpaths and other pedestrian infrastructure.	Hard landscaping: Table 4.3 Exempt buildings and works 4.3.1.1 garden structures such as a pergola, garden arch, trellis or frame.	Views to Kunany/Mt Wellington protected through setback provisions, landscaping provisions retained and enhanced, pedestrian connectivity supported. GLE-S8.7.2 Building setback GLE-S8.7.8 Pedestrian movement GLE-S8.7.10 Landscaping of publicly accessible areas
3	Investigate creation of an improved pedestrian laneway extending from Eady Street through the civic heart (Cooper Street) to link back through the civic public open space along Barry Street to Humphreys Rivulet/Main Road.	Physical work for improved pedestrian laneways Scheme controls can promote quality pedestrian environments.	GLE-S8.7.8 Pedestrian movement GLE-S8.7.10 Landscaping of publicly accessible areas
4	Consider removing car parking and creating new pocket parks on Council-owned land (10 & 11 Tolosa Street, Glenorchy) to soften transition between adjacent residential areas and the	Outside scope of the SAP	Outside SAP boundary.

¹² Action 4 – convert Council car parks to new pocket parks at 10 and 11 Tolosa Street; Action 5 – mixed use/residential infill on Council land at 9-11 Mill Lane and 8 Terry Street; Action 10 – work with authorities to create a centralised transit hub; Action 11 – undertake traffic analysis so traffic can be better directed around the CBD; Action 12 – undertake traffic analysis to improve intersection design; and Action 14 – future pedestrian links to nearby attractors.

5	precinct while providing for traffic calming and a 'green' entrance from Tolosa Street. Consider rezoning 9-11 Mill Lane for <u>mixed use/residential infill</u> .	Being considered under other projects.	Outside SAP boundary.
6	[Glenorchy Central] Potential redevelopment precinct with new roads, laneways and pedestrian connections, allowing for upgrade of existing supermarket, other retail and commercial activities and <u>improved integration</u> with the precinct.	Planning Scheme facilitates redevelopment options – would be developer led project. Supermarket, retail & commercial activities: 16.0 Central Business Zone General Retail and Hire, Food Services, Business and Professional Services have NPR status in the Zone. New roads: E3.0 Roads and Railway Assets Code Standards governing new vehicle crossings, junctions and level crossings.	Redevelopment opportunities supported by the SAP
7	Potential future elevated pedestrian connection, linking 'mountain to water' and connecting the Council forecourt to the future <u>Transit hub</u> and KGV while providing for increased activation along the north side of Northgate and provision of potential new <u>multistorey car park</u> .	Outside the scope of the PAC SAP however current and proposed scheme provisions will not prevent these concepts being achieved. Car park: E2.0 Parking and Sustainable Transport Code Parking requirements determined on a case-by-case basis. 16.0 Central Business Zone Vehicle Parking has Discretionary status in the Zone. Transit hub: 26.0 Utilities Zone Transport Depot and Distribution has Permitted status in the Zone.	Connection/Transport hub: the PAC SAP provisions do not limit proposal for alternate locations of any future transit corridor. GLE-S8.7.2 Building setback
8	Potential new <u>public open space</u> suitable for all ages in the north-west corner of the Activity Centre allowing for good solar access. Should <u>retain the existing mature trees</u> and <u>connect</u> future trails to InterCity Cycleway and McKays timber yard (to facilitate long-term conversion to residential).	Development and construction of new public open space outside the scope of the PAC SAP. 16.0 Central Business Zone Passive Recreation has NPR status in the Zone. Existing trees: C6.0 Local Historic Heritage Code Two significant trees within the SAP area.	Solar access protected by building height control. GLE-S8.7.1 Building height and bulk
9	Encourage redevelopment of north-east area and north-west area of activity centre for retail and commercial redevelopments with <u>activated ground floors</u> , <u>maximised built form site coverage</u> , and an emphasis on <u>defining the street edge</u> and Activity Centre <u>gateways</u> . May require site consolidation.	Current controls allow these uses; proposed controls would facilitate urban design outcomes: Retail & commercial activities: 16.0 Central Business Zone General Retail and Hire, Food Services, Business and Professional Services have NPR status in the Zone.	Activated frontages promoted through ground floor use and façade design: GLE-S8.6.1 Ground floor use GLE-S8.7.3 Façade Design Maximised site coverage prompted through setbacks: GLE-S8.7.2 Building setback Specific controls to promote quality in design of gateway sites proposed:

			GLE-S8.7.4 Design of landmark buildings
10	Ideal location for new <u>transit hub</u> to maximise location benefits. The hub should be integrated with bus services, pedestrian and cycle routes and ride share/ taxis services.	Outside scope of the SAP. However existing and proposed controls allow for consideration of alternative proposals. 26.0 Utilities Zone Transport Depot and Distribution has Permitted status in the Zone.	Setback controls ensure opportunities for transit hub protected: GLE-S8.7.2 Building setback
11	Consider traffic calming to reduce traffic speeds from westbound traffic on Elwick Road and provide for a safe pedestrian and cyclist <u>connection</u> across the Intercity Cycleway. Integrate <u>soft</u> and <u>hard</u> landscaping including potential <u>public art</u> .	Traffic calming not within scope of the PAC SAP. Current and proposed controls consider opportunity for landscaping and do not prevent opportunities for public art. Landscaping and public art Table 4.3 Exempt buildings and works 4.3.11 garden structures such as a pergola, garden arch, trellis or frame Table 4.4 Vegetation exemptions 4.4.2 landscaping and vegetation management within a public garden or park, or within State-reserved land or a council reserve, if not otherwise protected, part of a Local Heritage Place, or a significant tree. Roads: E3.0 Roads and Railway Assets Code Standards governing new vehicle crossings, junctions and level crossings.	Landscaping provisions included in GLE-S8.7.10 Landscaping of publicly accessible areas
12	Investigate <u>realignment</u> of Main Road, Elwick Road and KGV Avenue roundabout <u>intersection</u> to reroute primary vehicle movement corridor from Main Road to KGV Avenue as well as provide for more efficient movement through the intersection.	Outside scope of the PAC SAP.	N/A
13	Promote traditional high street <u>built form</u> and <u>use</u> along Main Road, including <u>active ground floor frontages</u> such as <u>retail</u> and <u>food services</u> and provision of <u>awnings</u> . Review against existing Glenorchy Urban Design Specific Area Plan provisions.	Existing and proposed controls promote retail uses and active frontages. 16.0 Central Business Zone General Retail and Hire, Food Services, Business and Professional Services have NPR status in the zone.	Active frontages promoted through use and design standards. GLE-S8.6.1 Ground floor use GLE-S8.7.3 Façade design
14	Develop improved <u>all-ability access connections</u> to nearby attractors including: the commercial activity located at Hobart Showgrounds and Wilkinsons Point; recreation infrastructure such as GASP, Montrose Bay, Glenorchy Recreation Ground (Eady Street) and KGV Recreation Area; and community activities such as Guilford Young College, Glenview and Cosgrove High School.	Outside the area of the SAP and requires physical works.	N/A

15	Potential redevelopment of car park to provide drop-off and pick-up zones for future transit hub with multistorey car parking.	Requires physical works however the current and proposed controls do not prevent this opportunity. Transit hub: 26.0 Utilities Zone Transport Depot and Distribution has Permitted status in the Zone	N/A
16	Work with all levels of government to ensure that <u>government services and facilities</u> for Greater Glenorchy are located within the boundaries of the precinct. This will vary from investment into creative and active <u>public spaces</u> , locating anchor institutions in the CBD, to Council leveraging appropriate use and design outcomes for future development opportunities as landowner	Advocacy work outside the role of the PAC SAP however these uses are permissible within the SAP area. Government services: 16.0 Central Business Zone Business and Professional Services has NPR status in the Zone. Community Meeting and Entertainment, Educational and Occasional Care and Emergency Services have Permitted status in the Zone. Hospital Services, Transport Depot and Distribution and Vehicle Parking have Discretionary status in the Zone.	NA
17	Aim to <u>limit retail and commercial</u> use and development <u>outside the CBD</u> that undermines the primacy of the Glenorchy CBD.	Outside the area of the PAC SAP however current controls achieve this action. Limit competing uses outside CBD: 16.0 Central Business Zone The Central Business Zone is only applied to the Glenorchy CBD, within the municipality.	N/A
18.1	Establish an <u>amenity building envelope</u> for the CBD to <u>retain solar access</u> along streets and in public open spaces.	Building envelope: 16.0 Central Business Zone 16.4.1 Building height A1/P1 substituted by SAP.	Solar access of civic centre forecourt and portion of Main Road achieved through building height controls: GLE-S8.7.1 Building height and bulk
18.2	<u>Mandate provision of awnings and active ground floor frontages</u> consistent with the Precinct plan.	Awnings: 16.0 Central Business Zone Standard 16.4.3 Design A2/P2 is substituted by the current SAP.	Provisions for awnings and active ground floor frontages, where appropriate, are achieved through: GLE-S8.6.1 Ground floor use GLE-S8.7.3 Façade design
18.3	Adjust existing building setbacks on side streets to enable <u>views</u> through to kunanyi/Mount Wellington.	Building envelope: 16.0 Central Business Zone Standard 16.4.2 Setbacks A1/P1 is substituted by the current SAP.	Controls to enable views to kunanyi/Mt. Wellington achieved through: GLE-S8.7.2 Building setback
18.4	Include residential amenity provisions for future infill residential development above ground floor in the Central Business Zone to deliver high quality residential living.	Residential amendment provisions proposed in PAC SAP (noting the SPP zone cannot be amended by Council) Current zone controls provide limited amenity. Residential development: 16.0 Central Business Zone 16.2 Use Table Residential use above ground floor has Permitted status (unless NPR for home-based business). Residential amenity: 16.4.6 Dwellings	Residential amenity provisions being implemented through: GLE-S8.6.2 Hours of operation for a use in an outdoor entertainment area GLE-S8.6.3 Use of external lighting GLE-S8.7.5 Design of apartment buildings

		Provisions re private open space and storage space. Other amenity protection provisions are relative to residential zones, not residential use.	
18.5	Include a specific precinct <u>parking plan</u> that reduces requirement in relation to on-site car parking.	Options being considered through other projects.	N/A
19	In accordance with the Glenorchy City Council's Access Policy (December 2016), ensure that all streetscape improvements, footpaths and other public work provides <u>equal opportunities</u> and <u>nondiscriminatory practices</u> that <u>enable people</u> with disability to access, participate and be included in the social, economic and cultural life of the precincts.	Physical works outside of scope of PAC SAP.	N/A
20	Explore options for Council to leverage appropriate <u>use and design outcomes</u> for development opportunities on Council-owned land, including in partnership with the private sector.	Outside scope of the planning system, noting that planning scheme provisions provide standards for assessment	N/A
21	Undertake an analysis of land within 800 m of the Activity Centre and Northern Suburbs Transit Corridor and rezone land where required to <u>increase residential and job density</u> .	Being considered through other projects.	N/A

**GLENORCHY LOCAL PROVISIONS SCHEDULE
AMENDMENT PLAM-22/10**

The Glenorchy Local Provisions Schedule is amended as follows:

Land affected by this amendment:

- Refer to *Annexure 1* that lists all the properties affected by the proposed planning scheme amendment.

The Planning Scheme maps are amended by:

1. Modifying the General Overlay as shown in *Image 1* of *Annexure 2* to show the spatial application of GLE-S15.0 Northern Apartments Corridor Specific Area Plan to the applicable land.
2. Modifying the General Overlay as shown in *Image 2* of *Annexure 2* to show the spatial application of GLE-S15.3 Local Area Objectives of the Northern Apartments Corridor Specific Area Plan to the applicable land.

The Planning Scheme Ordinance is amended by:

3. Inserting Clause GLE-S15.0 Northern Apartments Corridor Specific Area Plan as shown in *Annexure 3*.
4. Inserting the following to GLE- Applied, Adopted or Incorporated Documents as shown in *Annexure 4*.

Document Title	Publication Details	Relevant Clauses in the LPS
<i>Livable Housing Design Guidelines</i>	Livable Housing Australia	GLE-S15.7.2 A9 & P9

In witness where of the common seal of
Glenorchy City Council has been affixed on the
day of 20
as authorised by Council in the presence of:

Council Delegate

Properties affected by the Planning Scheme Amendment PLAM-22/10 for NAC SAP

Annexure 1 – Properties affected by the proposed Planning Scheme Amendment

PLAM-22/10 - Northern Apartments Corridor Specific Area Plan (NAC SAP)

No.	Certificate of Titles	Street Address
1.	CT 248523/1	505 Main Road, Montrose TAS 7010
2.	CT 247776/1	501 Main Road, Montrose TAS 7010
3.	CT 42038/1	499 Main Road, Montrose TAS 7010
4.	CT 29642/1	497 Main Road, Montrose TAS 7010
5.	CT 41984/1	495 Main Road, Montrose TAS 7010
6.	CT 133603/2	2/493 Main Road, Montrose TAS 7010
7.	CT 133603/1	1/493 Main Road, Montrose TAS 7010
8.	CT 133603/0	
9.	CT 129429/2	491 Main Road, Montrose TAS 7010
10.	CT 145375/1	489 Main Road, Montrose TAS 7010
11.	CT 107395/1	487 Main Road, Montrose TAS 7010
12.	CT 178747/1	485 Main Road, Montrose TAS 7010
13.	CT 101511/0	5/481 Main Road, Montrose TAS 7010
14.	CT 101511/5	
15.	CT 101511/4	4/481 Main Road, Montrose TAS 7010
16.	CT 101511/3	2-3/481 Main Road, Montrose TAS 7010
17.	CT 101511/2	
18.	CT 101511/1	1/481 Main Road, Montrose TAS 7010
19.	CT 5054/2	469 Main Road, Glenorchy TAS 7010
20.	CT 5054/1	467 Main Road, Montrose TAS 7010
21.	CT 136928/1	463 Main Road, Glenorchy TAS 7010
22.	CT 147635/1	457-459 Main Road, Glenorchy TAS 7010
23.	CT 168311/1	451-455 Main Road, Glenorchy TAS 7010
24.	CT 42527/1	449 Main Road, Glenorchy TAS 7010
25.	CT 24743/1	447 Main Road, Glenorchy TAS 7010
26.	CT 246568/1	441-445 Main Road, Glenorchy TAS 7010
27.	CT 178483/1	448-450 Main Road, Glenorchy TAS 7010
28.	CT 179145/2	446-446A Main Road, Glenorchy TAS 7010
29.	CT 134416/1	
30.	CT 20329/5	
31.	CT 20329/4	
32.	CT 50000/1	444 Main Road, Glenorchy TAS 7010
33.	CT 34710/1	442 Main Road, Glenorchy TAS 7010
34.	CT 64783/1	436 Main Road, Glenorchy TAS 7010
35.	CT 139487/1	434 Main Road, Glenorchy TAS 7010
36.	CT 139487/2	424-432 Main Road, Glenorchy TAS 7010
37.	CT 35688/1	418 Main Road, Glenorchy TAS 7010
38.	CT 123818/1	
39.	CT 35687/1	
40.	CT 59523/2	412 Main Road, Glenorchy TAS 7010

Properties affected by the Planning Scheme Amendment PLAM-22/10 for NAC SAP

41.	CT 59523/1	414 Main Road, Glenorchy TAS 7010
42.	CT 117750/1	410 Main Road, Glenorchy TAS 7010
43.	CT 120893/1	313A Main Road, Glenorchy TAS 7010
44.	CT 70051/1	315-319 Main Road, Glenorchy TAS 7010
45.	CT 245818/2	
46.	CT 231469/1	
47.	CT 231501/1	
48.	CT 120893/2	
49.	CT 27862/1	2 Harold Street, Glenorchy TAS 7010
50.	CT 27862/2	Caltex Glenorchy, 323-325 Main Road, Glenorchy TAS 7010
51.	CT 183018/1	Glenorchy Ice Skating Rink, 327 Main Road, Glenorchy TAS 7010
52.	CT 198100/1	329 Main Road, Glenorchy TAS 7010
53.	CT 199651/1	331 Main Road, Glenorchy TAS 7010
55.	CT 197149/1	335 Main Road, Glenorchy TAS 7010
56.	CT 197149/4	337-339 Main Road, Glenorchy TAS 7010
57.	CT 237744/1	324-328 Main Road, Glenorchy TAS 7010
58.	CT 91610/5	
59.	CT 219879/3	330 Main Road, Glenorchy TAS 7010
60.	CT 129442/7	7/332-334 Main Road, Glenorchy TAS 7010
61.	CT 129442/7	
62.	CT 129442/7	6/332-334 Main Road, Glenorchy TAS 7010
63.	CT 129442/6	
64.	CT 129442/5	5/332-334 Main Road, Glenorchy TAS 7010
65.	CT 129442/5	
66.	CT 129442/4	4/332-334 Main Road, Glenorchy TAS 7010
67.	CT 129442/4	
68.	CT 129442/3	3/332-334 Main Road, Glenorchy TAS 7010
69.	CT 129442/3	
70.	CT 129442/2	2/332-334 Main Road, Glenorchy TAS 7010
71.	CT 129442/2	
72.	CT 129442/1	1/332-334 Main Road, Glenorchy TAS 7010
73.	CT 129442/1	
74.	CT 94626/9	5 Eady Street, Glenorchy TAS 7010
75.	CT 222069/8	3 Eady Street, Glenorchy TAS 7010
76.	CT 200864/1	Australian Croatian Club, 1 Eady Street, Glenorchy TAS 7010
77.	CT 39451/3	
78.	CT 39800/1	338 Main Road, Glenorchy TAS 7010
79.	CT 131977/1	209-215 Main Road, Derwent Park TAS 7009
80.	CT 169892/1	219-221 Main Road, Derwent Park TAS 7009
81.	CT 170668/1	225 Main Road, Derwent Park TAS 7009
82.	CT 119569/1	1/227 Main Road, Derwent Park TAS 7009
83.	CT 119569/2	2/227 Main Road, Derwent Park TAS 7009
84.	CT 8757/4	231 Main Road, Derwent Park TAS 7009

Properties affected by the Planning Scheme Amendment PLAM-22/10 for NAC SAP

85.	CT 119569/3	3/227 Main Road, Derwent Park TAS 7009
86.	CT 119569/0	
87.	CT 119569/4	4/227 Main Road, Derwent Park TAS 7009
88.	CT 63830/1	Carlyle Hotel, 236 Main Road, Derwent Park TAS 7009
89.	CT 37521/1	
90.	CT 37520/1	
91.	CT 10860/1	
92.	CT 41184/2	233-235 Main Road, Derwent Park TAS 7009
93.	CT 41184/1	
94.	CT 141829/1	1/237 Main Road, Derwent Park TAS 7009
95.	CT 141829/2	2/237 Main Road, Derwent Park TAS 7009
96.	CT 141829/0	
97.	CT 137943/1	239 Main Road, Derwent Park TAS 7009
98.	CT 245232/1	Martin Cash Motor Lodge, 238 Main Road, Derwent Park TAS 7009
99.	CT 20448/4	241 Main Road, Derwent Park TAS 7009
100.	CT 43546/1	240 Main Road, Derwent Park TAS 7009
101.	CT 113457/1	243 Main Road, Derwent Park TAS 7009
102.	CT 113457/2	
103.	CT 20448/2	245 Main Road, Derwent Park TAS 7009
104.	CT 158870/1	242-246 Main Road, Derwent Park TAS 7009
105.	CT 20448/1	247 Main Road, Derwent Park TAS 7009
106.	CT 11697/6	248-250 Main Road, Moonah TAS 7009
107.	CT 11697/5	
108.	CT 11697/4	252 Main Road, Derwent Park TAS 7009
109.	CT 109414/1	255-257 Main Road, Derwent Park TAS 7009
110.	CT 109415/1	
111.	CT 180487/1	1/254-260 Main Road, Derwent Park TAS 7009
112.	CT 180487/2	4/254-260 Main Road, Derwent Park TAS 7009
113.	CT 180487/4	
114.	CT 180487/2	2/254-260 Main Road, Derwent Park TAS 7009
115.	CT 180487/4	
116.	CT 180487/3	3/254-260 Main Road, Derwent Park TAS 7009
117.	CT 180487/5	5/254-260 Main Road, Derwent Park TAS 7009
118.	CT 180487/5	
119.	CT 170323/1	259-263 Main Road, Derwent Park TAS 7009
120.	CT 46488/2	
121.	CT 46488/1	
122.	CT 170323/2	265 Main Road, Derwent Park TAS 7009
123.	CT 58340/1	267 Main Road, Derwent Park TAS 7009
124.	CT 58340/2	2/269 Main Road, Derwent Park TAS 7009
125.	CT 58340/3	3/269 Main Road, Derwent Park TAS 7009
126.	CT 117356/1	270 Main Road, Glenorchy TAS 7010

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127.	CT 117356/2	
128.	CT 43744/1	Aboriginal Christian Congress, 280 Main Road, Glenorchy TAS 7010
129.	CT 244805/12	
130.	CT 41659/1	282 Main Road, Glenorchy TAS 7010
131.	CT 54107/1	284 Main Road, Glenorchy TAS 7010
132.	CT 106979/1	Bp Derwent Park, 271-273 Main Road, Glenorchy TAS 7010
133.	CT 160255/1	275-281 Main Road, Glenorchy TAS 7010
134.	CT 48677/1	283-285 Main Road, Glenorchy TAS 7010
135.	CT 124054/1	
136.	CT 241735/1	287 Main Road, Glenorchy TAS 7010
137.	CT 215207/1	289-291 Main Road, Glenorchy TAS 7010
138.	CT 59815/56	293 Main Road, Glenorchy TAS 7010
139.	CT 219986/55	295-295A Main Road, Glenorchy TAS 7010
140.	CT 140952/1	297-299 Main Road, Glenorchy TAS 7010
141.	CT 30525/1	296 Main Road, Glenorchy TAS 7010
142.	CT 59825/1	298 Main Road, Glenorchy TAS 7010
143.	CT 59825/2	300 Main Road, Glenorchy TAS 7010
144.	CT 166988/7	47 Charles Street, Moonah TAS 7009
145.	CT 166988/1	45 Charles Street, Moonah TAS 7009
146.	CT 106922/1	139 Main Road, Moonah TAS 7009
147.	CT 20459/8	11 Amy Street, Moonah TAS 7009
148.	CT 18553/9	9 Amy Street, Moonah TAS 7009
149.	CT 115136/10	7 Amy Street, Moonah TAS 7009
150.	CT 21841/11	5 Amy Street, West Moonah TAS 7009
151.	CT 46236/1	3 Amy Street, West Moonah TAS 7009
152.	CT 118297/1	134-136 Main Road, Moonah TAS 7009
153.	CT 117841/13	
154.	CT 94567/1	
155.	CT 125159/1	138-140 Main Road, Moonah TAS 7009
156.	CT 107443/1	141 Main Road, Moonah TAS 7009
157.	CT 151727/1	145-147 Main Road, Moonah TAS 7009
158.	CT 55470/8	149 Main Road, Moonah TAS 7009
159.	CT 55470/7	1 Fleet Street, Moonah TAS 7009
160.	CT 37814/4	6 Amy Street, Moonah TAS 7009
161.	CT 171567/1	142-148 Main Road, Moonah TAS 7009
162.	CT 233831/1	150 Main Road, Moonah TAS 7009
163.	CT 55470/5	151 Main Road, Moonah TAS 7009
164.	CT 55470/6	
165.	CT 55470/4	153 Main Road, Moonah TAS 7009
166.	CT 55470/3	155 Main Road, Moonah TAS 7009
167.	CT 248222/1	157 Main Road, Moonah TAS 7009
168.	CT 73265/1	159 Main Road, Moonah TAS 7009
169.	CT 252708/1	154 Main Road, Moonah TAS 7009
170.	CT 148532/1	156-158 Main Road, Moonah TAS 7009

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171.	CT 138259/5	Hobart Nursing Service, 2-6 Birdwood Avenue, Moonah TAS 7009
172.	CT 138259/6	169 Main Road, Moonah TAS 7009
173.	CT 36248/1	Moonah Bowl, 164 Main Road, Moonah TAS 7009
174.	CT 212633/1	166 Main Road, Moonah TAS 7009
175.	CT 37555/3	
176.	CT 132964/1	170 Main Road, Moonah TAS 7009
177.	CT 95940/16	172-174 Main Road, Moonah TAS 7009
178.	CT 35282/1	
179.	CT 163871/1	171-181 Main Road, Moonah TAS 7009
180.	CT 119190/2	9 Maxwell Street, Moonah TAS 7009
181.	CT 197590/1	7 Maxwell Street, Moonah TAS 7009
182.	CT 248203/31	5 Maxwell Street, Moonah TAS 7009
183.	CT 60868/26	3 Maxwell Street, Moonah TAS 7009
184.	CT 60868/21	178 Main Road, Moonah TAS 7009
185.	CT 232476/1	
186.	CT 30064/1	183 Main Road, Moonah TAS 7009
187.	CT 145005/1	185 Main Road, Moonah TAS 7009
188.	CT 60868/40	10 Maxwell Street, Moonah TAS 7009
189.	CT 60868/35	Mcdonalds Moonah, 184-190 Main Road, Moonah TAS 7009
190.	CT 60868/30	
191.	CT 40831/1	
192.	CT 40887/1	139B Main Road, Moonah TAS 7009
193.	CT 60868/9	192 Main Road, Moonah TAS 7009
194.	CT 60868/8	194-196 Main Road, Moonah TAS 7009
195.	CT 168408/1	187 Main Road, Moonah TAS 7009
196.	CT 131279/1	Caltex Moonah, 198 Main Road, Moonah TAS 7009
197.	CT 60868/18	
198.	CT 112829/1	202 Main Road, Moonah TAS 7009
199.	CT 252152/1	210 Main Road, Moonah TAS 7009
200.	CT 240008/1	207 Main Road, Moonah TAS 7009
201.	CT 168408/2	189-205 Main Road, Moonah TAS 7009
202.	CT 111894/1	1-9 Main Road, Moonah TAS 7009
203.	CT 198697/1	
204.	CT 8011/1	
205.	CT 8011/2	
206.	CT 40701/1	10 Main Road, Moonah TAS 7009
207.	CT 54025/1	12 Main Road, Moonah TAS 7009
208.	CT 120941/1	11-13 Main Road, Moonah TAS 7009
209.	CT 165845/1	
210.	CT 56323/2	2/19-23 Main Road, Moonah TAS 7009
211.	CT 56323/1	1/19-23 Main Road, Moonah TAS 7009
212.	CT 113730/1	16 Main Road, Moonah TAS 7009
213.	CT 21609/1	18 Main Road, Moonah TAS 7009
214.	CT 126126/1	20 Main Road, Moonah TAS 7009

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215.	CT 120509/1	22 Main Road, Moonah TAS 7009
216.	CT 131510/1	7 Florence Street, Moonah TAS 7009
217.	CT 111895/1	5 Florence Street, Moonah TAS 7009
218.	CT 164118/1	24-28 Main Road, Moonah TAS 7009

Amendments to Planning Scheme Maps - PLAM-22/10

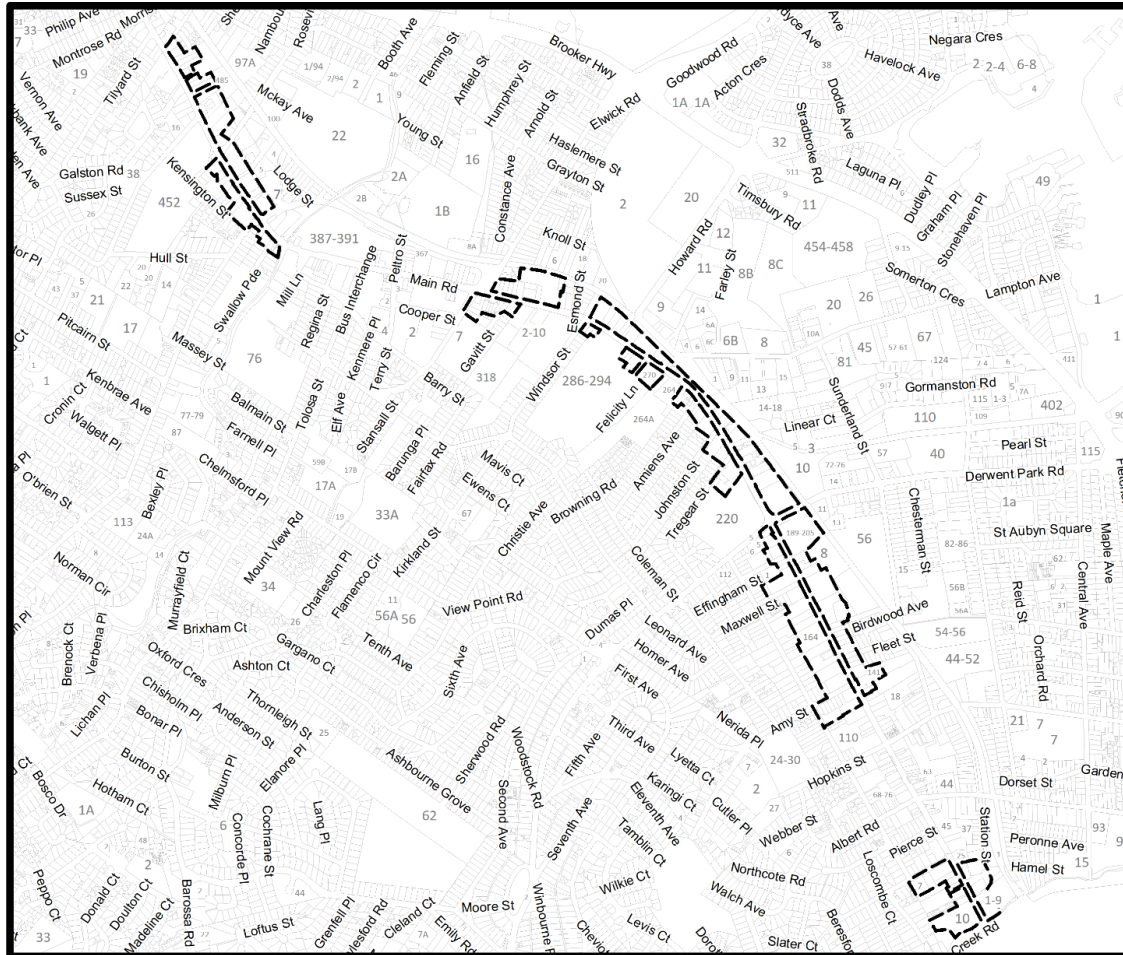
Annexure 2 – Proposed amendment to Planning Scheme Maps**PLAM-22/10 - Northern Apartments Corridor Specific Area Plan (NAC SAP)**

Image 1 – Land to be included in GLE-S15.0 Northern Apartments Corridor Specific Area Plan

Amendments to Planning Scheme Maps - PLAM-22/10



Image 2 – Land to which GLE-S15.2 Local Area Objectives of the Northern Apartments Corridor Specific Area Plan applies

Annexure 3 – Proposed Planning Scheme Amendment PLAM-22/10**GLE-S15.0 Northern Apartments Corridor Specific Area Plan****GLE-S15.1 Plan Purpose**

The purpose of the Northern Apartments Corridor Specific Area Plan is:

GLE-S15.1.1 To provide for residential use primarily above ground floor level or behind commercial use, typically as medium to high density apartments.

GLE-S15.1.2 To ensure residential use does not dominate the primary commercial use at street level.

GLE-S15.2 Application of this Plan

GLE-S15.2.1 This specific area plan applies to the area of land designated as the Northern Apartments Corridor Specific Area Plan on the overlay maps.

GLE-S15.2.2 In the area of land this plan applies to, the provisions of the Specific Area Plan are in addition to the provisions of the Commercial Zone, the Parking and Sustainable Transport Code and the Road and Railway Assets Code, as specified in the relevant provision.

GLE-S15.2.3 In addition to any other application requirements, the planning authority may require any of the following information to determine compliance with performance criteria:

- (a) elevation drawings or photomontage showing the proposed development in the context of adjacent buildings and the streetscape;
- (b) a site analysis and design response report;
- (c) an accessibility report;
- (d) a crime prevention through environmental design report; or
- (e) a landscaping plan.

GLE-S15.3 Local Area Objectives

GLE-S15.3.1 The local area objectives for the Northern Apartments Corridor are to:

- (a) provide for medium to high density apartments primarily above ground level or behind commercial activity, that are compatible to the area without undermining the primary commercial and economic focus of the locality;
- (b) ensure the residential use does not result in potential conflict with other non-residential uses;
- (c) assist in delivering well-designed apartments with an appropriate level of residential amenity to the occupants without impacting on the non-residential uses of the site; and

- (d) take advantage of the highly accessible location and promote sustainable and active transport opportunities.

GLE-S15.4 Definition of Terms

GLE-S15.4.1 In this specific area plan, unless the contrary intention appears:

Terms	Definition
accessibility report	<p>means a report (as defined in this specific area plan) that addresses:</p> <ul style="list-style-type: none"> (a) likely demand for accessible apartments in the SAP area, having regard to: <ul style="list-style-type: none"> (i) the demographic characteristics of the Glenorchy municipality; and (ii) the accessibility needs of the population of likely occupants of accessible apartments in the SAP area; (b) the extent to which the proposed development contributes to meeting the likely demand for accessible apartments in the SAP area, having regard to: <ul style="list-style-type: none"> (i) the size and scale of the development; (ii) the application of universal design principles; and (iii) any other proposed accessibility or universal design features, excluding those required under the <i>Building Act 2016</i>; (c) any accessibility advice relating to the ongoing management of any other use or development on the site; and (d) any matter specifically required by standards in this specific area plan.
apartment	means part of a building, used as a residence and which includes food preparation facilities, a bath or shower, a toilet and sink, any associated private open space and access to laundry facilities.
apartment building	means a Class 2 residential building as defined in the <i>National Construction Code</i> .
commercial vehicle	means a medium rigid vehicle or greater as described in section 2 “Design Vehicles” of <i>AS2890.2 - 2002 Parking facilities Part 2: Off-street commercial vehicle facilities</i> .”
crime prevention through environmental design report	<p>means a report (as defined in this specific area plan) that addresses:</p> <ul style="list-style-type: none"> (a) whether the use or development can achieve and maintain an acceptable level of crime prevention through environmental design, having regard to:

Proposed Northern Apartments Corridor Specific Area Plan

	<ul style="list-style-type: none"> (i) the characteristics of the use or development; (ii) existing crime prevention or deterrence measures on the site and adjacent properties; (iii) any proposed crime prevention or deterrence measures; and (iv) the ongoing management of the use or development; and <p>(b) any matter specifically required by Performance Criteria in this specific area plan.</p>
FOGO	means Food Organics and Garden Organics.
living room	means a habitable room of a dwelling, other than a bedroom or separate kitchen.
passive surveillance	means the location and design of use or development to maximise visibility by passers-by or casual onlookers from adjacent spaces, in order to reduce opportunities for crime by making potential offenders feel exposed and making legitimate users feel safer.
report	<p>means a report, prepared for a site by a suitably qualified person, that must include:</p> <ul style="list-style-type: none"> (a) details of, and be signed by, the person who prepared or verified the report; (b) confirmation that the person has the appropriate qualifications and expertise; (c) confirmation that the report has been prepared in accordance with any applicable methodology specified by a government authority or professional body; and (d) conclusions and recommendations based on consideration of the proposed use or development and its context.
shared open space	an outdoor area of the land or building, which may include the rooftop, for the shared use of the occupants of an apartment building, excluding areas proposed or approved for storage, vehicle (including bicycles and personal mobility devices) access or parking, service structures, lift motor rooms, plant and equipment, shared laundry facilities or shared waste storage.
single aspect apartment	means an apartment that has external windows on no more than one building elevation (not including skylights and windows to a light well or ventilation shaft).
site analysis and design response report	<p>means a report (as defined in this specific area plan) that:</p> <ul style="list-style-type: none"> (a) identifies site constraints and opportunities in relation to: <ul style="list-style-type: none"> (i) solar access;

Proposed Northern Apartments Corridor Specific Area Plan

	<ul style="list-style-type: none"> (ii) prevailing wind conditions; (iii) privacy and security; (iv) access to views and open space; and (v) light, noise and other emissions from traffic and nearby land use; <p>(b) explains how the proposed development:</p> <ul style="list-style-type: none"> (i) responds to the site's constraints and opportunities; (ii) enhances and responds positively to the streetscape character of the area; (iii) meets the purpose of this specific area plan; and (iv) addresses the local area objectives; and <p>(c) any matter specifically required by Performance Criteria in this specific area plan.</p>
universal design	means design that is useable by people of all abilities.

GLE-S15.5 Use Table

This clause is in substitution to the Commercial Zone – Clause 17.2 Use Table.

Use Class	Qualification
No Permit Required	
Natural and Cultural Values Management	
Passive Recreation	
Residential	If for home-based business.
Utilities	If for minor utilities.
Permitted	
Bulky Goods Sales	
Emergency Services	
Equipment and Machinery Sales and Hire	
Residential	If for an apartment building and located above ground floor level (excluding pedestrian or vehicular access and parking).

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Service Industry	
Storage	
Discretionary	
Business and Professional Services	
Community Meeting and Entertainment	
Educational and Occasional Care	
Food Services	
General Retail and Hire	
Hotel Industry	If for alterations or extensions to an existing Hotel Industry.
Manufacturing and Processing	
Research and Development	
Residential	If for an apartment building: (a) not listed as Permitted; and (b) located to the rear of the commercial use and development on the frontage (excluding pedestrian or vehicular access and parking).
Resource Processing	If for food or beverage production.
Sports and Recreation	
Transport Depot and Distribution	
Tourist Operation	
Utilities	
Vehicle Fuel Sales and Service	
Vehicle Parking	
Visitor Accommodation	If for alterations or extensions to existing Visitor Accommodation.

Prohibited	
All other uses	

GLE-S15.6 Use Standards**GLE-S15.6.1 All uses**

This sub-clause is in substitution to Commercial Zone – Clause 17.3.1 All Uses

Objective:	
That uses do not cause an unreasonable loss of residential amenity to residential zones.	
A1 Hours of operation of a use, excluding Residential, Emergency Services, Natural and Cultural Values Management, Passive Recreation or Utilities, on a site within 50m of a General Residential Zone, Inner Residential Zone, Low Density Residential Zone, or Rural Living Zone, must be within the hours of: (a) 7.00am to 9.00pm Monday to Saturday; and (b) 8.00am to 9.00pm Sunday and public holidays.	P1 Hours of operation of a use, excluding Residential, Emergency Services, Natural and Cultural Values Management, Passive Recreation or Utilities, on a site within 50m of a General Residential Zone, Inner Residential Zone, Low Density Residential Zone, or Rural Living Zone, must not cause an unreasonable loss of amenity to the residential zones, having regard to: (a) the timing, duration or extent of vehicle movements; and (b) noise, lighting or other emissions.
A2 External lighting for a use, excluding Residential, Natural and Cultural Values Management or Passive Recreation, on a site within 50m of a General Residential Zone, Inner Residential Zone, Low Density Residential Zone, or Rural Living Zone, must: (a) not operate within the hours of 11.00pm to 6.00am, excluding any security lighting; and (b) if for security lighting, be baffled so that direct light does not extend into the adjoining property in those zones.	P2 External lighting for a use, excluding Residential, Natural and Cultural Values Management or Passive Recreation, on a site within 50m of a General Residential Zone, Inner Residential Zone, Low Density Residential Zone, or Rural Living Zone, must not cause an unreasonable loss of amenity to the residential zones, having regard to: (a) the level of illumination and duration of lighting; and (b) the distance to habitable rooms of an adjacent dwelling.
A3 Commercial vehicle movements and the unloading and loading of commercial vehicles for a use, excluding Residential, Emergency Services, on a site within 50m of a General Residential Zone, Inner Residential Zone, Low Density Residential Zone, or Rural Living Zone,	P3 Commercial vehicle movements and the unloading and loading of commercial vehicles for a use, excluding Residential, Emergency Services, on a site within 50m of a General Residential Zone, Inner Residential Zone, Low Density Residential Zone, or Rural Living Zone,

<p>must be within the hours of:</p> <p>(a) 7.00am to 9.00pm Monday to Saturday; and</p> <p>(b) 8.00am to 9.00pm Sunday and public holidays.</p>	<p>must not cause an unreasonable loss of amenity to the residential zones, having regard to:</p> <p>(a) the time and duration of commercial vehicle movements;</p> <p>(b) the number and frequency of commercial vehicle movements;</p> <p>(c) the size of commercial vehicles involved;</p> <p>(d) manoeuvring required by the commercial vehicles, including the amount of reversing and associated warning noise;</p> <p>(e) any noise mitigation measures between the vehicle movement areas and the adjoining residential area; and</p> <p>(f) potential conflicts with other traffic.</p>
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GLE-S15.6.2 Discretionary uses

This sub-clause is in substitution to Commercial Zone – Clause 17.3.2 Discretionary Uses

Objective:	
<p>That uses:</p> <p>(a) listed as discretionary do not compromise or distort the activity centre hierarchy; and</p> <p>(b) residential use listed as discretionary does not compromise or distort the commercial activity on the ground floor level of the site.</p>	
<p>A1</p> <p>If use is for a discretionary use, other than for discretionary residential use, no acceptable solution.</p>	<p>P1</p> <p>A use listed as discretionary, other than discretionary residential use, must not compromise or distort the activity centre hierarchy, having regard to:</p> <p>(c) the characteristics of the site;</p> <p>(d) the size and scale of the proposed use;</p> <p>(e) the functions of the activity centre and the surrounding activity centres; and</p> <p>(f) the extent that the proposed use impacts on other activity centres.</p>
<p>A2</p> <p>If residential use listed as discretionary, no acceptable solution.</p>	<p>P2</p> <p>Residential use listed as discretionary must not compromise or distort the commercial activity on the ground floor level, having regard to:</p> <p>(c) the characteristics of the site and the existing or proposed ground floor level commercial use and development;</p> <p>(d) maintaining active commercial frontages at</p>

	<p>street level, and residential development (other than pedestrian or vehicular access) located to the rear of the commercial activity;</p> <p>(e) residential parking not located on the frontage;</p> <p>(f) the size and scale of the residential development that is proposed to be located at the ground floor level;</p> <p>(g) the extent of impact of the residential development on the commercial and economic function of the site, and any proposed mitigation measures to ensure the primary commercial focus of the site is not compromised; and</p> <p>(h) furthering the local area objectives at Clause GLE-S15.3.1.</p>
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GLE-S15.7 Development Standards for Buildings and Works

GLE-S15.7.1 Building height

This subclause is in substitution for Commercial Zone – Clause 17.4.1 Building height A1 and P1, and A2 and P2.

Objective:	
<p>That building height:</p> <p>(a) enhances the streetscape through the scale, proportion and massing of buildings;</p> <p>(b) mediates transitions in height between buildings to provide a cohesive streetscape;</p> <p>(c) facilitates shop-top apartment buildings of medium to high density; and</p> <p>(d) does not cause unreasonable loss of amenity to adjoining residential zones.</p>	
Acceptable Solution	Performance Criteria
<p>A1</p> <p>Building height, excluding lift shafts, mechanical plant and miscellaneous equipment, must be no more than:</p> <p>(a) 12m for non-residential uses;</p> <p>(b) 12m within 5.5m of a frontage, and otherwise 15m, for development that includes an apartment building.</p>	<p>P1.1</p> <p>Building height must:</p> <p>(a) not unreasonably overshadow public places or existing residential use;</p> <p>(b) not unreasonably reduce public amenity through visual impacts caused by the apparent scale, bulk or proportions of the building when viewed from the street; and</p> <p>(c) provide a transition in scale to adjacent buildings of lesser height where the</p>

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	<p>difference in height is more than 4m.</p> <p>P1.2</p> <p>A building greater than 6 storeys must demonstrate significant architectural merit, having regard to making a significant positive contribution to the streetscape.</p>
<p>A2</p> <p>Building height, excluding lift shafts, mechanical plant and miscellaneous equipment:</p> <p>(a) within 10m of a residential zone must be no more than 9.5m.</p>	<p>P2</p> <p>Building height within 10m of a residential zone must not cause an unreasonable loss of residential amenity, having regard to:</p> <p>(a) overshadowing and reduction in sunlight to habitable rooms and private open space of dwellings;</p> <p>(b) overlooking and reduction of privacy; and</p> <p>(c) visual impacts caused by the apparent scale, bulk or proportions of the building when viewed from the adjoining property.</p>

GLE-S15.7.2 Design of apartment buildings

This sub-clause is in addition to the provisions of the Commercial Zone - Clause 17.4 Development Standards for Buildings and Works, and in addition to the provisions of the Road and Railway Assets Code – Clause C3.6.1 Habitable buildings for sensitive uses within a road or railway attenuation area.

<p>Objective:</p> <p>That apartment buildings provide a reasonable level of amenity for residents of all abilities, through design that:</p> <p>(a) responds to the site;</p> <p>(b) promotes resource efficiency and minimises energy consumption;</p> <p>(c) maximises solar access and natural ventilation;</p> <p>(d) provides occupants with adequate privacy, open space and storage; and</p> <p>(e) mitigates amenity impacts from other uses and development on-site and on neighbouring sites.</p>	
Acceptable Solutions	Performance Criteria
<p>A1</p> <p>Private open space and glazing to a habitable</p>	<p>P1</p> <p>Private open space and glazing to a habitable</p>

<p>room of an apartment, that has a floor level more than 1 m above existing ground level, must have a setback of not less than 6 m from the private open space and glazing to a habitable room of any other apartment, unless the proposed glazing:</p> <ul style="list-style-type: none"> (a) is offset, in the horizontal plane, not less than 1.5 m from the edge of: <ul style="list-style-type: none"> (i) the private open space; and (ii) glazing to a habitable room; of any other apartment; (a) has a sill height of not less than 1.7m above the floor level or has fixed obscure glazing extending to a height of at least 1.7m above the floor level; or (b) has a permanently fixed external screen for the full length of the glazing, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%. 	<p>room of an apartment, that has a floor level more than 1 m above existing ground level must be designed to minimise overlooking and privacy impacts to any adjacent apartment, having regard to:</p> <ul style="list-style-type: none"> (a) proximity to side and rear boundaries; (b) location of private open space and glazing to habitable rooms in adjacent apartments; and (c) proposed screening or other design measures to minimise direct views to the private open space and glazing to habitable rooms of adjacent apartments.
<p>A2</p> <p>An apartment building must be designed to achieve the following:</p> <ul style="list-style-type: none"> (a) at least 70% of apartments (rounded up to the nearest whole number) receive a minimum of 3 hours direct sunlight on the 21st of June, to living rooms or private open spaces; and (b) not more than 15% of apartments (rounded up to the nearest whole number) receive no direct sunlight to living rooms and private open spaces on the 21st of June. 	<p>P2</p> <p>An apartment building must be designed to maximise the number of apartments that receive direct sunlight to a living room or private open space on the 21st of June, having regard to:</p> <ul style="list-style-type: none"> (a) the size, dimensions and orientation of the site; (b) whether south facing, single aspect apartments have been minimised and multiple aspect apartments have been maximised; (c) optimising the area of direct sunlight to living rooms through the depth and layout of apartments and window sizes; and (d) the findings of a site analysis and design response report.

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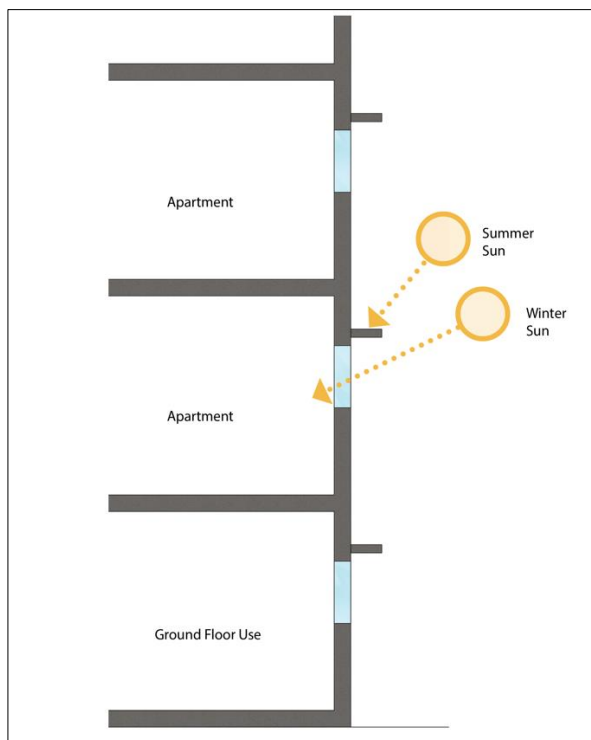
<p>A3</p> <p>Apartment windows to habitable rooms oriented between 30 degrees west of north and 30 degrees east of north must be provided with a window shading device with a width (perpendicular to the building facade) not less than 42% of the height from window sill to lintel, as illustrated in Figure GLE-S15.1.</p>	<p>P3</p> <p>Apartment windows oriented between 30 degrees west of north and 30 degrees east of north must have adequate shading from direct sunlight during summer, that enables a reasonable level of light to penetrate into the room.</p>
<p>A4</p> <p>At least 60% of apartments must have external openings in different elevations providing natural cross-ventilation.</p>	<p>P4</p> <p>Apartments are designed to optimise natural cross ventilation opportunities, having regard to:</p> <ul style="list-style-type: none"> (a) building orientation relative to prevailing breezes; (b) the number, area and location of external openings; (c) internal layout to minimise obstructions to the breeze path between external openings; and (d) use of other passive ventilation solutions such as solar chimneys.
<p>A5</p> <p>An apartment building must be designed to achieve internal noise levels in accordance with Australian Standard AS 3671:1989 – <i>Road Traffic Noise Intrusion (Building Siting and Construction)</i> and Australian Standard AS 2107:2016 – <i>Acoustics (Recommended Design Sound Levels and Reverberation Times for Building Interiors)</i>.</p>	<p>P5</p> <p>An apartment building must be designed to achieve internal noise levels in accordance with Australian Standard AS 3671:1989 – <i>Road Traffic Noise Intrusion (Building Siting and Construction)</i> and Australian Standard AS 2107:2016 – <i>Acoustics (Recommended Design Sound Levels and Reverberation Times for Building Interiors)</i>, unless:</p> <ul style="list-style-type: none"> (a) the building is a heritage place; and (b) alterations required to meet these standards would negatively impact on the heritage significance of a heritage place.
<p>A6</p> <p>Each apartment must have private open space that:</p> <ul style="list-style-type: none"> (a) has a minimum area of 6 m² plus 2 m² for each bedroom in the apartment, and 	<p>P6.1</p> <p>Unless complying with Clause P6.2 of this standard, each apartment must have private open space that provides reasonable amenity and opportunity for outdoor recreation, having regard to:</p>

<p>a minimum width of 2 m;</p> <p>(b) is directly accessible from a living room of the apartment;</p> <p>(c) has visual and acoustic screening from:</p> <ul style="list-style-type: none"> (i) mechanical plant and equipment, service structures and lift motor rooms; (ii) outdoor storage areas and shared laundry facilities; (iii) adjacent shared open space areas; (iv) adjacent outdoor entertainment areas; and (v) the private open spaces and glazing to habitable rooms of adjacent apartments; and <p>(d) includes a private clothes drying area that is screened from public view, unless shared clothes drying facilities are provided.</p>	<ul style="list-style-type: none"> (a) the area and dimensions of the space, excluding space occupied by mechanical plant and equipment; (b) the location of the space, relative to a living room of the apartment; (c) the privacy, visual and acoustic qualities of the space; (d) provision for clothes drying; and (e) screening or design to minimise overlooking of the private open space, and windows to habitable rooms, of existing adjacent apartments. <p>P6.2</p> <p>For an apartment in an existing building that is a heritage place, private open space is not required if the site cannot reasonably accommodate private open space without detracting from the heritage significance of the place.</p>
<p>A7.1</p> <p>An apartment building containing five or more apartments must have shared open space on the site, with:</p> <ul style="list-style-type: none"> (a) a total area not less than the area specified in Table GLE- S15.1; (b) a minimum horizontal dimension of 4m for five to nine apartments, and 5m for ten or more apartments; (c) a minimum area of 24 m² in one location for five to nine apartments, and 45 m² in one location for ten or more apartments; (d) not less than 20% of the total shared open space area allocated for plantings; (e) direct access from the apartment building's shared circulation areas; (f) visual and acoustic screening from: <ul style="list-style-type: none"> (i) mechanical plant and equipment, service structures and lift motor rooms; and 	<p>P7.1</p> <p>Unless complying with Clause P7.2 of this standard, an apartment building containing five or more apartments must have shared open space on the site that provides reasonable amenity and outdoor recreation opportunities for residents, having regard to:</p> <ul style="list-style-type: none"> (a) the area and dimensions of the space; (b) the number of apartments in the building; (c) provision of landscaping on the site; (d) the location of the space relative to ground floor commercial use; (e) the location of the space, relative to the apartment building's shared circulation areas; (f) measures to mitigate the potential for amenity impacts from: <ul style="list-style-type: none"> (i) mechanical plant and equipment, service structures and lift motor rooms; and

<p>(ii) non-residential uses on-site and on adjacent land;</p> <p>(g) visual screening of any shared clothes drying areas from public view;</p> <p>(h) not less than 2 hours of direct sunlight between 9 am and 3 pm on 21 June to at least 50% of the shared open space.</p> <p>A7.2</p> <p>Shared open space for an apartment building must be located so as not to interfere with ground floor commercial use.</p>	<p>(ii) non-residential uses on-site and on adjacent land;</p> <p>(g) measures to minimise the public visibility of any shared clothes drying areas;</p> <p>(h) access to direct sunlight; and</p> <p>(i) the findings of a site analysis and design response report.</p> <p>P7.2</p> <p>Shared open space for an apartment building is not required if:</p> <p>(a) for an existing building that is a heritage place, and the site cannot reasonably accommodate shared open space without detracting from the heritage significance of the place; or</p> <p>(b) the site is adjacent to public open space that provides reasonable amenity and outdoor recreation opportunities for residents, having regard to:</p> <p>(i) the location, area and aspect of the public open space;</p> <p>(ii) the extent and quality of landscaping of the public open space; and</p> <p>(iii) the provision and proximity of public amenities.</p>
<p>A8</p> <p>Each apartment must have a secure, individual storage area that:</p> <p>(a) has a minimum volume of 4 m³ plus 2 m³ for each bedroom in the apartment;</p> <p>(b) is located externally to the apartment; and</p> <p>(c) is screened or located away from public view and other non-residential use on the site.</p>	<p>P8</p> <p>An apartment building must have a secure common storage area that is suitable for storing residents' bulky household items, having regard to:</p> <p>(a) the area of the space;</p> <p>(b) the number of apartments in the building;</p> <p>(c) any provision of secure, individual external storage areas;</p> <p>(d) residents' convenience and security;</p> <p>(e) location and screening to minimise visual impacts to any apartment, other non-residential use on the site or publicly</p>

	<p>accessible areas of the site; and</p> <p>(f) separation from any on-site storage area for shared waste and recycling bins.</p>
<p>A9</p> <p>A new apartment building containing 6 or more apartments must provide a number of accessible apartments that is:</p> <p>(a) not less than 30% of apartments (rounded up to the nearest whole number) certified by a suitably qualified person as meeting Gold Level requirements as defined in the <i>Livable Housing Design Guidelines</i>; or</p> <p>(b) not less than 5% of apartments (rounded up to the nearest whole number) certified by a suitably qualified person as meeting Platinum Level requirements as defined in the <i>Livable Housing Design Guidelines</i>.</p>	<p>P9</p> <p>A new apartment building containing 6 or more apartments must provide a reasonable number of accessible apartments having regard to:</p> <p>(a) the number of apartments certified by a suitably qualified person as meeting Gold Level or Platinum Level requirements as defined in the <i>Livable Housing Design Guidelines</i>;</p> <p>(b) any relevant council policy; and</p> <p>(c) the recommendations of an accessibility report.</p>

Figure GLE-S15.1 Window shading



GLE-S15.7.3 Passive Surveillance for Residential Use

This sub-clause is in addition to the provisions of the Commercial Zone - Clause 17.4
Development Standards for Buildings and Works

Objective:	
That the design of medium-high density apartment buildings:	
(a) minimises opportunities for crime and anti-social behaviour; and	
(b) provides for passive surveillance allowing actual and perceived safety in the publicly accessible areas of the site and public places.	
Acceptable Solution	Performance Criteria
A1	P1
Apartment buildings must be provided with glazing or balconies on the first floor facing the publicly accessible areas of the site and public places to enable passive surveillance.	Apartment buildings must have building design, site layout, and hard and soft landscaping that deter crime and enhance safety in the publicly accessible areas of the site and public places, having regard to the recommendations of a crime prevention through environmental design report.

GLE-S15.7.4 Waste storage and collection for apartments

This sub-clause is in addition to the provisions of the Commercial Zone - Clause 17.4
Development Standards for Buildings and Works

Objective:	
That waste storage and collection for apartments is adequate and convenient and does not adversely impact amenity, the streetscape, other non-residential uses or traffic.	
Acceptable Solution	Performance Criteria
A1	P1
No Acceptable Solution for bin storage and collection for an apartment building.	Storage and collection of waste, recycling and FOGO bins for an apartment building must be provided in accordance with any relevant Council policy, must be convenient for residents and must not unreasonably impact amenity or traffic flow on the site, adjoining properties or the road, having regard to: <ul style="list-style-type: none"> (a) design and location to minimise noise, odour and visual impacts to any apartment, shared open space, other non-residential uses, or publicly accessible areas of the site;

	<ul style="list-style-type: none"> (b) separation from storage of any non-residential bins on the site; (c) the location, timing, duration and frequency of bin collection vehicle movements; (d) manoeuvring required by bin collection vehicles, including the amount of reversing and associated warning noise; (e) any noise mitigation measures between sensitive use on the site or an adjacent property, and waste collection activities; (f) potential conflicts with pedestrian, bicycle or vehicular traffic; and (g) furthering the local area objectives at Clause GLE-S15.3.1.
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GLE-S15.7.5 Access, parking and sustainable transport for apartments

This sub-clause is in substitution to the provisions of the Parking and Sustainable Transport Code – Clause C2.5.2 Bicycle parking numbers, and in addition to Clause C2.6 Development Standards for Buildings and Works.

Objective:	
<p>That access and parking where residential use is proposed:</p> <ul style="list-style-type: none"> (a) is designed to ensure safe movement of vehicles and pedestrians for residential and non-residential uses on-site; (b) residential car parking does not undermine the street level commercial activity on frontages; and (c) provides for active transport options. 	
Acceptable Solution	Performance Criteria
<p>A1</p> <p>For a site containing an apartment building, there must be no commercial vehicles entering the site.</p>	<p>P1</p> <p>For a site containing an apartment building, where commercial vehicles will also access the site, the crossover, driveway and parking areas must be designed to ensure:</p> <ul style="list-style-type: none"> (a) safe movement of vehicles, bicycles, personal mobility devices and pedestrians; (b) separate parking, loading and unloading areas for the commercial vehicles; and

	(c) furthering the local area objectives at Clause GLE-S15.3.1.
A2 Residential parking, if located on the ground level, must: <ul style="list-style-type: none"> (a) not be located on the frontage; and (b) be located to minimise disruptions to the commercial use on the ground floor. 	P2 No Performance Criteria.
A3.1 At least one secure on-site bicycle parking space, or equivalent space for other personal mobility devices, must be provided for each apartment.	P3.1 On-site bicycle parking spaces, or equivalent spaces for other personal mobility devices, must be provided to meet the reasonable needs of residents, having regard to: <ul style="list-style-type: none"> (a) the number of apartments and likely demand for parking for bicycles or other personal mobility devices; and (b) the number of on-site car parking spaces provided for each apartment.
A3.2 Bicycle parking spaces, or equivalent spaces for other personal mobility devices, for apartments must: <ul style="list-style-type: none"> (a) be accessible from a road, cycle path, bicycle lane, shared path or access way; (b) be located in a common area of the apartment building or its car parking area; and (c) if located within a car parking area, must be clearly marked. 	P3.2 Bicycle parking spaces, or equivalent spaces for other personal mobility devices, for apartments must be provided in a safe, secure and convenient location, having regard to: <ul style="list-style-type: none"> access to the site; the characteristics of the site, including other uses on the site; the location and visibility of proposed parking for bicycles or other personal mobility devices; and the location of other parking areas on the site.
A3.3 Bicycle parking spaces, or equivalent spaces for other personal mobility devices, for apartments must:	P3.3 Bicycle parking spaces, or equivalent spaces for other personal mobility devices, for apartments and the associated access must be convenient, safe, secure and efficient to use, having regard to:

<p>(a) have dimensions not less than:</p> <p>(i) 1.7m in length;</p> <p>(ii) 1.2m in height; and</p> <p>(iii) 0.7m in width at the handlebars;</p> <p>(b) have unobstructed access with a width of not less than 2 m and a gradient not steeper than 5% from a road, cycle path, bicycle lane, shared path or access way; and</p> <p>(c) include a rail or hoop to lock a bicycle, or equivalent spaces for other personal mobility devices, that satisfies <i>Australian Standard AS 2890.3-2015 Parking facilities -- Part 3: Bicycle parking</i>.</p>	<p>(a) the characteristics of the site;</p> <p>(b) the space available;</p> <p>(c) the safety of cyclists; and</p> <p>(d) the provisions of <i>Australian Standard AS 2890.3-2015 Parking facilities -- Part 3: Bicycle parking</i>.</p>
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GLE- S15.8 Development Standards for Subdivision

This clause is not used in this specific area plan.

GLE-S15.9 Tables

Table GLE-S15.9.1 Shared open space for apartments

Number of apartments	Minimum area of shared open space
1-5	Nil
5-9	24 m ²
10-19	120 m ² plus 4 m ² per apartment, after the first 10 apartments
20 or more	160 m ² plus 6 m ² per apartment, after the first 20 apartments
Note: Shared open space may include areas in the rooftop, podium, courtyard or any other open communal areas on the site that do not disrupt ground floor commercial use.	

Annexure 4 – Document proposed to be added to GLE-Applies, Adopted or Incorporated Documents – PLAM-22/10



Livable Housing Design Guidelines



Fourth Edition

Livable Housing Design Guidelines



About Livable Housing Australia

Livable Housing Australia (LHA) is a partnership between community and consumer groups, government and industry.

LHA champions the mainstream adoption of livable housing design principles in all new homes built in Australia.

LHA arose from the Kirribilli Dialogue on Universal Housing Design, which established nationally agreed guidelines on designing and building livable homes.

LHA is responsible for the ongoing development, dissemination and revision of Australia's Livable Housing Design Guidelines.



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Livable Housing Australia, 4th Edition, (2017), Livable Housing Design Guidelines.

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Foreword

The design of the Australian family home is set for a makeover.

Our homes have transformed significantly over the years. Today's houses are greener, more efficient and safer.

The next step is to design them to be more versatile, to better meet the changing needs of occupants over their lifetimes.

Livable Housing Australia, which represents a unique partnership between community, business groups and government, is helping make homes easier to access, navigate and live in, as well more cost-effective to adapt when life's circumstances change.

LHA has produced practical, common sense guidelines to livability. The design features embraced by the guidelines are inexpensive to incorporate into home design, and will deliver huge dividends to future generations of Australians.

Our Silver, Gold and Platinum ratings represent a trusted quality mark – a seal of approval that attests to enhanced livability.

LHA's goal is simple: we champion the adoption by 2020 of a Silver rating for all new homes.

It's makes smart sense to commit to livability features when a home is first designed and built rather than wait for an unplanned need to arise. In fact, international research shows that it's 22 times more efficient to design for adaptability up front.

Livability works for pregnant mums, young families with kids and people with sporting or traumatic injuries, as well as seniors, Australians with disability and their families.

Livability is an investment that makes both economic and social sense. It also offers peace of mind.

On behalf of Livable Housing Australia, I encourage you to help transform the Australian dream home by adopting and implementing these Livable Housing Design Guidelines.



Sophie Pickett-Heaps
Chair
Livable Housing Australia

Livable Housing Design Guidelines



Livable Housing Australia:



Championing safer, more comfortable and easier to access homes for everybody, everyday, at all stages of life.

Introduction

What is Livable Housing Design?

A livable home is designed and built to meet the changing needs of occupants across their lifetime.

Livable homes include key easy living features that make them easier and safer to use for all occupants including: people with disability, ageing Australians, people with temporary injuries, and families with young children.

A livable home is designed to:

- be easy to enter
- be easy to navigate in and around
- be capable of easy and cost-effective adaptation, and
- be responsive to the changing needs of home occupants.

Livable homes enhance the quality of life of all occupants at all stages of their life.

What are the benefits of a livable designed home?

All Australians benefit from homes designed with comfort, safety and ease of access as core design features. These features make the home easier for parents to manoeuvre prams, easier to carry the shopping into the house, easier for people with disability or temporary injury to get around and easier to move furniture.

These same features enable key living spaces to be more easily and cost effectively adapted to meet the changing needs and abilities of home occupants such as ageing baby boomers and people who have or acquire disability.

A livable designed home benefits:

Families with young children by making it easier to manoeuvre prams and strollers and removing trip hazards for toddlers.

People who sustain a temporary injury that limits their mobility (for example as a result of sporting or work-related injury or motor vehicle accident).

Ageing baby boomers who are looking to move or renovate their existing homes to better accommodate future needs.

People with disability and their families enabling them better choice of housing and the opportunity to visit the homes of friends and relatives.



Is there a market?

Mainstream adoption of key livability features into new housing makes sense for several reasons:

Baby Boomers

- The significant ageing baby boomer demographic represents a growing market for age-friendly, livable designed housing.



- The number of Australians with disability will inevitably rise as the population grows and ages.

1 in 5

- One in five (close to 4 million) Australians currently have a disability of some type - about 320,000 are children.

60%

- Research indicates a 60 percent chance that a house will be occupied by a person with a disability at some point over its life¹. This person is likely to be someone you know – a parent, child, sibling or friend.

62%

- The family home accounts for 62 percent of all falls and slip-based injuries and costs the Australian population \$1.8 billion in public health costs².

22 x

- The cost to the homeowner of including key livable housing design features (in this case the silver level) is 22 times more efficient than retrofitting when an unplanned need arises³.

A national survey has shown that the majority of recent home buyers, builders and renovators, and people aged 60 plus believe that livable housing design features make a home safer and more functional for all⁴.

¹ Smith, S., Rayer, S., & Smith, E. (2008) Ageing & disability: Implications for the housing industry and housing policy in the United States. Journal of the American Planning Association, 74:3, 289 – 306.

² Monash University Accident Research Centre. (2008) The relationship between slips, trips and falls and the design and construction of buildings. (Funded by the Australian Building Codes Board).

³ New Zealand Ministry of Social Development. (2009) Economic effects of utilising Lifemark at a National level.

⁴ Australian Housing and Urban Research Institute. (2010) Dwelling, Land and Neighbourhood Use by Older Home Owners, p.282.

Intended audience for the Livable Housing Design Guidelines

The Livable Housing Design (LHD) Guidelines assist the residential building, property industry and governments better understand how to incorporate easy living features into new housing design and construction.



How to read this document

The LHD Guidelines provide useful information for consumers seeking to introduce livable design features into a new home and could be readily applied within an existing home during renovation or refurbishment.

The Guidelines describe 15 livable design elements. Each element provides guidance on what performance is expected to achieve either silver, gold or platinum level accreditation. Elements 1–7 cover the core elements of the basic silver level accreditation.

Structure of the LHD Guidelines

Three levels of performance are detailed in the LHD Guidelines. These voluntary performance levels can be applied to all new dwellings.

It is noted that common areas for Class 1b, 2, and 3 buildings are covered by the Disability (Access to Premises - Buildings) Standards 2010 and the National Construction Code (NCC), Building Code of Australia (BCA) Volumes 1 and 2 which take precedence over the LHD Guidelines.

Note: LHA Design Guidelines apply to at least one toilet, bathroom. Where there is more than one bathroom or toilet in a dwelling, the LHA Guidelines should apply to the ground floor (entry) facilities. In the case LHA gold or platinum requirements for kitchens, laundry and bedroom then the design guidelines apply to at least one of these areas of a dwelling.

These guidelines have been developed as a set of voluntary inclusions that can be incorporated into a new or existing home or apartment. On this basis, the Guidelines use the term "should" rather than "shall" to acknowledge that none of the requirements are mandatory, unless the Guidelines are referenced by a state, territory or local government authority or regulation in which case the relevant requirements specified by an Authority shall then be mandatory. If the Guidelines are being relied upon for a regulatory purpose, for example a development application, then advice should be sought from the relevant regulatory authority as to which of the requirements are mandatory. If the Guidelines are to be used as a benchmark for Silver, Gold or Platinum level Certification, then all of the requirements detailed in the Guidelines must be met."

Performance levels

The levels of performance range from basic requirements through to best practice in livable home design. The levels are as follows:



Silver Level

Seven core livable housing design elements

Focuses on the key structural and spatial elements that are critical to ensure future flexibility and adaptability of the home. Incorporating these features will avoid more costly home modification if required at a later date.



Gold Level

Enhanced requirements for most of the core livable housing design elements plus additional elements.

The gold level provides for more generous dimensions for most of the core livable housing design elements and introduces additional elements in areas such as the kitchen and bedroom.



Platinum Level

Some further enhanced requirements for the core livable housing design elements plus all remaining elements.

All 15 elements are featured in the platinum level. This level describes design elements that would better accommodate ageing in place and people with higher mobility needs. This level requires more generous dimensions for most of the core livable design elements and introduces additional elements for features such as the living room and flooring.

Introducing the seven core design elements:

LHA is committed to championing the adoption of the silver level design elements into all new dwellings.

LHA acknowledges that the core design elements do not necessarily accommodate the needs and abilities of all home occupants. However, they are considered to be of most widespread benefit and use in the majority of circumstances.

Importantly, by including the core livable housing design elements, home occupants are provided with the opportunity to reduce or avoid costs associated with retrofitting a home to improve access in future, should it be required.

The seven core design features elements in the silver level they are:

- 1 A safe continuous and step free path of travel from the street entrance and / or parking area to a dwelling entrance that is level.
- 2 At least one, level (step-free) entrance into the dwelling.
- 3 Internal doors and corridors that facilitate comfortable and unimpeded movement between spaces.
- 4 A toilet on the ground (or entry) level that provides easy access.
- 5 A bathroom that contains a hobless shower recess.
- 6 Reinforced walls around the toilet, shower and bath to support the safe installation of grabrails at a later date.
- 7 Stairways are designed to reduce the likelihood of injury and also enable future adaptation.

The relationship between the Livable Housing Design Guidelines and the National Construction Code (NCC), Building Code of Australia (BCA) Volume 1 and 2

The National Construction Code (NCC) sets out the legal construction requirements for all new building work in Australia. It includes performance requirements that must be achieved for each aspect of building construction.

In designing a home that incorporates the design elements of the LHD Guidelines it is important to ensure that all building work also complies with the relevant NCC, inclusive of BCA Volume 1 and 2, requirements where they apply, particularly for:

- fire safety
- water proofing of wet areas (internal)
- weather proofing (external)
- termite protection
- window location and size
- floor surfaces in wet areas and on stairs.
- stairways



Application

The elements described in the LHD Guidelines are applicable to the following classes of buildings as specified in the NCC.

Class 1 – one or more buildings, which in association constitute:

Class 1a – a single dwelling being:

- i. a detached house; or
- ii. one of a group of two or more attached dwellings, each being a building, separated by a fire-resisting wall, including a row house, terrace house, town house or villa unit; or

Class 1b:

- i. a boarding house, guest house, hostel or the like; with a total area of all floors not exceeding 300 m² measured over the enclosing walls of the Class 1b building; and in which not more than 12 persons would ordinarily be resident, which is not located above or below another dwelling or another Class of building other than a private garage;
- ii. 4 or more single dwellings located on one allotment and used for short-term holiday accommodation.

Class 2 – a building containing 2 or more sole-occupancy units, each being a separate dwelling.

Class 3 - a residential building, other than a building of Class 1 or 2, which is a common place of long term or transient living for a number of unrelated persons, including -

- a. a boarding house, guest house, hostel, lodging house or backpackers accommodation; or
- b. a residential part of a hotel or motel; or
- c. a residential part of a school; or
- d. accommodation for the aged, children or people with disabilities; or
- e. a residential part of a health-care building which accommodates members of staff; or
- f. a residential part of a detention centre.

Class 4 – a dwelling in a building that is a Class 5, 6, 7, 8 or 9 if it is the only dwelling in the building.

Note: The design elements described in these Guidelines should only be applied to the parts of the building classes not covered by the Disability Standards and NCC (BCA Vol 1 and 2).





The background of the page features an abstract geometric design. It consists of several overlapping shapes in two shades of brown: a dark chocolate brown and a lighter, golden-brown or tan color. These shapes include a large triangle, a curved segment, and other angular forms that create a dynamic, layered effect. The title text is positioned within the dark brown area on the right side of the page.

The 15 Livable Housing Design Elements

1 Dwelling access

Performance Statement

There is a safe, continuous, step-free pathway from the street entrance and/or parking area to a dwelling entrance that is level.



Silver Level

- a. Provide a safe, continuous step-free pathway from the front boundary of the property to an entry door to the dwelling.
This provision does not apply where the average slope of the ground where the path would feature is steeper than 1:14.
- b. The path of travel referred to in (a) should have a minimum clear width of 1000mm and have:
 - i. no steps;
 - ii. an even, firm, slip resistant surface;
 - iii. a crossfall of not more than 1:40;
 - iv. a maximum pathway slope of 1:14Where ramps are required they should have landings provided at no greater than 9m for a 1:14 ramp and no greater than 15m for ramps steeper than 1:20. Landings should be no less than 1200mm in length.
- c. The path of travel referred to in (a) may be provided via an associated car parking space for the dwelling. Where a car parking space is relied upon as the safe and continuous pathway to the dwelling entrance, the space should incorporate:
 - i. minimum dimensions of at least 3200mm (width) x 5400mm (length);
 - ii. an even, firm and slip resistant surface; and
 - iii. a level surface (1:40 maximum gradient, 1:33 maximum gradient for bitumen).



- d. A step ramp may be incorporated at an entrance doorway where there is a change in height of 190mm or less. The step ramp should provide:
 - i. a maximum gradient of 1:10
 - ii. a minimum clear width of 1000mm (please note: width should reflect the pathway width)
 - iii. a maximum length of 1900mm
- e. Where a ramp is part of the pathway, level landings no less than 1200mm in length, exclusive of the swing of the door or gate than opens onto them, must be provided at the head and foot of the ramp.

Note: The width of the landing will be determined by the adjoining pathway. If the landing directly adjoins the doorway please refer to Element 2 for dimensional requirements.

Gold Level

As for silver level except:

- i. replace in (b) the minimum clear pathway width of 1000mm with 1100mm, and
- ii. insert in (c) the following additional features:
 - a. a vertical clearance over the parking space of at least 2500mm; and
 - b. a covered parking space to ensure protection from the weather.

Platinum Level

As for gold level except.

- i. replace in (b) the minimum clear pathway width of 1100mm with 1200mm, and
- ii. replace in (c) the minimum dimensions of at least 3800mm (width) x 6000mm (length)

1 Dwelling access

Performance Statement

There is a safe, continuous, step-free pathway from the street entrance and/or parking area to a dwelling entrance that is level.



1. Continuous step-free path of travel to a side entrance
2. Easy access from the front pathway and driveway
3. Continuous step-free pathway with varied surface finishes
4. Achieving access on a sloping block

Direct entry from a parking space to a level entry (not necessarily the front entrance) is essential. A level path from the street further improves access.



Performance Statement

There is a safe, continuous, step-free pathway from the street entrance and/or parking area to a dwelling entrance that is level.

Enable Housing Design Guidelines

A generous car space makes it easier to move around a vehicle when the doors are fully open.

**Performance Statement**

Where the parking space is part of the dwelling access it should allow a person to open their car doors fully and easily move around the vehicle.

2 Dwelling entrance

Performance Statement

There is at least one level (step-free) entrance into the dwelling to enable home occupants to easily enter and exit the dwelling.



Silver Level

- a. The dwelling should provide an entrance door with -
 - i. a minimum clear opening width of 820mm (see Figure 2(a));
 - ii. a level (step-free) transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled); and
 - iii. reasonable shelter from the weather.
- b. A level landing area of at least 1200mm x 1200mm should be provided at the level (step free) entrance door. A level landing area at the entrance door should be provided on the arrival side of the door (i.e. the external side of the door) to allow a person to safely stand and then open the door.
- c. Where the threshold at the entrance exceeds 5mm and is less than 56mm, a ramped threshold may be provided (see Figure 1(b)).
- d. The level (step-free) entrance should be connected to the safe and continuous pathway as specified in Element 1.

Note The entrance must incorporate waterproofing and termite management requirements as specified in the NCC.

Gold Level

As for silver level except replace:

- (b) with a level landing area of at least 1350mm x 1350mm, and
- (a) (i) with minimum clear door opening width of 850mm (see Figure 2(b)).

Platinum Level

As for silver level except replace:

- (b) with a level landing area of at least 1500mm x 1500mm, and
- (a) (i) with a minimum clear door opening width of 900mm (see Figure 2(c)).

Enable Housing Design Guidelines

A level entrance makes entering and exiting the home safer and easier.



Photo courtesy of Lendlease

**Performance Statement**

There is at least one level (step-free) entrance into the dwelling to enable home occupants to easily enter and exit the dwelling.

2 Dwelling entrance

Performance Statement

There is at least one level (step-free) entrance into the dwelling to enable home occupants to easily enter and exit the dwelling.

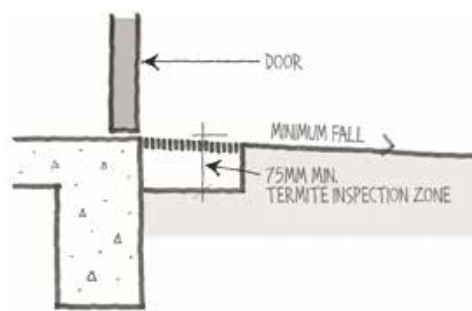


Figure 1(a) Threshold treatment: incorporates grated drain along threshold to achieve minimum termite inspection zone and weather protection.

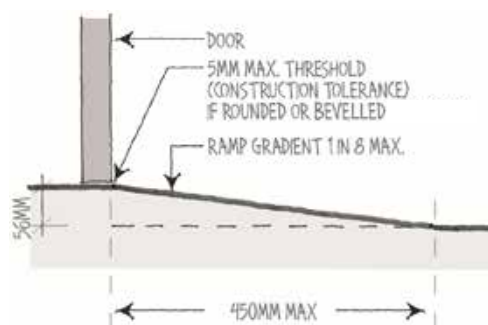


Figure 1(b) Weather protection: 1 in 8 max. ramp at threshold

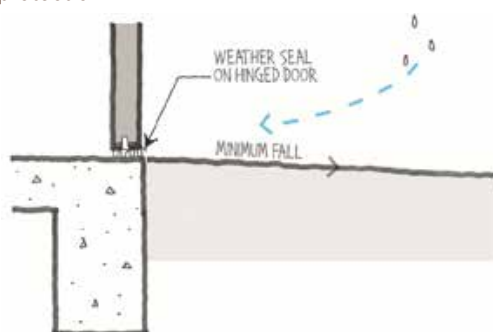


Figure 1(c) Weather protection: weather seal on hinged door.

Design considerations at level entries

1. Termite prevention:

The limiting of thresholds at doorways (to say 50mm) prevents achieving adequate inspection zones (min 75mm) and termite barriers across these thresholds. This commonly demands that porch slabs be integrated with the general floor slab of the house so that termite barriers and inspection zones can be continued around the perimeter of the porch.

This inspection zone might be achieved by other methods such as within the depth of a grated drain along the threshold.

2. Weather protection and thresholds:

Weather protection is traditionally aided by stepped thresholds. Level access requires consideration of alternative solutions to maintain adequate protection from the wet weather. Standard threshold ramps, as detailed in 1(b) above, allow weatherproofing thresholds of up to approx. 50mm. This can be combined with gently sloping porches to limit the possibility of water entering the dwelling.

Appropriately sized grated drains and generous cover at entries should also be provided to limit the quantity of water in the area adjoining the door.

Exotic Housing Design Guidelines

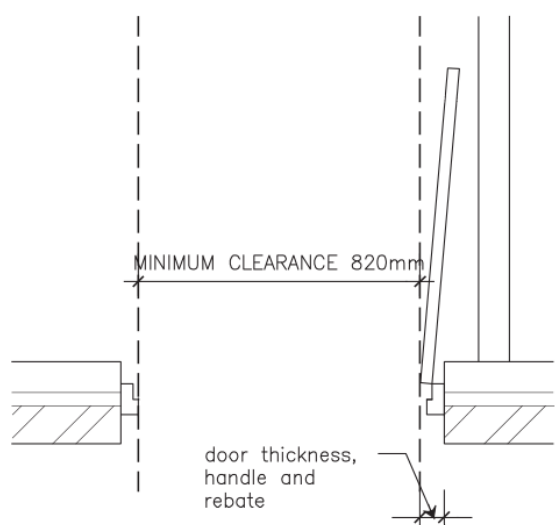


Figure 2(a) Silver level clear door opening

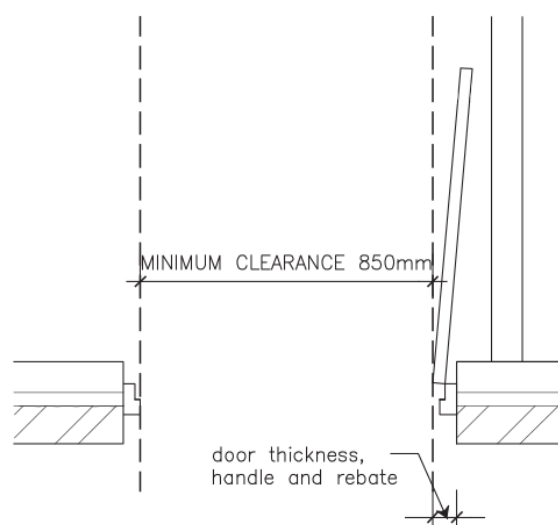


Figure 2(b) Gold level clear door opening

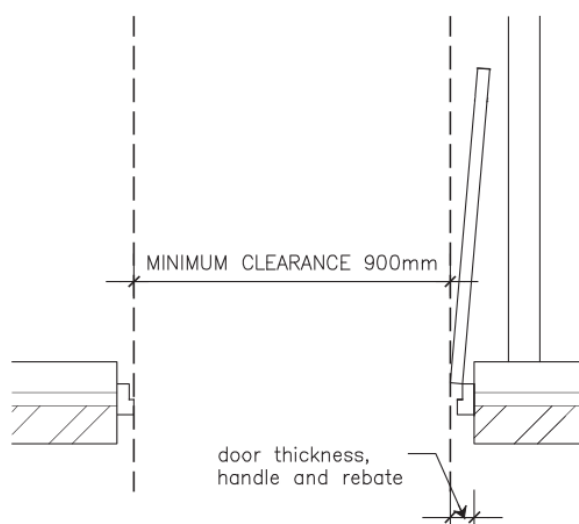


Figure 2(c) Platinum level clear door opening

3 Internal doors & corridors

Performance Statement

Internal doors and corridors facilitate comfortable and unimpeded movement between spaces.



Silver Level

- a. Doorways to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartment purposes should provide:
 - i. a minimum clear opening width of 820mm (see Figure 2(a)); and
 - ii. a level transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled).
- b. Internal corridors/passageways to the doorways referred to in (a) should provide a minimum clear width of 1000mm.

* Corridor widths should be measured as described in Clause 6.3 of AS 1428.1 – 2009

Gold Level

As for the silver level except replace:

- (a)/(i) with a minimum clear opening width of 850mm (see Figure 2(b)), and
- (b) with a minimum corridor/passageway width of 1200mm.

Platinum Level

As for the silver level except replace:

- (a)/(i) with a minimum clear opening width of 900mm (see Figure 2(c)), and
- (b) with a minimum corridor/passageway width of 1200mm.

Slightly wider doors and corridors make it easier to manoeuvre strollers and prams, move furniture and carry in groceries. It's also easier for people with mobility issues.



Performance Statement
Internal doors and corridors facilitate comfortable and unimpeded movement between spaces.

4 Toilet

Performance Statement

The ground (or entry) level has a toilet to support easy access for home occupants and visitors.



Silver Level

- a. Dwellings should have a toilet on the ground (or entry) level that provides:
 - i. a minimum clear width of 900mm between the walls of the bathroom if located in a separate room; and
 - ii. a minimum 1200mm clear circulation space forward of the toilet pan exclusive of the swing of the door in accordance with Figure 3(a).
 - iii. The toilet pan should be located in the corner of the room (if the toilet is located in a combined toilet / bathroom) to enable installation of grabrails at a future date. Reinforcement guidelines for walls in bathrooms and toilets are found in element 6.

Gold Level

As for silver level except replace (a)/(i) with a minimum clear width of 1200mm between the walls of the bathroom if located in a separate room, or between amenities if located in a combined bathroom.

Platinum Level

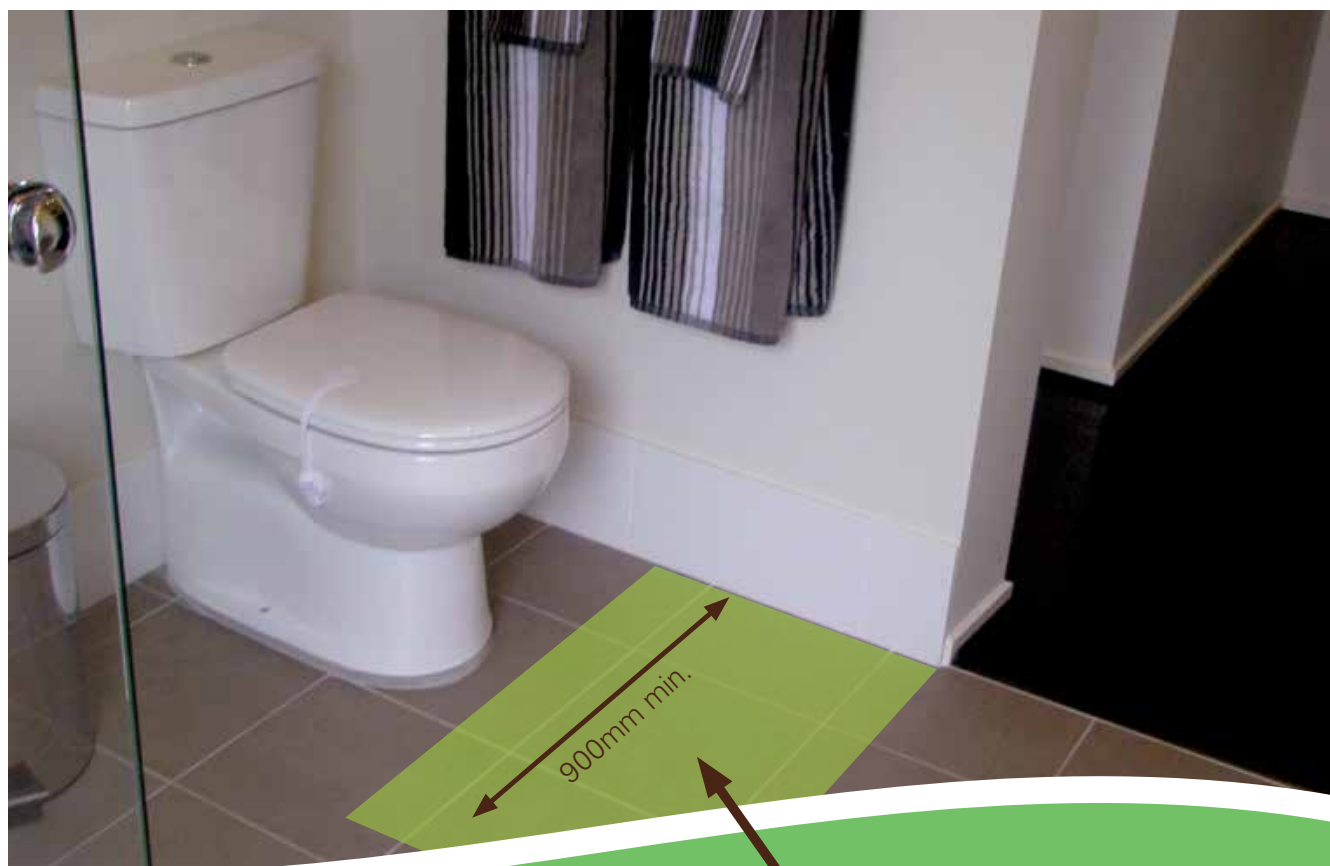
As for the gold level with the following features added to (a) as detailed in Figure 4:

- iv. a toilet seat positioned between 450mm – 460mm from the nearest wall as measured from the centre line of the toilet;
- v. 600mm minimum clearance forward of the cistern measured from the front of the cistern to the front of the toilet seat. 800mm (+/-10mm) clearance is required if the cistern is recessed; and
- vi. a height for the seat of between 460mm-480mm above the finished floor level.

Note: Compliance with the platinum level does not equate to compliance with AS 1428.1 2009 for accessible sanitary facilities.

Clear space in front of the toilet is key as it ensures easier access for children, older people and people with mobility difficulties.

The IFO6861 toilet suite by Enware with the cistern design that forms an integrated backrest meets the intent of the Platinum Level requirements for toilets outlined in the Livable Housing Design Guidelines despite the clearance from the front of the pan to the front of the cistern being less than 600mm as long as the front of the pan is set out to be at least 800mm from the back wall."



Performance Statement

The ground (or entry) level has a toilet to support easy access for home occupants and visitors.

4 Toilet

Performance Statement

The ground (or entry) level has a toilet to support easy access for home occupants and visitors.

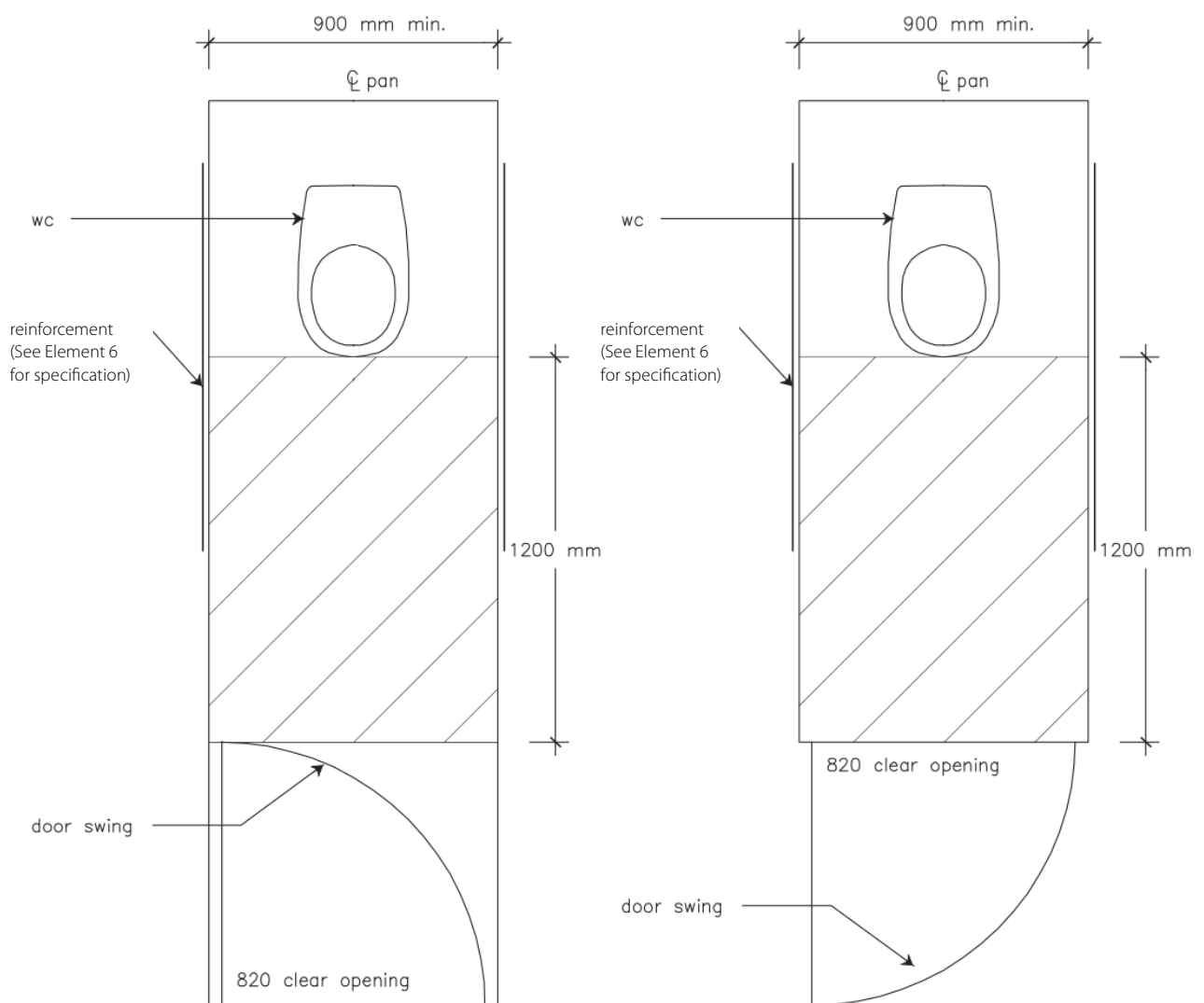


Figure 3(a) Silver level ground (or entry) level toilet layout and space requirements in a separate room.

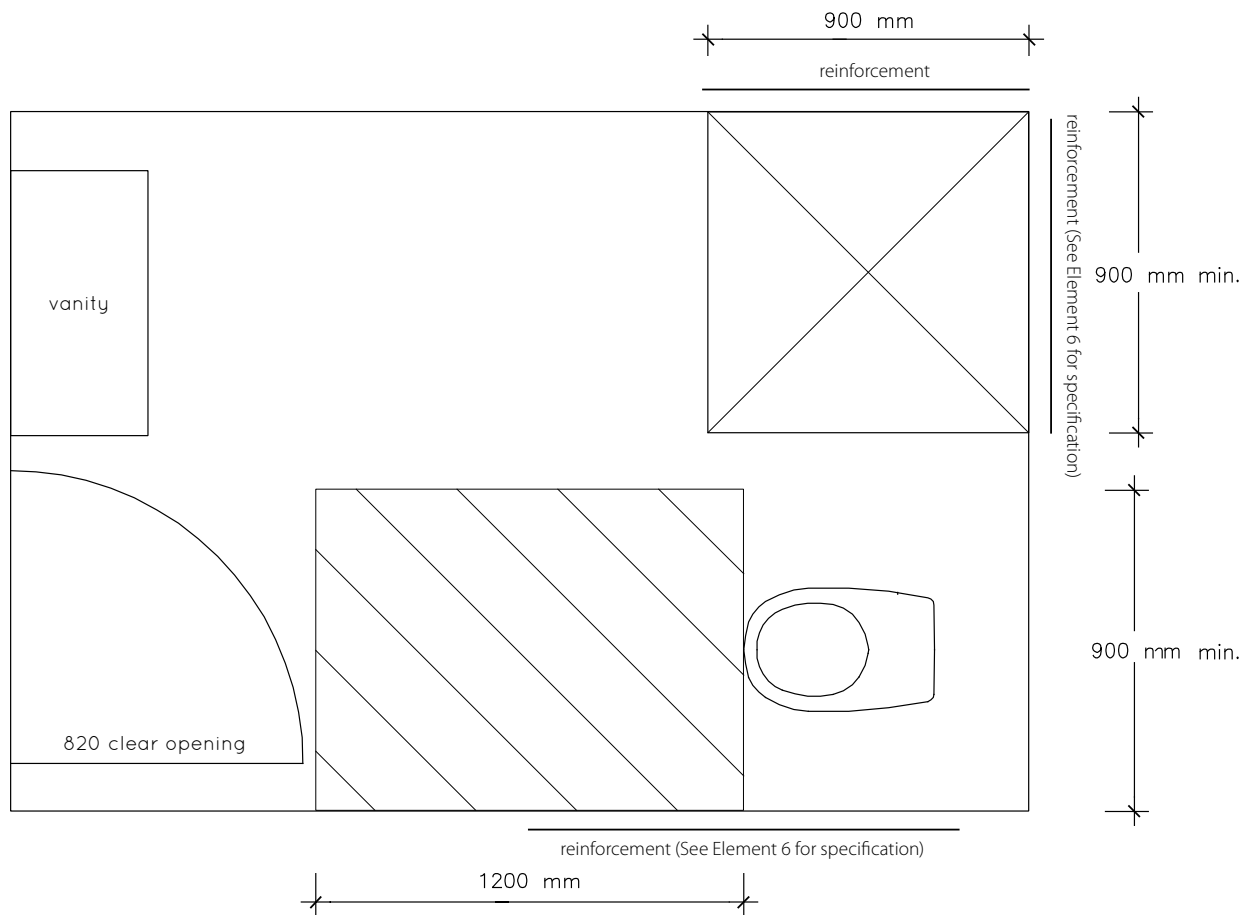


Figure 3(b) Silver level ground (or entry) level toilet layout and space requirements in a combined bathroom.

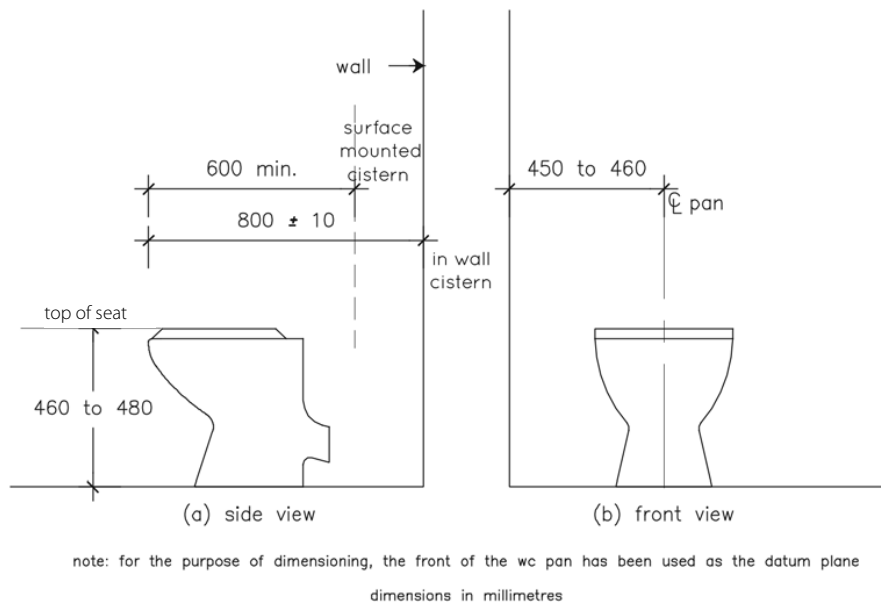


Figure 4 Platinum level toilet seat clearances

5 Shower

Performance Statement

The bathroom and shower is designed for easy and independent access for all home occupants.



Silver Level

- a. One bathroom should feature a slip resistant, hobless shower recess. Shower screens are permitted provided they can be easily removed at a later date.
- b. The shower recess should be located in the corner of the room to enable the installation of grabrails at a future date.

For hobless specification please see Australian Standard AS3740-3.6. Reinforcement guidelines for walls in bathrooms and toilets are found in element 6.

Gold Level

As for silver level except:

- c. The hobless shower recess described in (a) should:
 - i. be located in a bathroom on the ground (or entry) level;
 - ii. provide minimum dimensions of 900mm (width) x 900mm (length); and
 - iii. provide a clear space of at least 1200mm (width) x 1200mm (length) forward of the shower recess entry as detailed in Figure 5(a).

Platinum Level

As for gold level except:

- i. replace (c)/(ii) with dimensions of at least 1160mm (width) x 1100mm (length). A level transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled); and
- ii. replace (c)/(iii) with dimensions of at least 1600mm (width) x 1400mm (length) forward of the shower recess as detailed in Figure 5(b).

Enabling Housing Design Guidelines

Hobless, shower recesses reduce the risk of slips and falls and make access easier and safer for home occupants.



Performance Statement
The bathroom and shower is designed for easy and independent access for all home occupants.

Floors in shower recesses need to be graded properly so that screens can be removed if required and water will still drain effectively.

5 Shower

Performance Statement

The bathroom and shower is designed for easy and independent access for all home occupants.

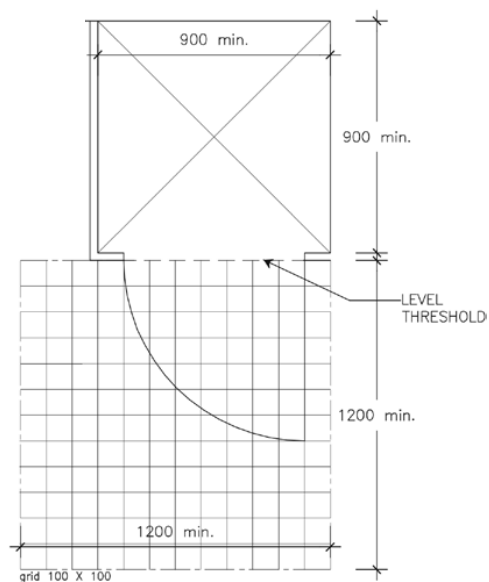


Figure 5(a) Gold level circulation space requirements for shower recess

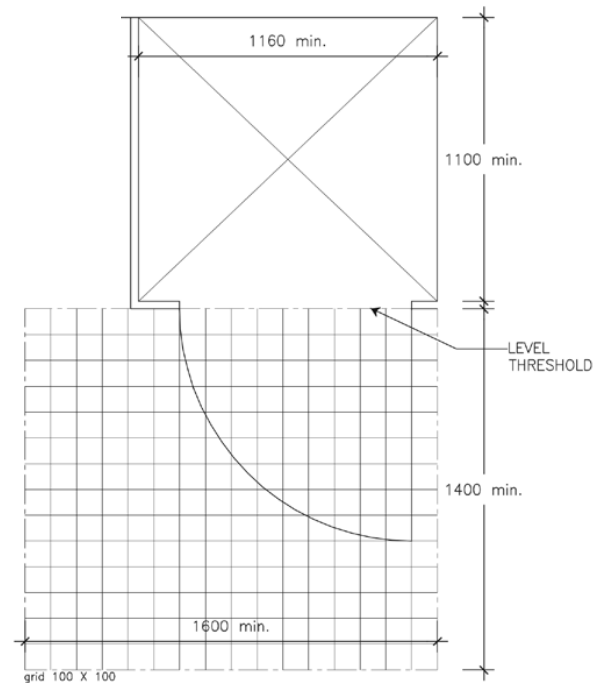


Figure 5(b) Platinum level circulation space requirements for shower recess

6 Reinforcement of bathroom & toilet walls

Performance Statement

The bathroom and toilet walls are built to enable grabrails to be safely and economically installed.



Silver Level

- a. Except for walls constructed of solid masonry or concrete, the walls around the shower, bath (if provided) and toilet should be reinforced to provide a fixing surface for the safe installation of grabrails.
- b. The walls around the toilet are to be reinforced by installing:
 - i. noggings with a thickness of at least 25mm in accordance with Figure 6(a); or
 - ii. sheeting with a thickness of at least 12mm in accordance with Figure 6(b).
- c. The walls around the bath are to be reinforced by installing:
 - i. noggings with a thickness of at least 25mm in accordance with Figure 7(a); or
 - ii. sheeting with a thickness of at least 12mm in accordance with Figure 7(b).
- d. The walls around the hobless shower recess are to be reinforced by installing:
 - i. noggings with a thickness of at least 25mm in accordance with Figure 8(a); or
 - ii. sheeting with a thickness of at least 12mm in accordance with Figure 8(b).

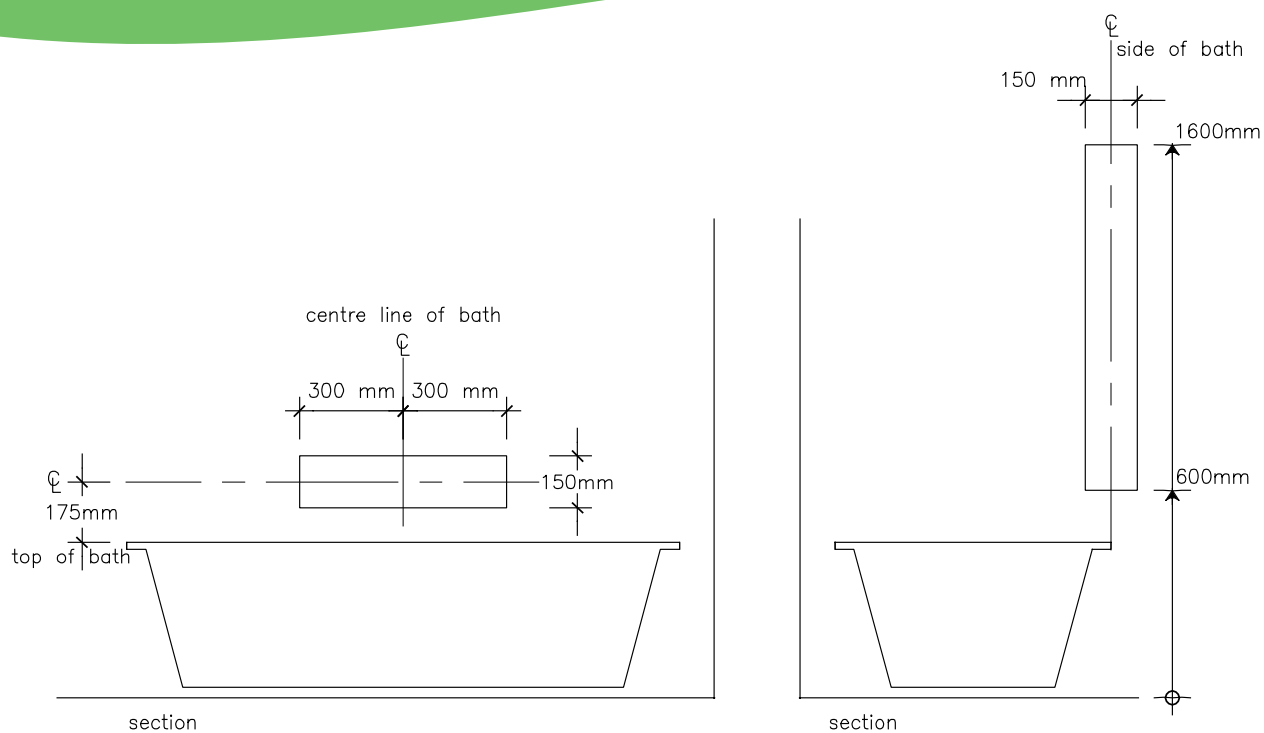


Figure 7(a) Bath – Location of reinforcement

Gold Level

Silver level requirements apply.

Platinum Level

Silver level requirements apply.

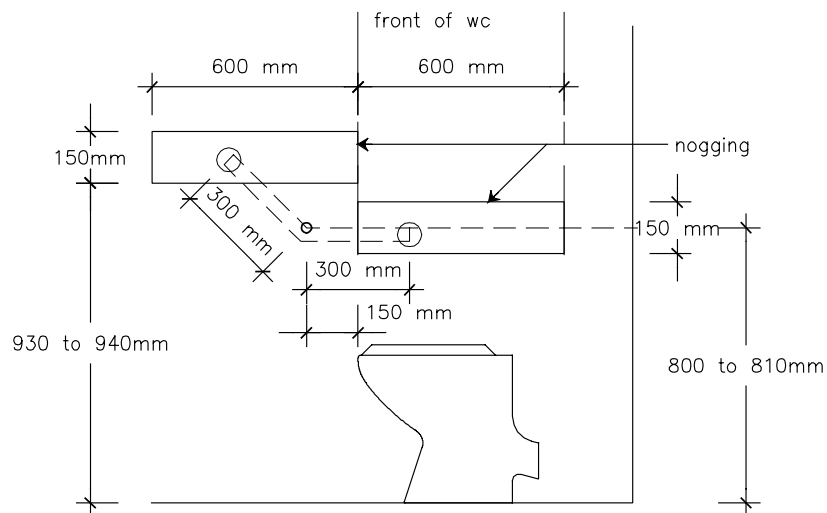


Figure 6(a) Toilet – Location of reinforcement

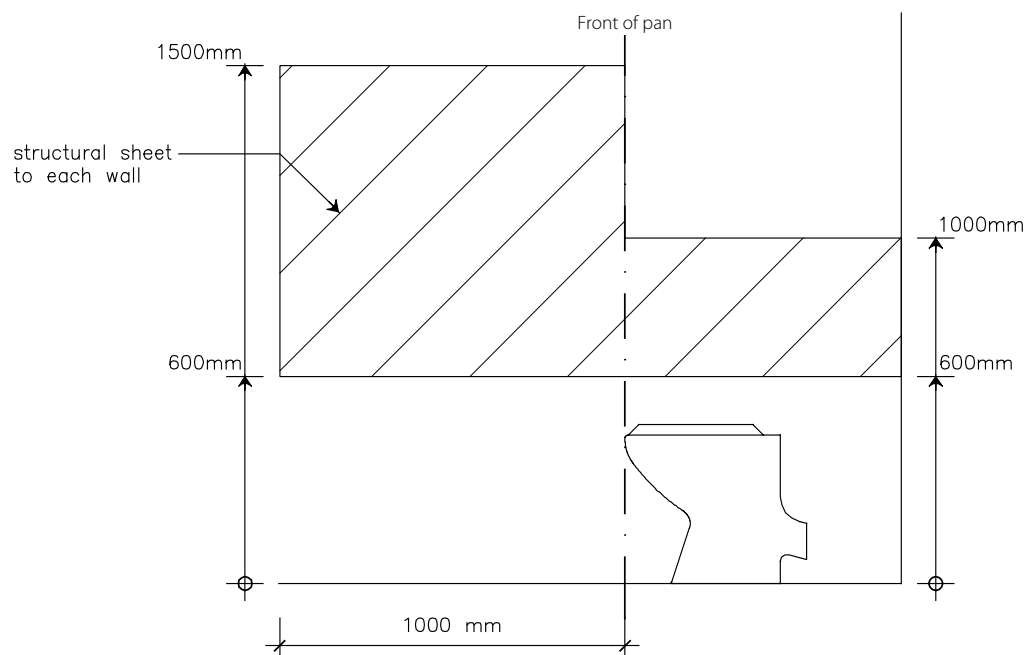


Figure 6(b) Toilet – Location of sheeting

Performance Statement

The bathroom and toilet walls are built to enable grabrails to be safely and economically installed.

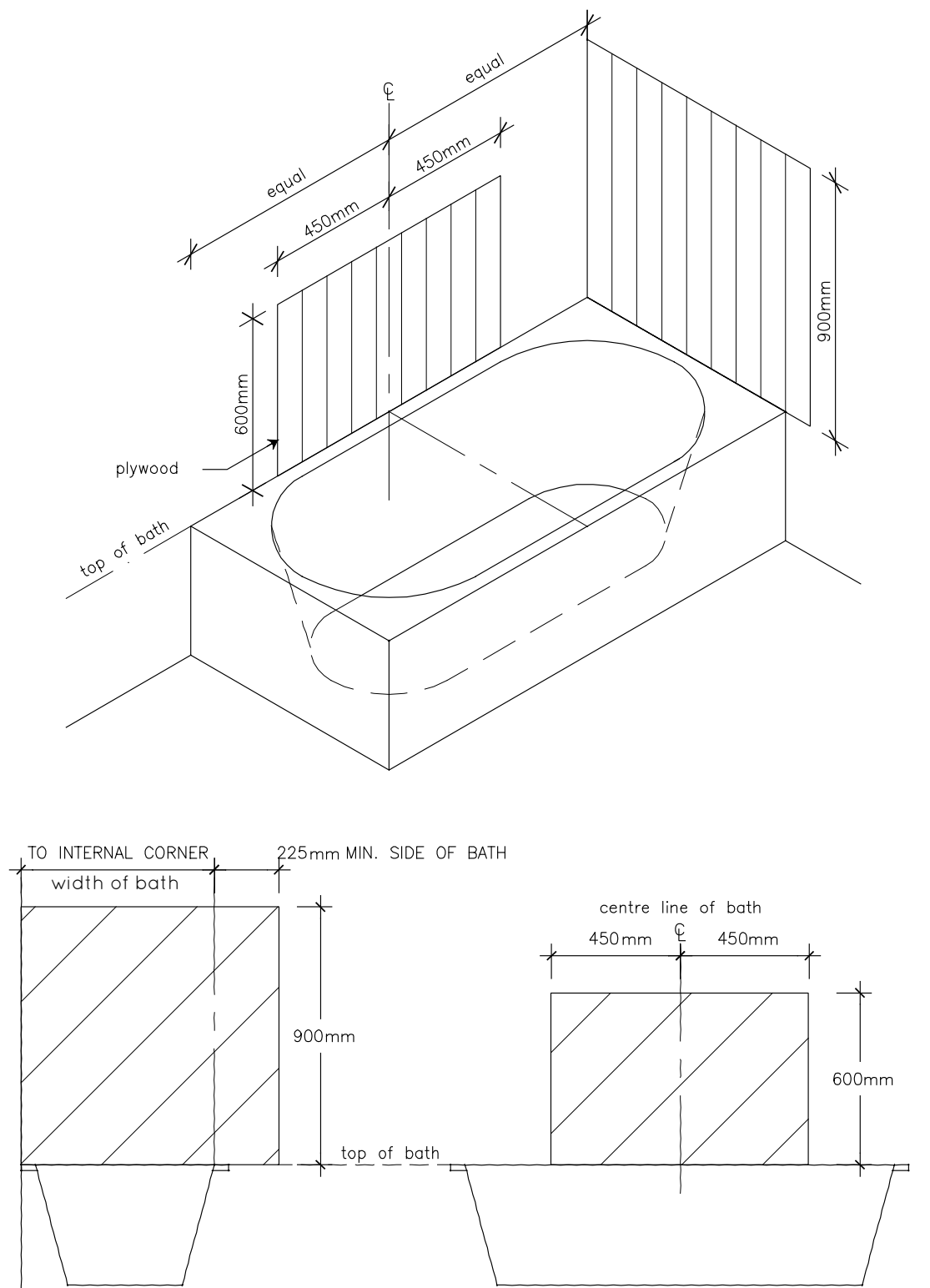


Figure 7(b) Bath – Location of sheeting

6 Reinforcement of bathroom & toilet walls

Performance Statement

The bathroom and toilet walls are built to enable grabrails to be safely and economically installed.

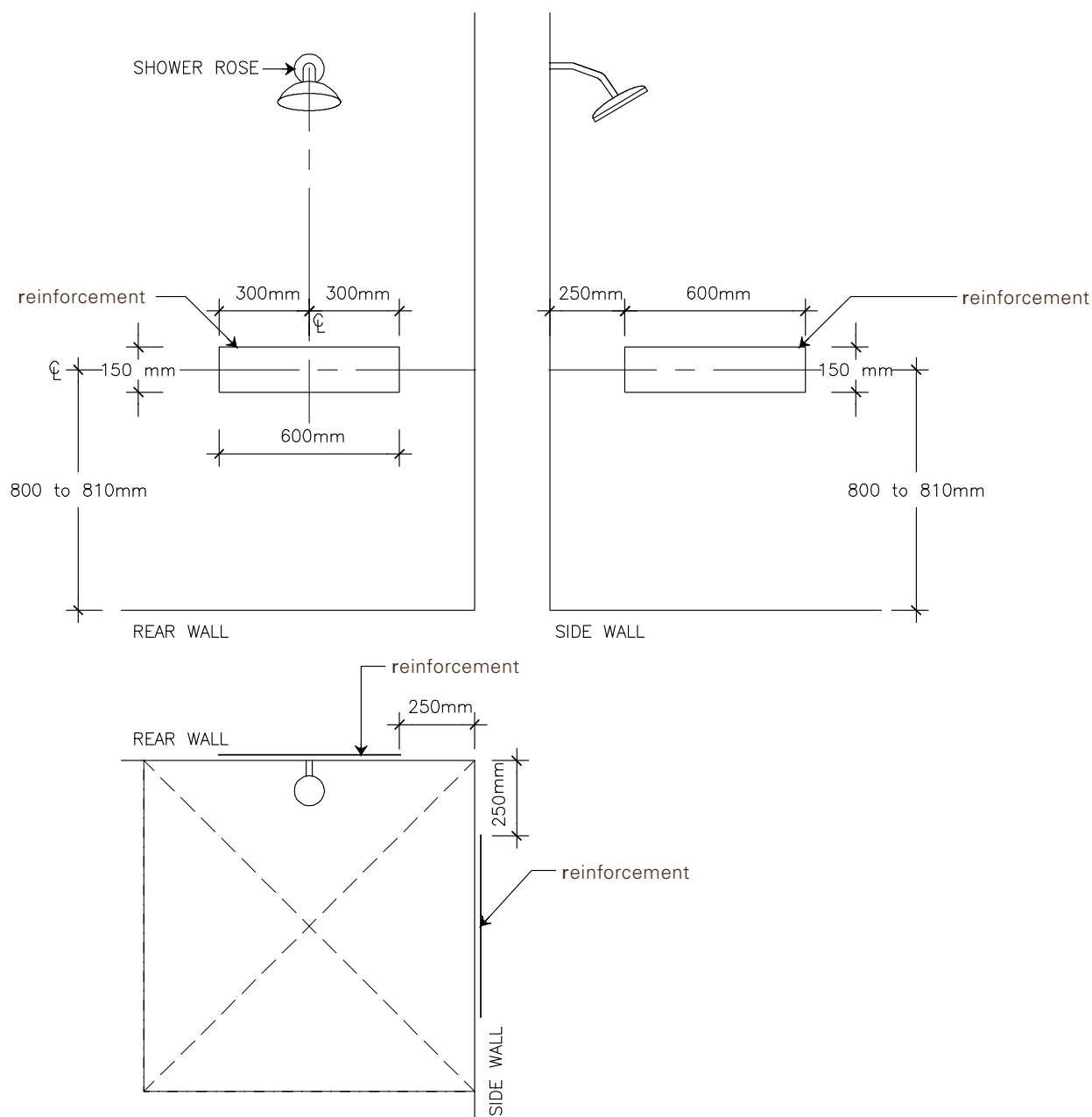


Figure 8(a) Shower recess – Location of reinforcement

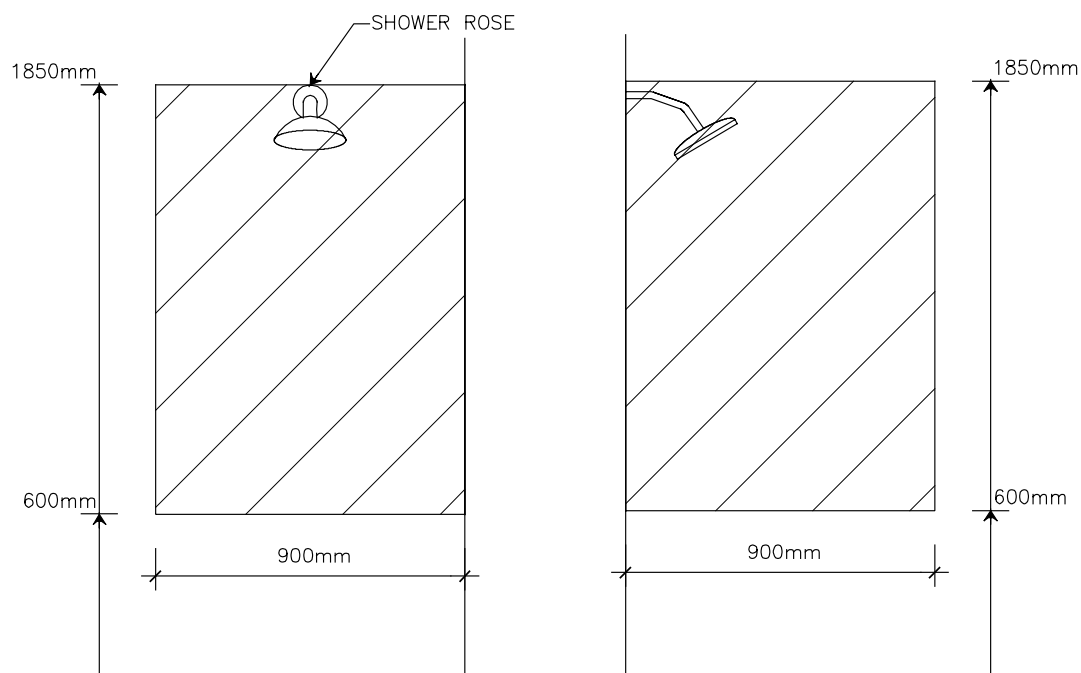


Figure 8(b) Shower recess – Location of sheeting



Construction image illustrating reinforcement of walls using sheeting

7 Internal stairways

Performance Statement

Where installed, stairways are designed to reduce the likelihood of injury and also enable safety pathway.



Silver Level

- a. Stairways in dwellings must feature:
- i. a continuous handrail on one side of the stairway where there is a rise of more than 1m.

Note This is a requirement for all new homes under the NCC. Homes built prior to 2014 may benefit from this element.

Gold Level

As for the silver level with the following additional features:

- ii. a minimum clear width of 1000mm;
- iii. be straight in design; and
- iv. be positioned adjoining a load bearing wall.

Note The steps must provide a slip resistant finish and suitable non-slip tread as specified in the NCC. Handrails on both sides of the stairway are preferred.

Platinum Level

As for the gold level with the following additional features:

- v. closed risers;
- vi. continuous handrails on both sides of the stairway; and
- vii. minimum landing areas of 1200mm x 1200mm at the top and base of the stairway.

Note The steps must provide a slip resistant finish and suitable non-slip tread as specified in the NCC.

Straight stairs against a load bearing wall are safer to use and easier to modify if needs change.



Performance Statement

Where installed, stairways are designed to reduce the likelihood of injury and also enable future adaptation

8 Kitchen space

Performance Statement

The kitchen space is designed to support ease of movement between fixed benches and to support easy adaptation.



Silver Level

No requirements.

Gold Level

- a. The kitchen space should be designed to support ease of movement and adaptation with:
 - i. at least 1200mm clearance in front of fixed benches and appliances (excluding handles); and
 - ii. slip resistant flooring.⁶
- b. *Floor finishes should extend under kitchen cabinetry to enable cupboards to be removed without affecting the flooring. Where fixtures cannot be easily removed (eg. ovens which are built in) the floor finishes should not be continued.* If relying on advice from a third party, Assessors are advised to provide a note in the notes column of the Assessment.

Platinum Level

As for the gold level except that the kitchen space described in (a) should be designed to support ease of movement and adaptation with:

- i. at least 1550mm clearance in front of fixed benches and appliances (excluding handles);
- ii. slip resistant flooring⁶; and
- iii. task lighting installed above workspaces.

⁶ Slip Resistance is referenced in the National Construction Code and ultimately, Livable Housing Australia would like to defer to the NCC and the Australian Building Codes Board (ABCB) for rulings related to slip resistance. Standards Australia publish a number of standards as well as a handbook that address slip resistance of surfaces.

Clear space between benches makes it easier and safer to use the kitchen space and appliances.



Performance Statement

The kitchen space is designed to support ease of movement between fixed benches and to support easy adaptation.

9 Laundry space

Performance Statement

The laundry space is designed to support ease of movement between fixed benches and to support easy adaptation.



Silver Level

No requirements.

Gold Level

- a. The laundry space should be designed to support ease of movement and adaptation with:
 - i. At least 1200mmm clear width provided in front of fixed benches and appliances (excluding handles). Where the appliances are not installed then the recessed area provision for an appliance shall be a minimum of 600mm in depth; and
 - ii. Slip resistant flooring.⁶
- b. Floor finishes should extend under Laundry cabinetry to enable cupboards to be removed without affecting the flooring. Where fixtures cannot be easily removed the floor finishes should not be continued. If relying on advice from a third party, Assessors are advised to provide a note in the notes column of the Assessment

Platinum Level

The laundry space should be designed to support ease of movement and adaptation with:

- i. At least 1550mmm clear width provided in front of fixed benches and appliances (excluding handles). Where the appliances are not installed then the recessed area provision for an appliance shall be a minimum of 600mm in depth.
- ii. Slip resistant flooring⁶; and

⁶ As per the NCC

Free space in front of the laundry bench makes it easier to unload laundry appliances.



Performance Statement

The laundry space is designed to support ease of movement between fixed benches and to support easy adaptation.

10 Ground (or entry level) bedroom space

Performance Statement

There is a space on the ground (or entry) level that can be used as a bedroom.



Silver Level

No requirements.

Gold Level

- a. The dwelling should feature a space (or room) on the ground (or entry) level that:
 - i. is of at least 10m² clearance exclusive of wardrobes; skirtings and wall lining;
 - ii. provides for a minimum path of travel of at least 1000mm on at least one side of the bed.

Platinum Level

As for the gold level, but it also:

- i. provides a space of at least 1540mm (width) x 2070mm (in the direction of travel) on the side on the bed that is closest to the door approach; and
- ii. provides for a minimum path of travel of 1000mm on the remaining side of the bed.
- iii. Where no bed the design should assume a queen size.

Bedroom space should encourage ease of movement and be free of obstructions.



Performance Statement
There is a space on the ground (or entry) level that can be used as a bedroom.

**Platinum Level
bedroom circulation
space requirements.**

Diagram courtesy of Integrated Design Group

11 Switches and powerpoints

Performance Statement

Light switches and powerpoints are located at heights that are easy to reach for all home occupants.



Silver Level

No requirements.

Gold Level

- a. Light switches should be positioned in a consistent location:
 - i. between 900mm – 1100mm above the finished floor level; and
 - ii. horizontally aligned with the door handle at the entrance to a room.
- b. Powerpoints should be installed not lower than 300mm above the finished floor level.

Platinum Level

As for gold level with the following feature:

- c. Light and powerpoint switches should be rocker action, toggle or push pad in design with a recommended width of 35mm.

Light switches should be positioned in a consistent configuration.



Photos courtesy of Landcom

Performance Statement

Light switches and powerpoints are located at heights that are easy to reach for all home occupants.

12 Door and tap hardware

Performance Statement

Home occupants are able to easily and independently open and close doors and safely use tap hardware.



Silver Level

No requirements.

Gold Level

- a. Doorways should feature door hardware installed at between 900mm – 1100mm above the finished floor.

Platinum Level

As for gold level with the following features:

- b. Doorways should feature lever or D-pull style door hardware; and
- c. Basins, sinks and tubs should feature lever or capstan style tap hardware with a central spout.

For Gold and Platinum level, the handle clearances for D-pull style door hardware should be the same as AS1428.1 2009. AS 1428.1 2009 is the most relevant set of specifications aimed at providing the greatest access to the greatest number of people and as such is an appropriate standard to reference for this Element.

Level and D-Pull handle door hardware and taps are easier to independently operate for all home occupants especially children.



Performance Statement

Home occupants are able to easily and independently open and close doors and safely use tap hardware.



13 Family/living room space

Performance Statement

The family/living room features clear space to enable the home occupant to move in and around the room with ease.



Silver Level

No requirements.

Gold Level

No requirements.

Platinum Level

- a. The family/living room should accommodate a free space, minimum 2250mm in diameter, to enable ease of movement clear of furniture.

Ensuring there is free space in a living room area encourages ease of access within the home.



Diagram courtesy of
Integrated Design Group

Performance Statement

The family/living room features clear space to enable the home occupant to move in and around the room with ease.

14 Window sills

Performance Statement

Windows sills are installed at a height that enables home occupants to view the outdoor space from either a seated or standing position.



Silver Level

No requirements.

Gold Level

No requirements.

Platinum Level

- a. Window sills on the ground (or entry) level in living areas and bedroom spaces should be positioned no higher than 1000mm above the finished floor level to enable enjoyment of the outlook.
- b. Window controls should be able to be easy to operate with one hand and located within easy reach from either a seated or standing position.

Note A concession from (a) is reasonable in kitchen, bathroom and utility spaces.

Lower level windows encourage good sight lines to the outdoor space making it easier to monitor children and inviting better interaction with neighbours.



Performance Statement

Windows sills are installed at a height that enables home occupants to view the outdoor space from either a seated or standing position.

15 Flooring

Performance Statement

Floor coverings are slip resistant to reduce the likelihood of slips, trips and falls in the home.



Silver Level

No requirements.

Gold Level

No requirements.

Platinum Level

- a. All floor coverings should:
 - i. be firm, even and slip resistant; and
 - ii. feature a level transition between abutting surfaces (a maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or beveled).

Note: Slip Resistance is referenced in the National Construction Code and ultimately, Livable Housing Australia would like to defer to the NCC and the Australian Building Codes Board (ABCB) for rulings related to slip resistance. Standards Australia publish a number of standards as well as a handbook that address slip resistance of surfaces.

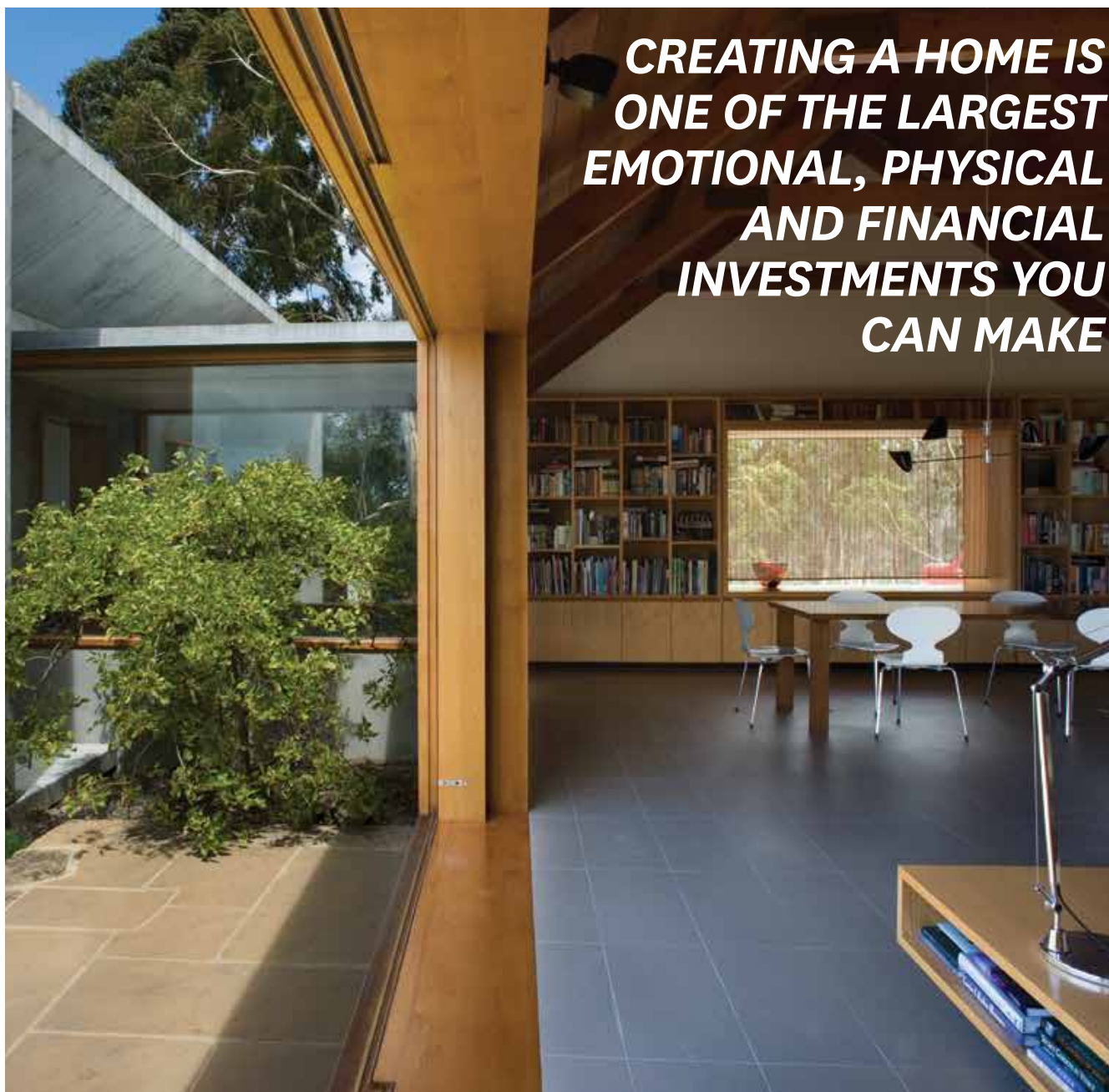
Slip resistant floor surfaces significantly reduce the risk of slip, trips and falls in the home.



Photos courtesy of Landcom

Performance Statement
Floor coverings are slip resistant to reduce the likelihood of slips, trips and falls in the home.





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Our members are at the forefront in developing housing that meets the current and future requirements of its households.

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Master Builders Australia

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Image courtesy of sydesign.com.au

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The Livable Housing Design Guidelines have been developed through extensive consultation with members of the National Dialogue on Universal Housing Design. We acknowledge the generous contribution of:

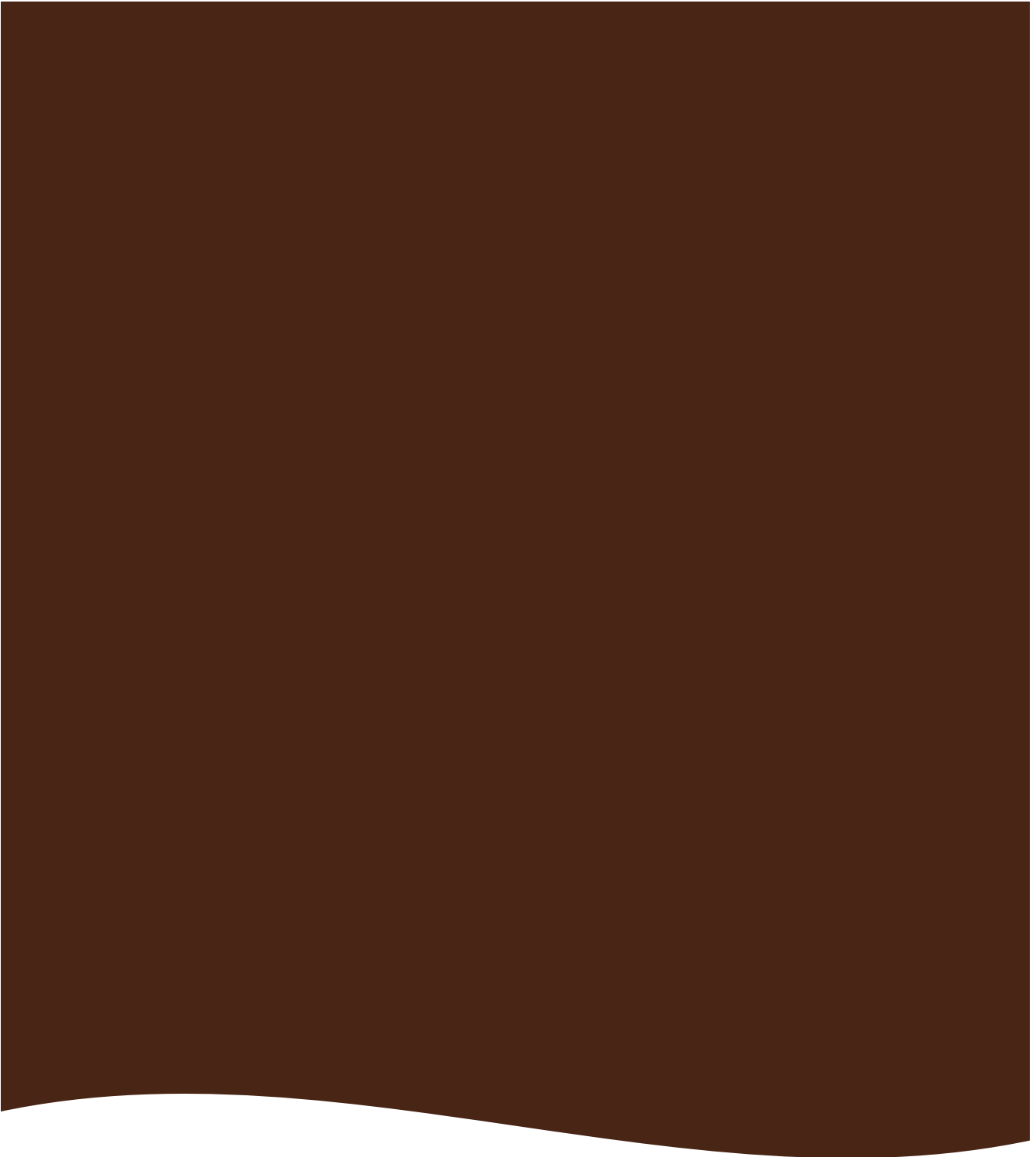
- Australian Human Rights Commission
- Australian Institute of Architects
- Australian Network for Universal Housing Design
- Building Commission (Victoria)
- Council on the Ageing Australia (COTA)
- Grocon
- Housing Industry Association
- Lendlease
- Master Builders Australia
- National People with Disabilities and Carers Council
- Office of the Disability Council of NSW
- Property Council of Australia
- Real Estate Institute of Australia
- Stockland

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- Department of Industry, Innovation, Science, Research and Tertiary Education
- Australian Building Codes Board
- Victorian Department of Planning and Community Development

We also thank Landcom for providing full access to the content and imagery contained in their publication Universal Housing Design (2009).

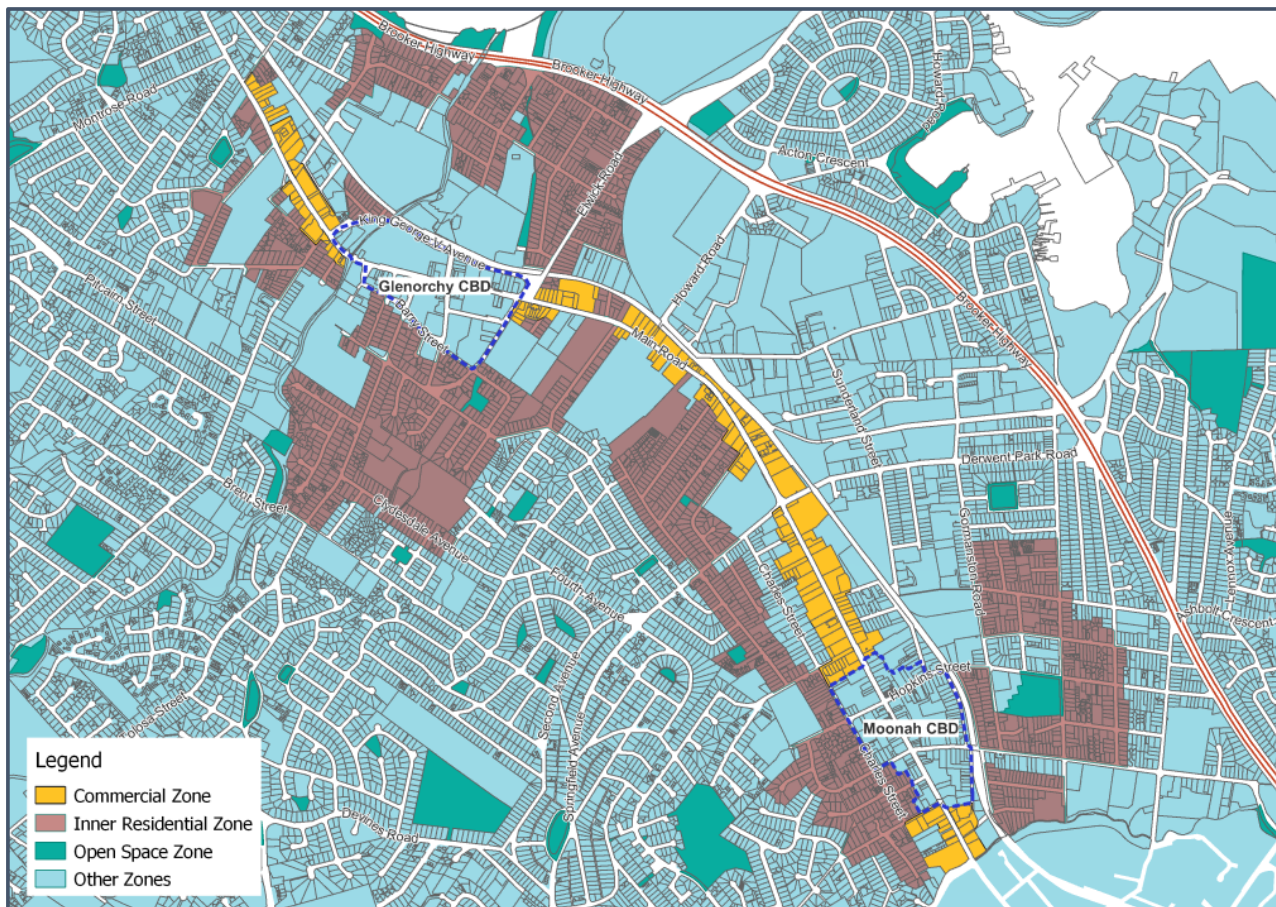
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**GLENORCHY**
CITY COUNCIL

2023



Northern Apartments Corridor Specific Area Plan (NAC SAP)

EXPLANATORY DOCUMENT

PLAM-22/10 - PLANNING SCHEME AMENDMENT TO ALLOW APARTMENTS IN THE COMMERCIAL ZONE
ALONG MAIN ROAD BETWEEN MOONAH – MONTROSE

1 Northern Apartments Corridor Specific Area Plan (NAC SAP)



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2 Northern Apartments Corridor Specific Area Plan (NAC SAP)



1. Introduction

1.1 What is this Planning Scheme Amendment about?

This Planning Scheme Amendment introduces a new Specific Area Plan into the Glenorchy Local Provisions Schedule, called the Northern Apartments Corridor Specific Area Plan (NAC SAP), that would apply to the Commercial zoned land between Moonah to Montrose along Main Road, excluding the site 404- 408 Main Rd, Glenorchy.

Currently, residential use is prohibited in the Commercial Zone. The NAC SAP would allow residential use as medium to high density shop-top apartments or apartments to the rear of the commercial activity along Main Road, without undermining the primary commercial and economic focus of the area. An 'agent of change' principle is adopted whereby the new residential use cannot compromise the commercial activity at street level. For instance, apartments must be designed and constructed to mitigate noise impacts from commercial businesses (both onsite and adjoining lands), rather than placing the onus on commercial activity to mitigate impacts. The NAC SAP also contains planning controls to ensure apartments are designed to provide sunlight, airflow and a level of residential amenity, including private and communal open space, that can be maintained and coexist with the non-residential commercial uses. No changes to the types of uses or development requirements for uses currently allowed in the Commercial Zone are proposed. The specific planning controls of the NAC SAP are discussed in Section 4 of this report.

1.2 Key Drivers – Why do we need this amendment?

The amendment will assist in achieving a more compact Greater Hobart, which is a key driver set out in the strategic plans of all levels, including the Southern Tasmanian Regional Land Use Strategy (STRLUS), the Greater Hobart Plan and the Greater Glenorchy Plan (GGP). Some of the key strategic drivers of the project are discussed below.

Southern Regional Land Use Strategy (STRLUS)

The settlement strategy under the Southern Regional Land Use Strategy (STRLUS) is aligned with the activity centre network and provides for integration with existing and future transport corridors. As a result, it identifies the corridor between Hobart and Glenorchy along the alignment of the Main Road and rail corridor as an infill residential development area. Greater Glenorchy is responsible for the 'lion's share' of infill development under the STRLUS with a target of 5,300 additional dwellings between 2010 and 2035, the highest identified amongst the other municipalities.

Hobart City Deal

The Hobart City Deal is a shared 10-year vision between the Federal government, the Tasmanian government and the Greater Hobart Councils (Glenorchy, Hobart, Clarence and Kingborough Councils) to improve collaboration and strategic activity across Greater Hobart. The Vision for Greater Hobart under the Hobart City Deal is:

The Hobart City Deal "will improve accessibility in Greater Hobart, embracing the idea of a 30-minute city. It will:

- deliver an integrated land-use and transport vision for Greater Hobart;*
- prioritise housing and facilitate urban renewal along key transit corridors;*
- deliver a package of planning initiatives to support development to provide residents with a greater range of housing choices;*
- build stronger partnerships and improve coordinated planning between the three levels of government."*

As part of the Hobart City Deal, the 30-Year Greater Hobart Plan was released where transport, housing and precinct planning for Greater Hobart have been brought together in a spatially integrated manner. The Greater Hobart Plan proposes a 70:30 infill/greenfield development split as an attainable target over the next 30 years. The Greater Hobart Plan also encourages more infill development closer to transport corridors and within identified densification areas.

3 Northern Apartments Corridor Specific Area Plan (NAC SAP)



Northern Suburbs Transit Corridor (NSTC)

A key project under the Hobart City Deal is activating the Northern Suburbs Transit Corridor (NSTC) which lies within the municipal areas of Glenorchy and Hobart. The NSTC will connect key employment, tourism and activity centres, linking the northern suburbs and Hobart CBD.

The NSTC is an area of 800 m on either side of Main Road and the rail corridor. Main Road runs almost parallel to the disused rail corridor, that is proposed for the new public transport link. Supporting increased residential opportunities within the NSTC will support the use of public transport and assist in activating the area. More details about this project can be found in the link: [https://www.hobartcitydeal.com.au/activating the northern suburbs transit corridor](https://www.hobartcitydeal.com.au/activating-the-northern-suburbs-transit-corridor).

Greater Glenorchy Plan (GGP)

The Greater Glenorchy Plan (GGP) was adopted by Council in February 2021 and includes several commitments or actions for implementation to further the City of Glenorchy's Community Plan 2015-2040. The GGP identifies that successfully activating the NSTC is fundamental to the broader objective of a more compact Greater Hobart, as it can increase housing supply and diversity, more jobs and better transport infrastructure.

This project meets the **Greater Glenorchy Plan Strategic objective 2: increasing urban densities**. It helps deliver on the following actions identified in the GGP:

- **Action 22 of the GGP – Glenorchy CBD Precinct plan action:** Undertake an analysis of land within 800m of the activity centre and the Northern Suburbs Transit Corridor and rezone land where required, to increase residential and job density.
- **Action 19 of the GGP – Moonah CBD Precinct plan action:** Undertake an analysis of land within 800m of the activity centre and the Northern Suburbs Transit Corridor and rezone land where required, to increase residential and job density.

The land that is proposed to be subject to the NAC SAP has been identified most suited for infill residential development due to the location within the NSTC, accessibility to services and infrastructure, and proximity to the activity centres. This land that currently provides a number of jobs and supports the local economy, would not be rezoned, so that its role and function as a commercial strip is retained and existing / potential job density will not be minimised. However, introducing a new planning control to facilitate residential use will increase our ability to meet residential density and supply targets.

2. Why use the Commercial Zone to support shop-top housing?

2.1 The role of the Commercial Zone

The Commercial Zone has the purpose of providing for a mix of uses including retailing, service industries, bulky goods sales, storage including warehousing that requires large floor areas or outdoor areas with high levels of vehicle access. Currently residential use is prohibited in the Commercial Zone.

2.2 Commercial Zone along Main Road

In the Glenorchy Local Government Area (LGA), the Commercial Zone extends along Main Road from Moonah to Montrose, bookending the activity centres at Moonah and Glenorchy, and along Derwent Park Road through to the Brooker Highway, and a smaller area along Hopkins Street in Moonah.

The Commercial Zone along Main Road from Moonah to Montrose (the subject area), with the exception of the site known as 404 – 408 Main Road, Glenorchy, is highlighted in Figure 1 below and is the focus area of this project. The spatial features of the Commercial zoned land along Main Road are characterized by generally larger lot sizes suitable for commercial uses in a location that is easily accessible, and central to Greater Hobart. These lots serve an important role in providing employment and economic activity within the City of Glenorchy, with many businesses serving customers from across Greater Hobart, or broader.

4 Northern Apartments Corridor Specific Area Plan (NAC SAP)



Strategically, the subject area is centrally placed between the Glenorchy and Moonah CBD areas which are also planned for infill higher density developments (for example, the Glenorchy Principal Activity Centre Specific Area Plan is currently being prepared to enliven the centre).

The existing built form and uses within the subject area are eclectic with a mix of land uses, building sizes, setbacks and design with building heights mostly ranging between 1 and 2 storeys. The existing uses are dependent and require or benefit from exposure along key transport corridors. It is worth noting the Commercial Zone in the broader LGA, which includes land along Derwent Park Road and Hopkins Street, is not being considered for residential use due to the stronger industrial links the Commercial Zone has in these areas.

The majority of the subject area abuts the Inner Residential Zone (IRZ), as seen in Figure 1 below.

It is considered that the subject area presents good opportunities (large lots, good access to public transport, services and facilities and reasonable separation from areas with stronger links to industrial uses) to consider whether residential activity would be appropriate.

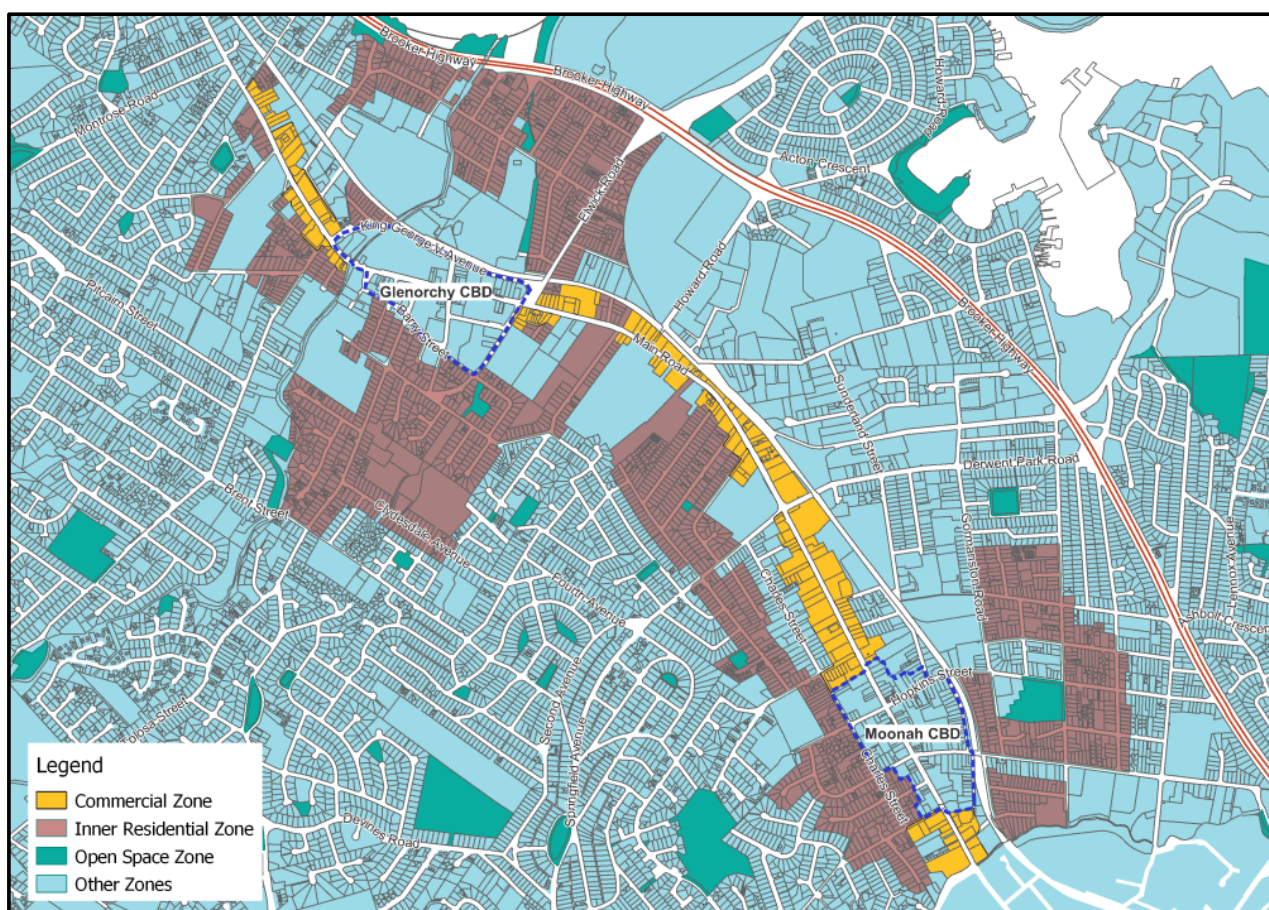


Figure 1: Illustrative Map showing Commercial Zoned land along Main Rd highlighted in yellow that will be subject to the NAC SAP

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Figure 2: Aerial view showing larger floor plates of Commercial zoned land along Main Rd, viewing east from Glenorchy CBD towards Moonah

2.3 Why not use the existing Inner Residential Zone?

The Inner Residential Zone (IRZ) encourages increased residential density. The IRZ applies within 400 m of the Moonah and Glenorchy activity centres, and includes many inter-war and post-war suburban houses, so the lots are often smaller in size. Figure 1 above indicates the location of the IRZ in relation to the Commercial zoned land along Main Road.

The IRZ standards with a lower minimum site area per dwelling and increased height provisions than the General Residential Zone, aims to encourage a shift in housing from single dwellings to higher density terrace housing and townhouses. However, little higher density infill development has taken place within the IRZ. This is likely due to smaller lot sizes which are common in this zone, meaning site amalgamations are often required to allow higher density housing to be built.

2.4 Benefits of Infill residential development within the Commercial Zone along Main Road

Allowing apartments above or behind commercial activity along Main Road within the Commercial Zone will:

- Increase the availability of housing in the City of Glenorchy;
- Increase the diversity of housing size and type;
- Support current plans and strategies being prepared that guide future housing development across Greater Hobart;
- Provide opportunities to live close to services and transport network; and
- Increase the resident population close to existing business activity and investment.

Benefits of living close to Main Road, and within the NSTC, include reduced travel times to work, shops or entertainment and a more walkable city, leading to healthier and more connected lifestyles.

Apartments in the Commercial Zone will provide greater opportunity to support Glenorchy Council's Statement on Housing through providing additional housing supply and greater housing diversity to meet the varied needs of the community. Apartment developments above or behind ground floor commercial activity may encourage new commercial development by providing additional demand, investment opportunities and greater certainty.

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2.5 What could the built form look like?

The City of Hobart allows residential use in their Commercial Zone but provides regulations that ensure that the priority remains on commercial activity. Some local examples in the Hobart City are as follows:



Figure 3: Commercial and shop-top housing at North Hobart

Example of built form: Mixed-use development in North Hobart (Figure 3 left), which has recently completed construction. It consists of ground floor commercial showroom and shop-top residential use. The building has been designed to have stepped setbacks, to mitigate impacts on surrounding land uses and protect amenity.

Mixed-use development in Hobart CBD (Figure 4 below), indicating how the taller built form for residential use can fit within the surrounding low-rise development, without impacting on the streetscape or economic activity at the ground level.



Figure 4: Ground floor retail and shop top housing at Hobart CBD

There are numerous national examples where residential use has been integrated with non-residential commercial uses to create mixed-use developments which work well together without impacting on the amenity of either of the uses.



Figures 5: The Hawksburn, Melbourne, Victoria front façade (left) & internal residential courtyard (right)

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The above example includes a mixed-use development featuring a car dealership and service centre at street level, apartments on top with a communal landscaped courtyard for residents that is not visible from public view.

2.6 Conclusion

Given this situation, the Commercial Zone is well placed to accommodate mid-rise apartments (3-5 storeys) with the smaller lots in the IRZ, that adjoin the Commercial Zone, more suited for row housing/town houses (2- 3 storeys). Both the Commercial and Inner Residential areas along Main Road combined could then become the focal areas for medium to higher density residential development, whilst continuing to play an important economic role as the main location for large floor area retailing (within the Commercial Zone). This will enable the City of Glenorchy to evolve with larger buildings along the Main Road core and the activity centres, with height and density then graduating out to the suburbs.

A key objective of the NAC SAP will be to ensure that new residential development does not compromise existing commercial uses in the zone and the employment function of this section of Main Road. It will also contain specific controls to ensure residential amenity of dwellings on adjacent lots, including in the Inner Residential Zone are maintained.

3. Northern Apartments Corridor SAP – an overview of the applicable controls

The NAC SAP is made up of several elements:

- Plan Purpose
- Local Area objectives
- Definition of terms
- Use Table
- Applicable Standards, which includes use standards and development standards for buildings and works.

The role of these elements and how they work is set out in the section below. For the purposes of understanding the following sections of this report, it is worth noting use and development standards have Acceptable Solutions and/or Performance Criteria. An Acceptable Solution provides a measurable standard. Where an Acceptable Solution isn't met, Performance Criteria provide a qualitative option, where the planning authority has discretion to permit or refuse a proposal.

3.1 Plan Purpose, Application and Local Area Objectives – GLE-S15.1, GLE-S15.2 & GLE-S15.3

Within the Tasmanian Planning Scheme (TPS), the role of the Specific Area Plan (SAP) Purpose and Local Area Objectives (LAOs) is to help guide decisions relating to planning permit applications.

The purpose of the NAC SAP under GLE-S15.1 is to provide for residential use as apartments on top or behind the commercial use at street level, without dominating or reducing the operation of the commercial use of the site.

Clause GLE-S15.2 sets out where the SAP applies and which State Planning Provisions (SPPs) it relates to. It also sets out application requirements. The land the NAC SAP applies to will be shown in an overlay in the Planning Scheme maps.

The proposed LAOs under GLE-S15.3 describe how the new residential use is facilitated via the NAC SAP having regard to the non-residential commercial uses. They provide an overarching context for the SAP standards and are intended to encourage higher quality of apartment design in the area without compromising on the commercial use of the area and allow for the harmonious co-existence of the residential and non-residential uses.

3.2 Definition of Terms – GLE-S15.4

A number of definitions are proposed in the NAC SAP for the terms that are used in the controls within the SAP, that are otherwise not defined under the SPPs. The proposed definitions are also useful as they do not form part of ordinary

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usage where it would be appropriate to rely on the 'ordinary meaning' of the words. The definitions proposed under the NAC SAP are consistent with the definitions used under the Glenorchy Principal Activity Centre Specific Area Plan (currently being prepared) ensuring consistency across the two SAPs within the Glenorchy Local Provisions Schedule.

3.3 Use Table – GLE-S15.5

The Use Table in the Commercial Zone - Clause 17.2 is replaced with a new Use Table in the NAC SAP under GLE-S15.5, so that 'Residential' use can be introduced as a permissible use under the NAC SAP.

No other changes to the currently permissible uses (i.e., No Permit Required, Permitted or Discretionary statuses) in the Commercial Zone and their qualification are made. Shop-top housing (other than associated access and parking) will be considered as a permitted use, while residential development located on the ground floor level will be subject to a discretionary assessment process. This is to ensure that the ground floor level is predominantly available for commercial use, in line with the LAOs discussed above, but allows for apartments to occur behind the commercial use. The amendments to Table GLE – S15.5 are as follows:

- No permit required: *Residential – Only if for home-based business (in an existing residence, such as in an apartment built in the future after the NAC SAP has been implemented);*
- Permitted: *Residential – Only if an apartment building located above the ground floor level (excluding pedestrian or vehicular access and parking) i.e. shop-top apartments; and*
- Discretionary: *Residential – Only if an apartment building that does not meet the permitted status above and is located to the rear of the commercial use and development on the frontage (excluding pedestrian or vehicular access and parking).*

3.4 Use Standards- GLE-S15.6

The NAC SAP 'brings across' two of the Use Standards from the Commercial Zone to include references to residential uses. 'Substituting' the Commercial Zone standards with the updated NAC SAP standards removes the opportunity for potential conflict in interpretation, so only the relevant standard in the NAC SAP is applied.

All uses- GLE-S15.6.1

The NAC SAP makes minor amendments to the 'All uses' standard under the Commercial Zone - Clause 17.3.1, to exclude Residential use from the standards which relate to businesses such as hours of operation, external lighting and commercial vehicular movements. These matters are irrelevant to the residential use.

Discretionary uses, except residential use- GLE-S15.6.2

The 'Discretionary use' considerations under the Commercial Zone - Clause 17.3.2 is also considered under the NAC SAP under A1 and P1, and amended to exclude discretionary residential use, which will have further considerations under A2 and P2 as discussed below.

Discretionary ground level residential use- GLE-S15.6.2

This will be a new control added in the NAC SAP. In instances where residential use listed as 'discretionary' (i.e., apartments located on ground floor level behind commercial use) is proposed, the NAC SAP requires consideration of the appropriateness of the residential use 'encroaching' within the area allocated for commercial use on the site. The considerations include the size and scale of the residential use at ground floor level, the characteristics of the site and the ground level commercial use, maintaining commercial activities facing the street with the residential use restricted to the rear of the commercial activity, prohibiting residential parking along the road frontages, the impact of residential use on the non-residential use and any mitigation measures that are proposed to ensure the primary commercial focus of the site is not distorted by the ground floor residential use.

3.5 Development Standards for Buildings and Works – GLE-S15.7

A range of development controls are proposed under the NAC SAP which are necessary to address:

- Siting and building arrangement, including permissible building heights;

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- Apartment design including apartment building performance regarding noise mitigation, energy efficiency, and apartment amenity which considers privacy, solar access, natural ventilation, private and communal open spaces, functional layout, storage and accessibility;
- Passive surveillance for higher density built forms with a sensitive (residential) use;
- Waste storage and collection for residences, where there is a mix of other uses onsite; and
- Access, parking and sustainable transport options for apartments on lands with other commercial uses.

3.5.1 Building Height – GLE-S15.7.1

As with some of the Use Standards, the Building Height standards under the Commercial Zone – Clause 17.4.1 will be substituted by new controls under the NAC SAP – GLE-S15.7.1. Under the acceptable solution, the current building heights of 12 m that apply for commercial uses under Clause 17.4.1 would still apply under the acceptable standard. The amendment to this standard relates to the introduced residential use, which will also be required to be 12 m within 5.5 m of the road frontage, but allowed to go to a height of 15 m if 5.5 m from the frontage. The 5.5 m distance is in line with the permissible front building setback, that is applied in the Commercial Zone under Clause 17.4.2.

This reduced height along the frontage will minimise bulk impacts at the street level and provide for a transition in built form and a cohesive streetscape. The NAC SAP proposes to maintain the 9.5 m building height within 10 m of a residential zone. Greater heights can be sought under the performance criteria as part of a discretionary application with consideration given to the impacts from visual bulk, overshadowing residential use and achieving a transition in scale between buildings on adjacent sites.

3.5.2 Building setbacks and design standards – as existing under the Commercial Zone

The NAC SAP is not proposed to contain specific standards for building setbacks or design, and as such the standards under the Commercial Zone – Clause 17.4.2 Setbacks and Clause 17.4.3 Design would still apply to all developments, including residential apartments.

3.5.3 Apartment Design GLE-S15.7.2

In encouraging more housing, it must be ensured that poorly designed buildings are avoided, both in terms of livability for occupants and compatibility with surrounding areas. Planning controls to achieve an acceptable level of amenity and building design for apartments are proposed to be in addition to the Commercial Zone – Clause 17.4 Development Standards for Buildings and Works. The proposed controls are discussed below.

Privacy

The built form of the residential development must respect the existing or future sensitive uses (i.e. other residential uses) and be designed to limit overlooking into habitable room windows and private open space of other dwellings. The NAC SAP is proposed to have specific privacy controls under the acceptable solution that apply to apartment glazing (i.e., windows / glazed doors). Where the acceptable solution cannot be met, the NAC SAP provides for a merit-based assessment under the performance criteria.

Example on the right (Figure 6) shows privacy screening integrated into apartment building design to create an interesting built form design on the streetscape while also being functional.



Figure 6: Privacy treatment - apartment in Burleigh Heads, City of Gold Coast, Qld

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Solar Access

This control is aimed to provide for a reasonable number of dwellings within the apartment building to have access to natural sunlight. The NAC SAP requires at least 70% of the dwellings receive at least 3 hours of sunlight on 21st June to living rooms or private open spaces, and not more than 15% receive no direct sunlight to living rooms or private open spaces on this day under the acceptable solution. Where the acceptable solution cannot be met, consideration of the size and orientation of the site, number of south facing apartments, if multiple aspects apartments have been maximized, the depth and layout of apartments and window sizes to optimize the area of direct sunlight to be considered under the performance criteria.

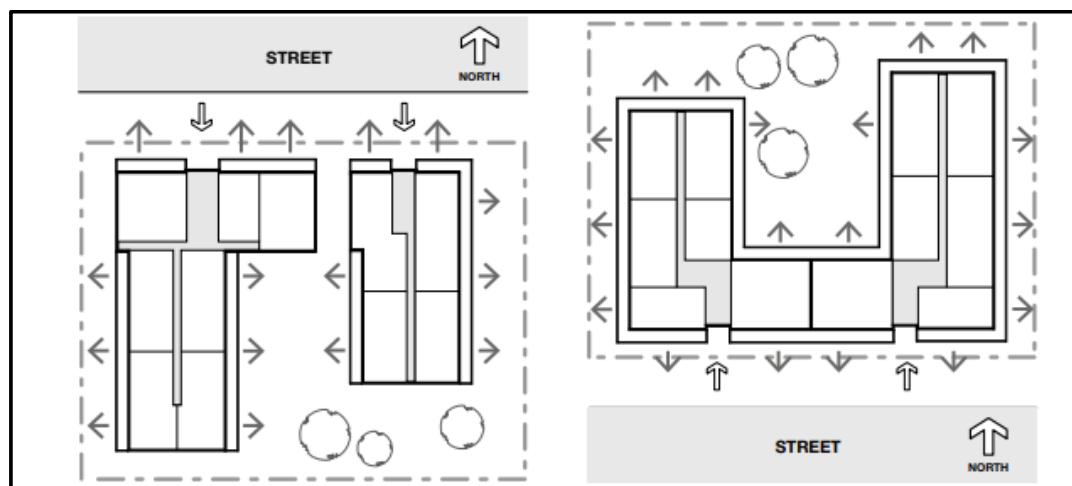


Figure 78: Apartment design to optimise the area of direct solar access to the dwellings
(Image source: Apartment Design Guidelines for Victoria)

Solar Shading

Shading for dwellings, particularly windows and other forms of glazing, can have a significant impact on summer comfort and energy costs. Appropriate shading designs and structures will block unwanted sun in the summer while still allowing solar access in winter. The NAC SAP requires window shading for all habitable room windows facing 30 degrees to the east or west of north, with length not less than 42% of the length between the windowsill and the lintel.

The proposed 42% measure is based on the federal government's *Your Home* guide, which advises 'varying the 45% rule of thumb...[to] reduce the overhang by decreasing the percentage of the sill-to-eave height by up to 3% to extend the heating season...in cold, high-latitude areas (for example, Tasmania...).

Source: <https://www.yourhome.gov.au/passive-design/shading>

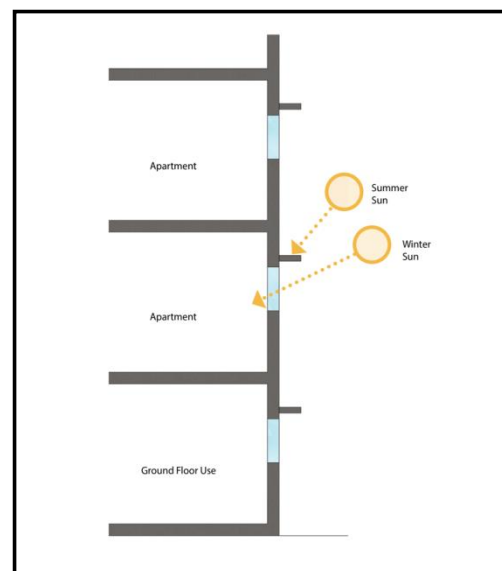


Figure 8: Window shading to apartments facing 30 degrees east or west of north (Image source: NAC SAP)

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Cross Ventilation

Cross ventilation via openable windows or doors to achieve natural air flow is important in a good apartment design. It is important to locate and design windows that are on different orientations of a dwelling to provide cross ventilation with optimal breeze paths. The NAC SAP requires under the acceptable solution, at least 60% of apartments to have external openings in different elevations providing natural cross-ventilation. Associated performance criteria will enable assessment when the acceptable solution cannot be met to consider building orientation, number and area of external openings proposed, internal layout, and provision of other passive ventilation solutions.

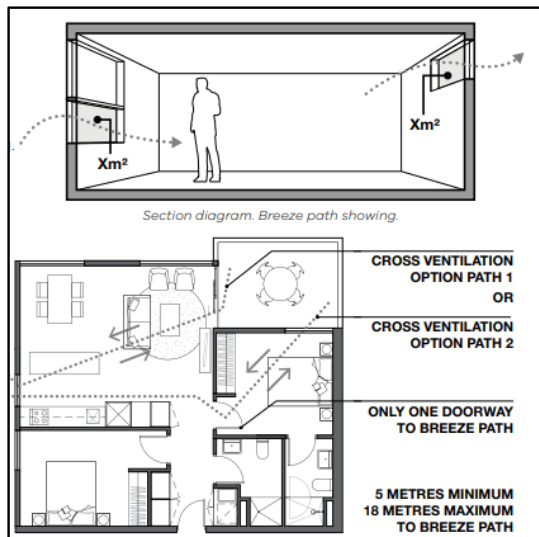


Figure 9: Examples of apartment design with consideration to cross ventilation (Image source: Apartment Design Guidelines for Victoria)

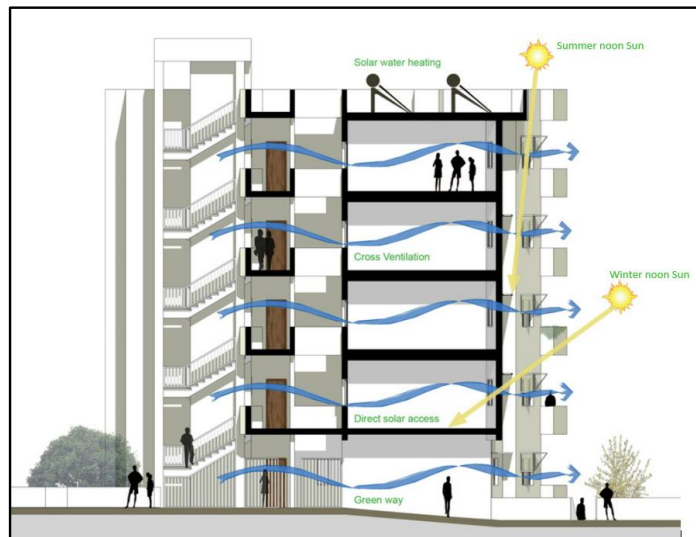


Figure 10: A Model of Energy-Efficient Affordable Apartment Building in Abu Alanda, Jordan (Source Google)

Noise mitigation

Residential uses will be required to adapt to the commercial context of the area so that it does not constrain the commercial use and cause conflict of land uses (for example, minimize the potential for future residents to complain about noise impacts from ground level commercial activity). Therefore, the NAC SAP has specific controls to achieve internal noise levels in accordance with AS3671:1989 – Road Traffic Noise Intrusion (Building Siting and Construction) and AS2107:2016 – Acoustics (Recommended Design Sound Levels and Reverberation Times for Building Interiors).

Private open space

Access to functional and usable private open space, such as balconies allows occupants to extend their living spaces outdoors to enjoy a range of recreations. The NAC SAP has specific controls under the acceptable solution for the provision of private open space depending on the number of bedrooms in an apartment. It regulates the size of the private open space, accessibility from the living space, screening from mechanical plant and public places and other uses on-site and adjacent lands, and screening of clothes drying area from public view if provided within the private open space. Associated performance criteria will enable assessment when the acceptable solution cannot be met to ensure the apartment design provides for adequate private open space for the reasonable recreation and service needs of residents.

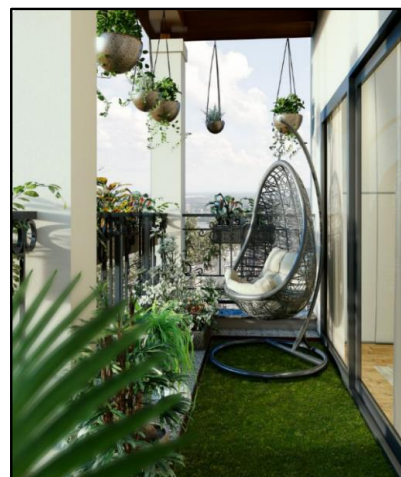


Figure 11: Balcony outdoor space in an apartment

2 Northern Apartments Corridor Specific Area Plan (NAC SAP)



Shared open space

Shared or communal open space supports the health and wellbeing of occupants and provides for a range of informal and active recreational uses. Noting that the area to which the NAC SAP applies has limited access to public parks and open recreational areas for the residents to use, it is important the apartment buildings in higher density settings provide for a 'hang out' space outside of the residents' homes. Communal spaces help establish a sense of community in apartment developments and improves safety and security. Shared open spaces can be in the form of rooftop spaces, courtyards, podium areas and terraces that are landscaped and may have furniture fixtures such as benches, tables, communal BBQ areas etc, that provide the residents with a relatively larger outdoor space than the private open space, for socialising and enjoyment.

The NAC SAP requires shared open space for apartment buildings depending on the number of dwellings in an apartment development. Associated performance criteria will enable assessment when the acceptable solution cannot be met to ensure that shared open space is accessible, practical, attractive, easily maintained and integrated with the layout of the development. The performance criteria will exclude the requirement for a shared open space in an apartment building if the building is a heritage listed place, or adjacent to public open space. The shared open space area requirements will be listed in GLE-S15.8 Tables at the end of the NAC SAP.



Figure 12: Maximising land utilisation by providing communal rooftop space for residents in higher density settings (Source: Google images)

External storage space

Having access to convenient, accessible and secure storage improves the functionality of apartments. The NAC SAP requires a secure storage area that is suitable for storing residents' bulky household items located external to the apartment, size based on the number of bedrooms in the apartment, screening from other uses on-site and public view. Storage for bulky goods provided externally to an apartment may be provided in basements and car parking areas. Associated performance criteria will enable assessment when the acceptable solution cannot be met to ensure appropriate external storage area is provided in a common and secure area convenient to the apartment having regard to convenience, security, minimal impacts on the other uses on-site and separation from waste storage facilities.

Universal design

Universal or accessible housing incorporates features that allow people with mobility limitations or those transitioning through different life stages (including ageing, families with young children or people with temporary injuries) to use the dwelling safely and conveniently. A simple example of a universal design feature is step-free access.

Liveable Housing Design (LHD) Guidelines provide three levels of accessibility performance and recommended features that can be incorporated in housing design and construction. The National Construction Code (NCC) requires a base level of accessibility requirements for dwelling (silver level) as per the LHD Guidelines.

Given the higher density-built forms, it is important that a variety of housing choices are delivered through the planning mechanisms to meet the needs of the community. The NAC SAP requires new apartment buildings to include

3 Northern Apartments Corridor Specific Area Plan (NAC SAP)



a percentage of apartments that meet a higher level of accessibility, in accordance with the LHD Guidelines (which will be an incorporated document to the Scheme) requiring no less than 30% of the apartments meeting the Gold level, or 5% of the apartments meeting the Platinum level (which is the highest level in the LHD Guidelines). Associated performance criteria will enable assessment when the acceptable solution cannot be met by considering the number of proposed Gold or Platinum level apartments in the apartment building, any relevant Council policy relating to universal design, and recommendations of an accessibility report.

3.5.4 Passive Surveillance for Residential Use- GLE15.7.3

Passive surveillance of the publicly accessible areas of the site and public places is important in higher density-built forms with mix of uses including the residential use (sensitive use), so that opportunities for crime and anti-social behavior are minimized. The NAC SAP requires apartment buildings to be provided with glazing or balconies on the first floor that face the publicly accessible areas of the site or public places to enable passive surveillance. Associated performance criteria will enable assessment when the acceptable solution cannot be met by considering building design, site layout, and hard and soft landscaping that deter crime and enhance safety in the publicly accessible areas of the site and public places with regard to the recommendations of a crime prevention through environmental design report.

3.5.5 Waste storage and collection for apartments – GLE-S15.7.4

Apartment developments with good waste management and storage facilities minimise the impacts of waste on the health and wellbeing of occupants and the amenity of the public realm. Given the mix of uses, residential bin storage and associated collection requires careful consideration. Logistical challenges can emerge when waste management is not adequately considered at the planning stage.

Council has an existing, detailed *Waste Management Policy* and incorporated *Waste Management Standards for new Multiple Dwelling Unit Developments*. The policy and standards provide flexibility for waste management for multiple dwellings and would also apply to an apartment development.

Therefore, the NAC SAP has no acceptable solution relating to waste storage and collection, so this matter can be carefully considered under the associated performance criteria. The performance criteria is proposed to consider the waste storage and collection requirements for apartment buildings to be in accordance with the Council policy, having regard to location of waste storage area to minimise odour and noise impacts, separation from non-residential waste storage, bin collection and manoeuvring, mitigation measures to minimise impacts on the other uses on-site and adjacent lands and any conflicts with traffic flow.

3.5.5 Access, Parking and Sustainable Transport – GLE-S15.7.5

Safe access and movement where there are commercial vehicles

Sites with apartment buildings and commercial vehicles (vehicles defined under the NAC SAP as medium rigid vehicles or greater as per AS2890.2 – 2002) entering the property will need to have appropriate access and vehicular circulation areas for the safety of the users of the site. As such there is no acceptable solution where commercial vehicles will be entering a site with an apartment building and the assessment will rely on performance criteria to ensure the crossover, driveway and parking areas are designed to ensure safe movement of the vehicles, bicycles/personal mobility devices, and pedestrians, and ensure separate loading and unloading areas for the commercial vehicles.

Residential parking

In order to minimize conflicts with ground floor commercial use, the NAC SAP requires residential parking to be located to minimize disruptions to the commercial use at ground floor and not located along the road frontage. There is no associated performance criteria for this standard, which means the acceptable solution must be met. This is in line with the objectives of the NAC SAP to ensure commercial activity is not impacted or distorted by the newly introduced residential use and the economic focus of the area is retained.

4 Northern Apartments Corridor Specific Area Plan (NAC SAP)



Opportunities for active transport

More people are discovering the health, economic and environmental benefits of riding bikes to work and for recreation. With increasing urban density, traffic congestion and the pressure on public transport and roads, there is increased bike usage for transport. Providing secure bicycle parking will improve the appearance of the apartment building and declutter common areas. Therefore, in line with the LAOs of the NAC SAP, of taking advantage of the highly accessible location and promoting active transportation, specific controls are proposed relating to the provision of secure and safe bike parking, or equivalent spaces for other personal mobility devices (PMDs), including considerations of location of bike / PMDs, standard dimensions, access, lighting and other relevant standards with regard to the Australian Standards. Associated performance criteria will enable assessment when the acceptable solution cannot be met to ensure provision of parking for bikes, or other PMDs, is appropriate.

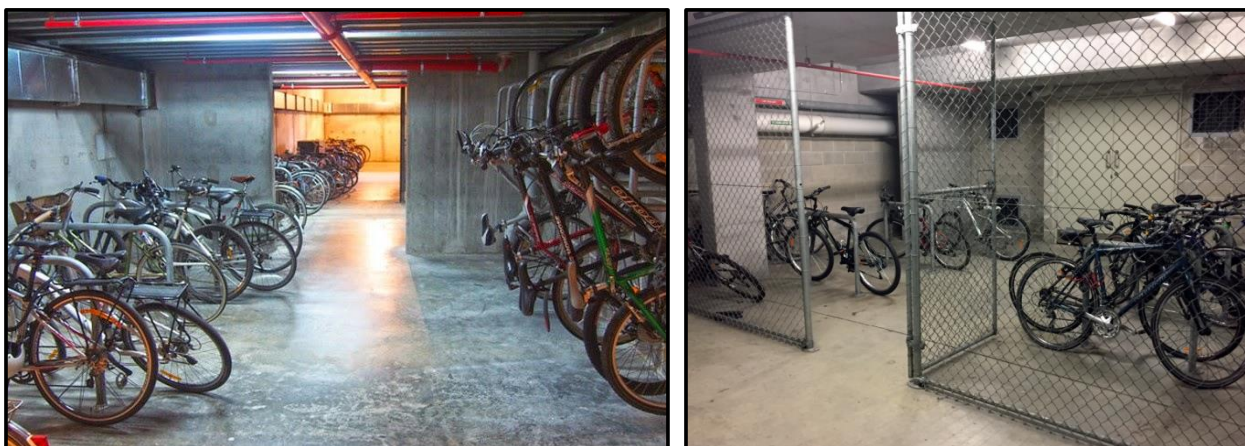


Figure 13: Example of Secure bike parking in the basement of an apartment development

4. Conclusion

Greater Hobart has seen significant growth in recent years which brings with it issues of traffic, housing affordability and planning for future growth. The City of Glenorchy is well placed to be a focal point for development as the Greater Hobart population pressures appear likely to continue. This document identifies the planning controls necessary to facilitate residential use in the Commercial Zone along Main Road between Moonah and Montrose, within the Northern Suburbs Transit Corridor, as medium to high density infill development. The objective is to retain the primary economic focus of the commercial use at street level and introduce the option of residential development either on top, or behind the commercial activity. The planning controls seek an appropriate level of amenity for the newly introduced residential use, without adding any additional requirements for the currently permissible non-residential commercial uses. This planning initiative will support a number of Regional and Local strategic visions and goals for providing more housing in the Greater Hobart region.